



Notice of Proposed Development *City of Johnston, Iowa*

July 20, 2015

PZ Case No. 15-24 and PZ Case No. 15-25; Kum & Go Site Plans & Final Plat

The applicant, Kum & Go LC has submitted site plans for the demolition of the existing store and development of a new Kum & Go convenience store with retail fuel sales at 5225 NW 86th Street. The final plat consolidates two lots into one developable lot of 1.5 acres. The site is zoned as part of the Birchwood Crossing PUD. C-2 uses are allowed on the lot to be developed.

Applicant:

Kum & Go, LC
6400 Westown Parkway
West Des Moines, IA, 50266

Meeting Schedule:

Planning and Zoning Commission, Monday, July 27, 2015
City Council Meeting, Monday, August 3, 2015

Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road and begin at 7:00 p.m. The public is welcome and invited to attend the above noted meetings and an opportunity will be provided for you to make comments on the proposed request.

Staff Contact:

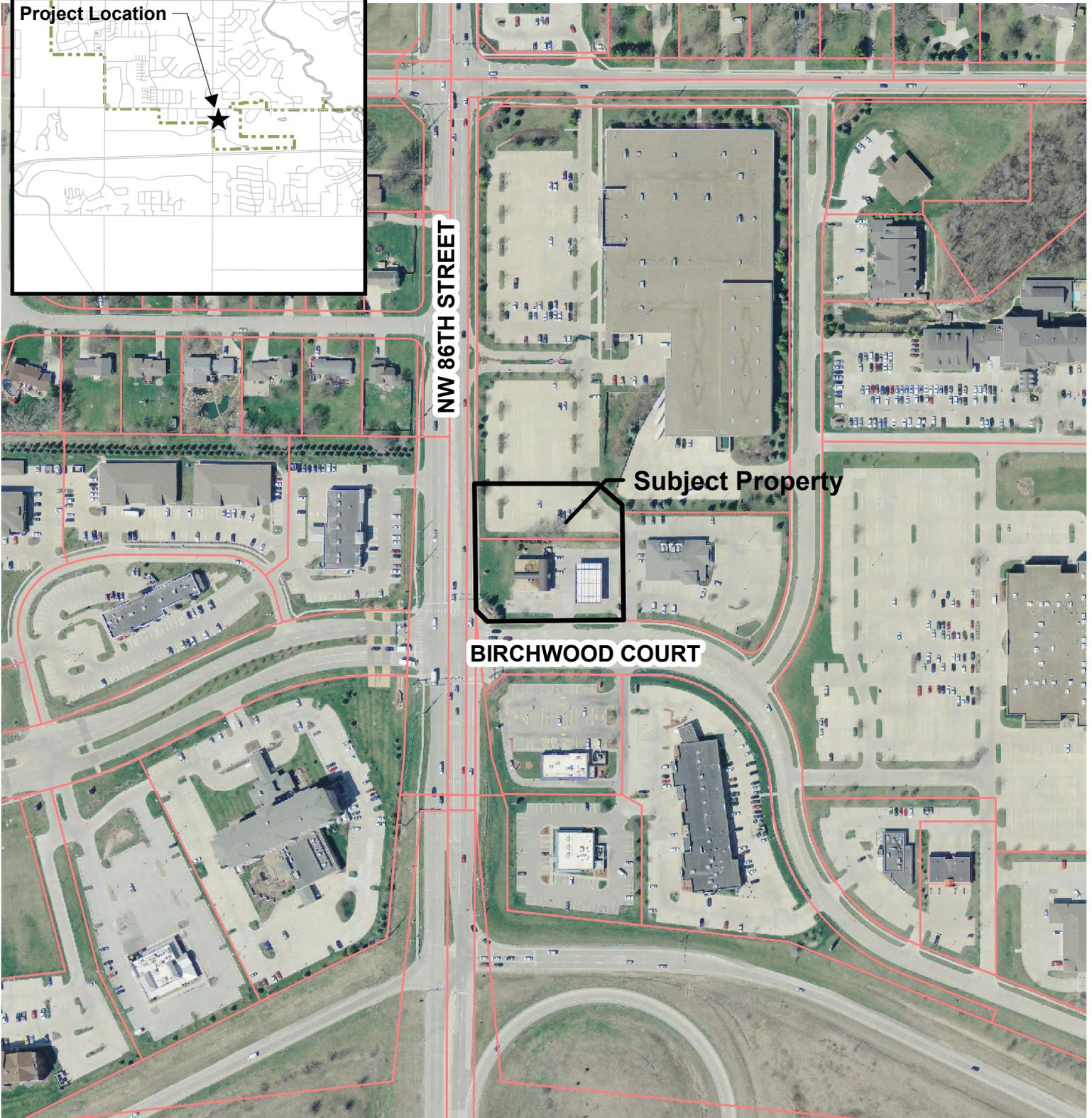
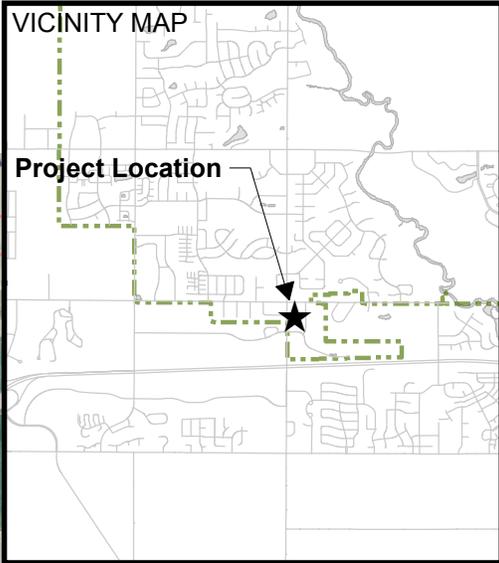
Comments and questions about this application may be directed to:

Aaron Wolfe, AICP
Senior Planner
City of Johnston
6221 Merle Hay Road, Box 410
Johnston, IA 50131
Phone: (515) 727-7766
Email: awolfe@cityofjohnston.com

Attachments:

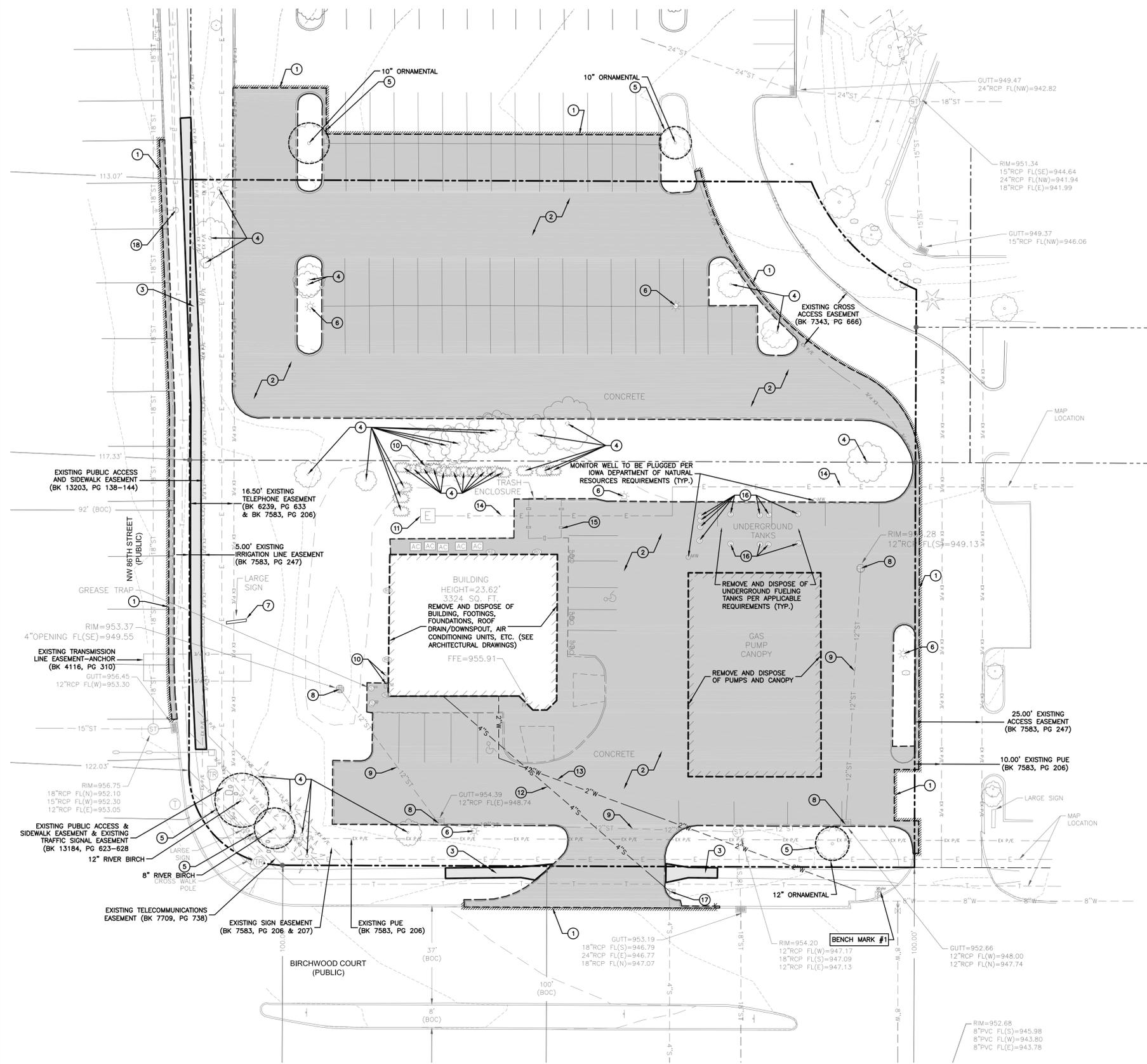
Vicinity Map
Site Plans
Final Plat
Building and Canopy Elevations

PZ Case No. 15-24 and PZ Case No. 15-25 Kum & Go Vicinity Map



1 inch = 250 feet

Created by City of Johnston Department of Community Development
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033

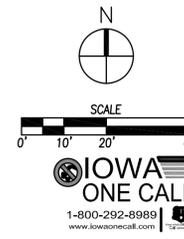


DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - CITY OF JOHNSTON
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
 - BBR ARCHITECTURE
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- REMOVE EXISTING UNDERGROUND STORAGE TANKS, FUEL PIPING, AND FUEL FILL PORTS/VENTS IN THEIR ENTIRETY. REMOVAL OF EXISTING TANKS AND ANY SOIL/GROUNDWATER REMEDIATION SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. CONTRACTOR SHALL COORDINATE ADDITIONAL ENVIRONMENTAL STUDIES, DETAILED DEMOLITION, AND ANY REMEDIATION REQUIREMENTS WITH THE OWNER. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY, COMPLETE NECESSARY APPLICATIONS, AND SCHEDULE ANY INSPECTIONS WITH IOWA DEPARTMENT OF NATURAL RESOURCES AND OTHER JURISDICTIONAL AGENCY.
- PLUGGING OF ABANDONED MONITOR WELLS SHALL BE IN ACCORDANCE WITH THE IOWA DEPARTMENT OF NATURAL RESOURCES AND ANY OTHER JURISDICTIONAL AGENCY.

FLAG NOTES

- | | |
|--|---|
| ① REMOVE AND DISPOSE OF P.C.C. PAVEMENT - FULL DEPTH SAW CUT | ⑩ REMOVE AND DISPOSE OF ELECTRICAL POWER METER OR BOX - COORDINATE WITH UTILITY PROVIDER |
| ② REMOVE AND DISPOSE OF P.C.C. PAVEMENT - FULL DEPTH | ⑪ REMOVE AND DISPOSE OF ELECTRICAL POWER TRANSFORMER AND PAD - COORDINATE WITH UTILITY PROVIDER |
| ③ REMOVE AND DISPOSE OF P.C.C. SIDEWALK | ⑫ REMOVE AND DISPOSE OF SANITARY SEWER SERVICE |
| ④ REMOVE AND DISPOSE OF TREE AND STUMP - TYPICAL | ⑬ REMOVE AND DISPOSE OF POTABLE WATER SERVICE |
| ⑤ PROTECT EXISTING TREE - TYPICAL | ⑭ REMOVE AND DISPOSE OF ELECTRICAL POWER SERVICE |
| ⑥ REMOVE AND DISPOSE OF LIGHT POLE | ⑮ REMOVE AND DISPOSE OF TRASH ENCLOSURE |
| ⑦ REMOVE AND DISPOSE OF MONUMENT SIGN AND FOOTING | ⑯ REMOVE AND DISPOSE OF GAS APPARATUS |
| ⑧ REMOVE AND DISPOSE OF STORM INTAKE | ⑰ REMOVE AND DISPOSE OF CLEANOUT |
| ⑨ REMOVE AND DISPOSE OF STORM PIPE | ⑱ RELOCATE STREET LIGHT POLE - COORDINATE WITH UTILITY PROVIDER |



CIVIL DESIGN ADVANTAGE
 3405 SE CROSSROADS DR., SUITE G, GRAMES, IOWA 50111
 PH: (515) 388-4400 Fax: (515) 388-4410
 PROJECT NO. 1212486



6400 Westown Parkway
 West Des Moines, Iowa
 50266
 P: 515-226-0128
 F: 515-223-9873

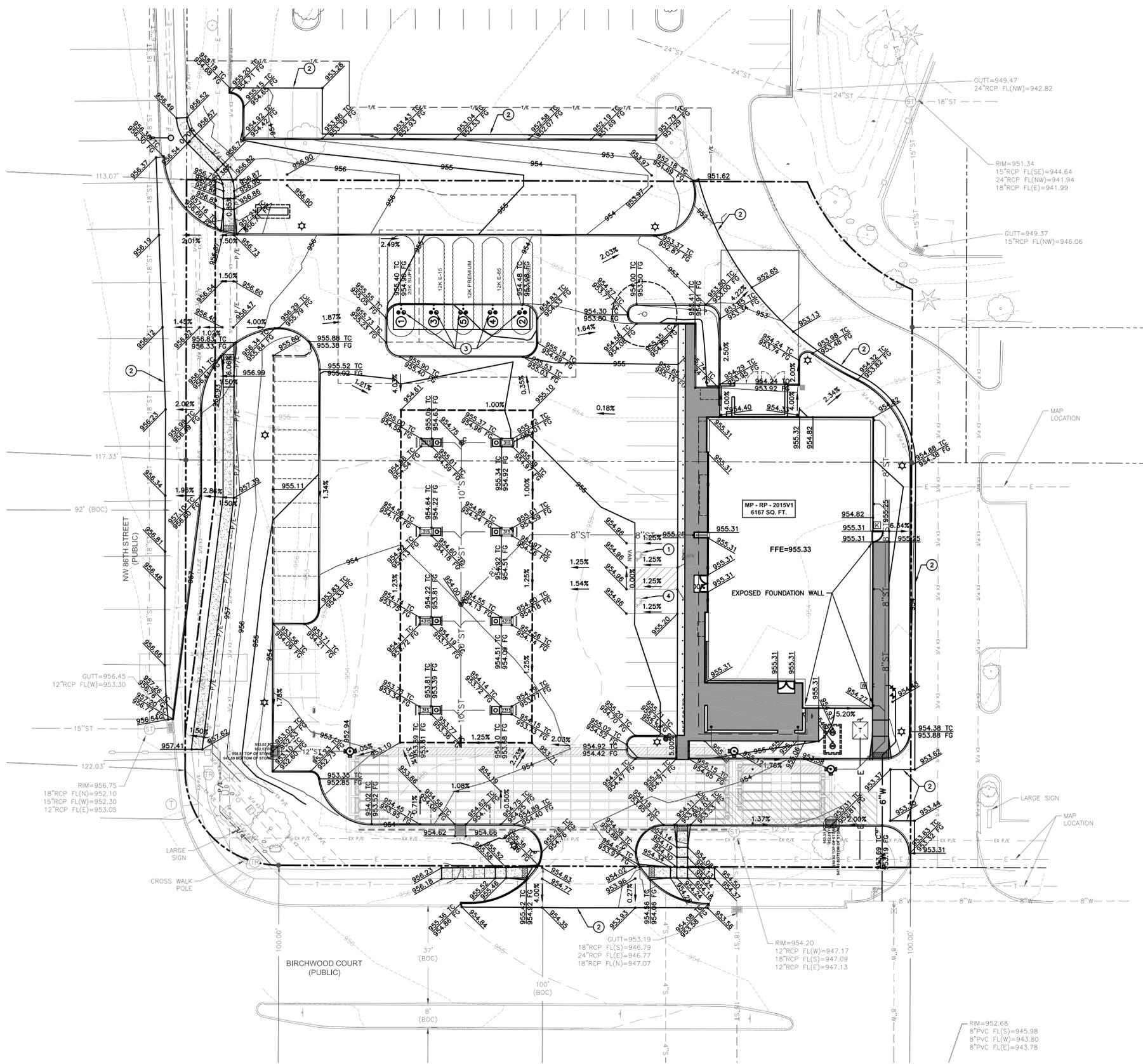
129 - JOHNSTON, IOWA
 5225 NW 86TH STREET
 TOPOGRAPHIC SURVEY & DEMOLITION PLAN

KG PROJECT TEAM:
 RDR:
 SDM:
 CPM:

REVISION DESCRIPTION	DATE

DATE: 07-15-15
 SHEET NUMBER:
C1.2





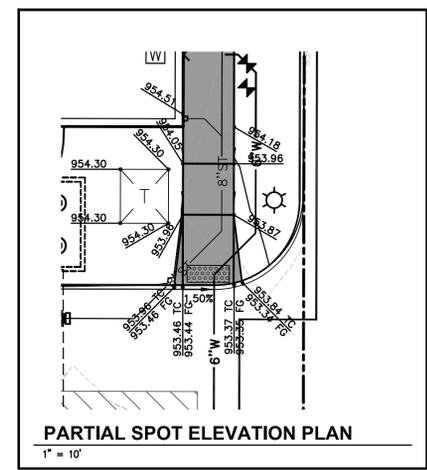
- FLAG NOTES**
- ① ADA ACCESSIBLE STALL, NOT TO EXCEED 1.75% GRADE IN ANY DIRECTION
 - ② MATCH EXISTING GRADE
 - ③ ALL FILL LIDS FOR UNDERGROUND TANKS TO BE 1 INCH ABOVE FINISHED GRADE
 - ④ FUTURE ADA ACCESSIBLE STALL (IF REQUIRED), NOT TO EXCEED 1.75% GRADE IN ANY DIRECTION

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF JOHNSTON BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2014 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. ALL EXISTING UTILITIES INCLUDING, BUT NOT LIMITED TO, MANHOLES, UTILITY VALVES, CLEANOUTS, AND INTAKES ARE TO BE ADJUSTED AND/OR REBUILT TO FINISH GRADE AS REQUIRED.
9. THE CONTRACTOR SHALL CONFINE THEIR GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
11. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
12. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
13. SIDEWALKS: MAINTAIN 0.5% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
14. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLAT (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.
15. THE CONTRACTOR SHALL PROVIDE A PAVEMENT JOINTING PLAN INCLUDING, BUT NOT LIMITED TO, SIDEWALK(S), PARKING LOT(S), AND FUEL CANOPY(ES), AND DETAILS TO THE ENGINEER FOR REVIEW.

UNDERGROUND DETENTION BASIN INFORMATION

- WATER QUALITY VOLUME = 3,491 CUBIC FEET
- WATER QUALITY VOLUME ELEVATION = 948.65 FEET (MEAN SEA LEVEL)
- 100-YEAR DETAINED VOLUME = 8,638 CUBIC FEET
- 100-YEAR DETAINED VOLUME ELEVATION = 950.56 FEET (MEAN SEA LEVEL)



N

SCALE

0' 10' 20' 40'

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CSA

CIVIL DESIGN ADVANTAGE

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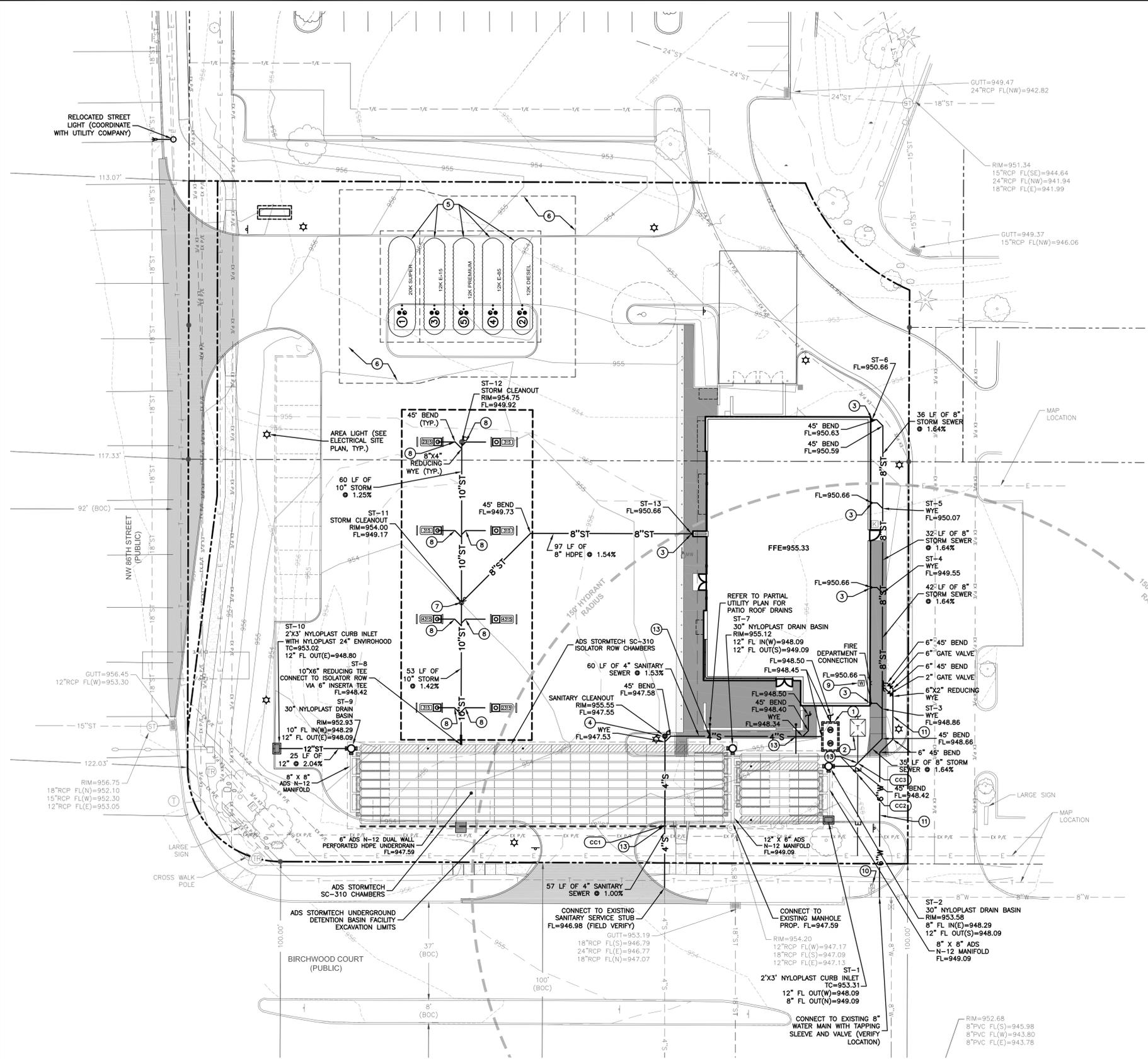
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129 - JOHNSTON, IOWA
5225 NW 86TH STREET
GRADING & DRAINAGE PLAN

KG PROJECT TEAM:
RDR:
SDM:
CPM:

REVISION DESCRIPTION	DATE

DATE: 07-15-15
SHEET NUMBER:
C2.1

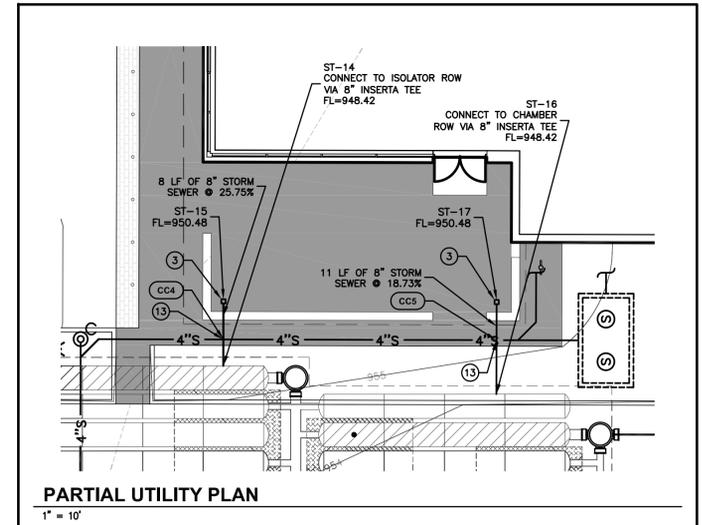


UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING (M.E.P.) PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO 2009 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATER MAINS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO M.E.P. PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ALL UTILITIES INCLUDING, BUT NOT LIMITED TO, MANHOLES, UTILITY VALVES, CLEANOUTS, AND INTAKES ARE TO BE ADJUSTED AND/OR REBUILT TO FINISH GRADE AS REQUIRED.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES UNLESS OTHERWISE NOTED. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATER MAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, ALL CITY SUPPLEMENTALS, AND THE 2006 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL INLET PROTECTION AT ALL PERMANENT STORM SEWER INLETS.
- SANITARY SEWER PIPE SHALL BE PVC OR HDPE.
- STORM SEWER PIPE SHALL BE PVC, HDPE, OR RCP, UNLESS INDICATED ON DRAWINGS.

UNDERGROUND DETENTION BASIN INFORMATION

- 203 STORMTECH SC-310 CHAMBERS
- 34 STORMTECH SC-310 END CAPS
- INSTALLED WITH 18 INCH COVER STONE, 6 INCH BASE STONE, 40 PERCENT STONE VOID
- INSTALLED SYSTEM VOLUME: 9,471 CUBIC FEET (PERIMETER STONE INCLUDED)
- AREA OF SYSTEM: 5,755 SQUARE FEET
- PERIMETER OF SYSTEM: 428 FEET



FLAG NOTES

- 1,000 GALLON GREASE INTERCEPTOR WITH SAMPLE PORT. INSTALL PER LOCAL STANDARDS AND SPECIFICATIONS
- INSTALL TRANSFORMER PAD, COORDINATE WITH LOCAL UTILITY PROVIDER
- CONNECT TO BUILDING SERVICE, SEE ARCHITECTURAL DRAWINGS FOR DOWNSPOUT LOCATIONS
- PROPOSED SANITARY CLEANOUT
- PROPOSED UNDER GROUND STORAGE TANK LOCATIONS
- UNDERGROUND STORAGE TANK OVERDIG LIMIT
- STORM DRAIN CLEANOUT
- 6 INCH HDPE DOWNSPOUT LATERALS TO CONNECT TO STORM DRAIN, MIN. SLOPE 1 PERCENT
- WATER METER LOCATION
- EXISTING FIRE HYDRANT

CRITICAL CROSSING FLAG NOTES

- PROPOSED 6 INCH FIRE PROTECTION LINE
- PROPOSED 2 INCH COPPER TYPE K COMMERCIAL WATER SERVICE
- UTILITY CROSSING, CONTRACTOR TO MAINTAIN A MINIMUM OF 18 INCH VERTICAL CLEARANCE BETWEEN UTILITIES, UNLESS OTHERWISE NOTED
- PROPOSED 4 INCH SANITARY SERVICE AT 1.00 PERCENT MINIMUM SLOPE
- CC1 BOTTOM OF STORMTECH SC-310 CHAMBER = 948.09
BOTTOM OF STORMTECH STONE = 947.56
STORMTECH UNDERDRAIN FL = 947.54
4" SANITARY SEWER TOP = 947.54
4" SANITARY SEWER FL = 947.21
SEPARATION BETWEEN BOTTOM OF STONE AND TOP OF PIPE = 0.02'
- CC2 TOP OF PROPOSED PAVEMENT = 953.44
BOTTOM OF ELECTRICAL POWER CONDUIT = 951.4±
TOP OF 2" WATER SERVICE = 947.8±
SEPARATION = 3.6'±
- CC3 TOP OF PROPOSED PAVEMENT = 953.28
BOTTOM OF ELECTRICAL POWER CONDUIT = 951.3±
TOP OF STORM = 949.12
SEPARATION = 2.2'±
- CC4 BOTTOM OF STORM = 949.41
TOP OF SANITARY = 948.14
SEPARATION = 1.27'
- CC5 BOTTOM OF STORM = 949.75
TOP OF SANITARY = 948.63
SEPARATION = 1.12'



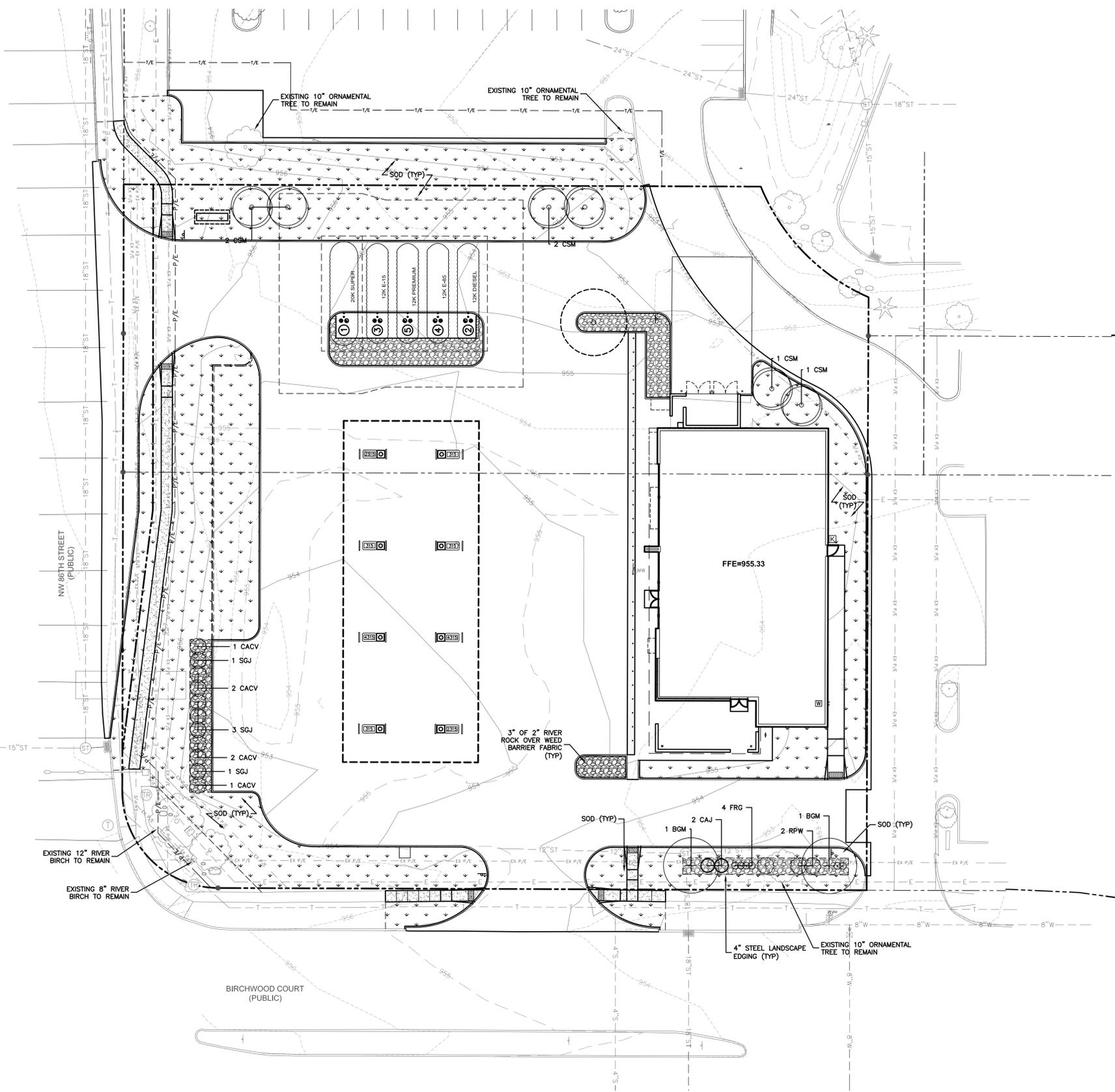
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UTILITY PLAN

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CPM:

REVISIONS	REVISION DESCRIPTION	DATE

DATE: 07-15-15
SHEET NUMBER: C3.1
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LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2014 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOD, IF REQUIRED).
7. 2" WASHED RIVER ROCK AND WEED BARRIER FABRIC SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
8. ALL EDGING SHALL BE 4" STEEL LANDSCAPE EDGING.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

LANDSCAPE & OPEN SPACE REGULATIONS

SITE AREA:	1.5 AC. (65,394 SF)
FRONTAGE:	
NW 86TH ST:	253'
BIRCHWOOD COURT:	270'
OPEN SPACE REQUIRED:	16,349 SF (25%)
OPEN SPACE PROVIDED:	17,178 SF (26%)
OPEN SPACE LANDSCAPING REQUIRED:	
1 TREE/1,500 SF OF REQUIRED OPEN SPACE:	11
1 SHRUB/1,000 SF OF REQUIRED OPEN SPACE:	16
OPEN SPACE LANDSCAPING PROVIDED:	
OPEN SPACE TREES:	13 (5 ARE EXISTING)
OPEN SPACE SHRUBS:	22 (6 ARE EXISTING)

PLANT SCHEDULE

Broadleaf Deciduous					
Code Name	Common Name	Scientific Name	Planting Size	Quantity	Planting Height
BGM	Black 'Greencolumn' Maple	Acer nigrum 'Greencolumn'	B&B, 1.5" CAL	2	8'-10' MIN.
CSM	Crimson Sentry Norway Maple	Acer platanoides 'Crimson Sentry'	B&B, 2" CAL	6	10'-12' MIN.
HRB	Heritage River Birch	Betula nigra	Existing	2	25'+
SSC	Spring Snow Crabapple	Malus 'Spring Snow'	Existing	1	15'+
Perennial					
Code Name	Common Name	Scientific Name	Planting Size	Quantity	
FRG	Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	CONT, 1 GAL	6	
Shrub					
Code Name	Common Name	Scientific Name	Planting Size	Quantity	
CACV	Compact American Cranberrybush Viburnum	Viburnum trilobum 'Compactum'	CONT, 3 GAL	6	
CAJ	Compact Andorra Juniper	Juniperus horizontalis 'plumosa compacta'	CONT, 3 GAL	2	
ECS	Existing Coniferous Shrub	-	Existing	6	
RPW	Red Prince Weigela	Weigela florida 'Red Prince'	CONT, 3 GAL	3	
SGJ	Sea Green Juniper	Juniperus chinensis 'Sea Green'	CONT, 3 GAL	5	

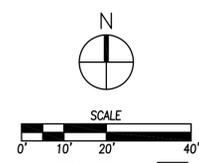


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LANDSCAPE PLAN

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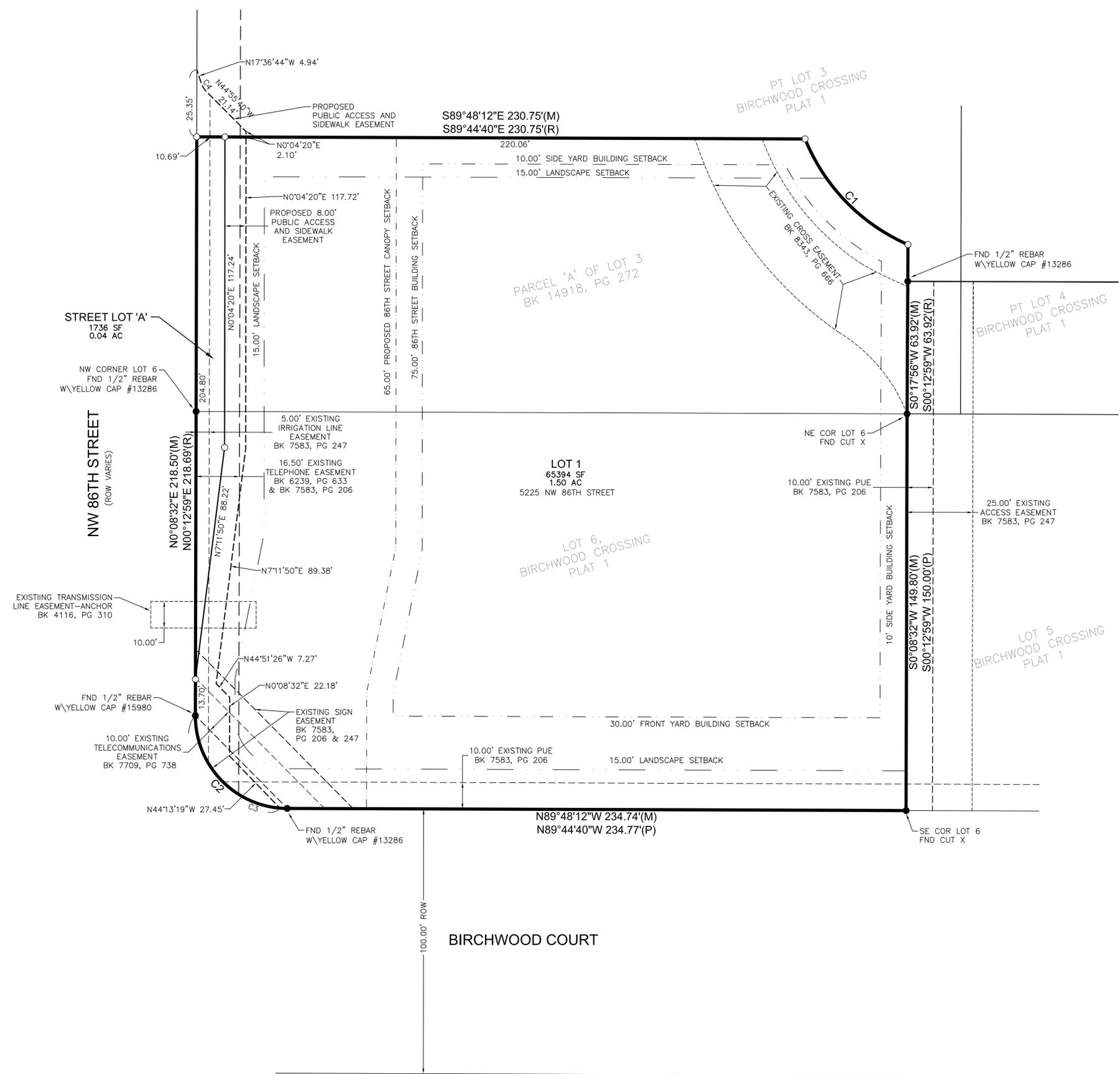


DATE: 07-15-15
SHEET NUMBER:
IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com

L1.1

BIRCHWOOD CROSSING PLAT 6

FINAL PLAT



OWNER/DEVELOPER:

KUM & GO
6750 WESTOWN PKWY SUITE 200
WEST DES MOINES, IA 50266

ENGINEER/SURVEYOR:

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR, SUITE G
GRIMES, IOWA 50111

BULK REGULATIONS:

MIN. LOT AREA: 40,000 SF
MIN. LOT WIDTH: 100'
FRONT YARD SETBACK: 30'
86TH STREET FRONT YARD SETBACK: 75'
SIDE YARD SETBACK: 10'
REAR YARD DEPTH: 35'
MAX. MAIN BUILDING HEIGHT: 50'

DATE OF SURVEY:

MARCH 29, 2013

FEMA DESIGNATION:

SUBJECT PROPERTY IS LOCATED IN UNSHADED ZONE X AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOOD PLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER: 1907450005D WITH A MAP REVISED DATE OF JULY 19, 2000.

PLAT DESCRIPTION:

PARCEL 'A' OF LOT 3 AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 14918, PAGE 272 AND LOT 6, ALL BEING IN BIRCHWOOD CROSSING PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF JOHNSTON, POLK COUNTY, IOWA AND CONTAINING 1.54 ACRES (67,130 SQUARE FEET).

ZONING:

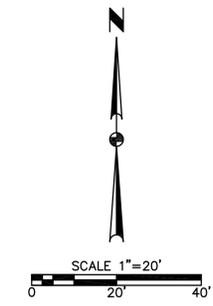
PUD PLANNED UNIT DEVELOPMENT DISTRICT - BIRCHWOOD CROSSING PUD, ORDINANCE 864, APPROVED JUNE 18, 2012

CURVE DATA:

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
(M) C1	44°18'23"	74.00'	57.22'	S44°23'04"E	55.81'
(R) C1	44°12'53"	74.00'	57.11'	S44°13'20"E	55.70'
(M) C2	89°56'44"	35.00'	54.94'	N44°49'50"W	49.47'
(P) C2	89°57'39"	35.00'	54.95'	N44°45'51"E	49.48'
C3	85°24'19"	35.00'	52.17'	S42°33'38"E	47.47'
C4	27°18'55"	9.00'	4.29'	N31°16'12"W	4.25'

LEGEND:

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW CAP #16747 (UNLESS OTHERWISE NOTED)	●	○
PLATTED BEARING & DISTANCE	P	
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
MINIMUM PROTECTION ELEVATION	MPE	
PUBLIC UTILITY EASEMENT	P.U.E.	
CENTERLINE	---	
SECTION LINE	---	
EASEMENT LINE	---	



MICHAEL D. LEE
LICENSE #16747
IOWA

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL D. LEE, S.L.S. DATE _____

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016
PAGES OR SHEETS COVERED BY THIS SEAL:
THIS SHEET _____

PRELIMINARY
NOT FOR CONSTRUCTION

RETURN TO: MICHAEL LEE, CIVIL DESIGN ADVANTAGE, 3405 SE CROSSROADS DRIVE, SUITE G, GRIMES, IOWA 50111



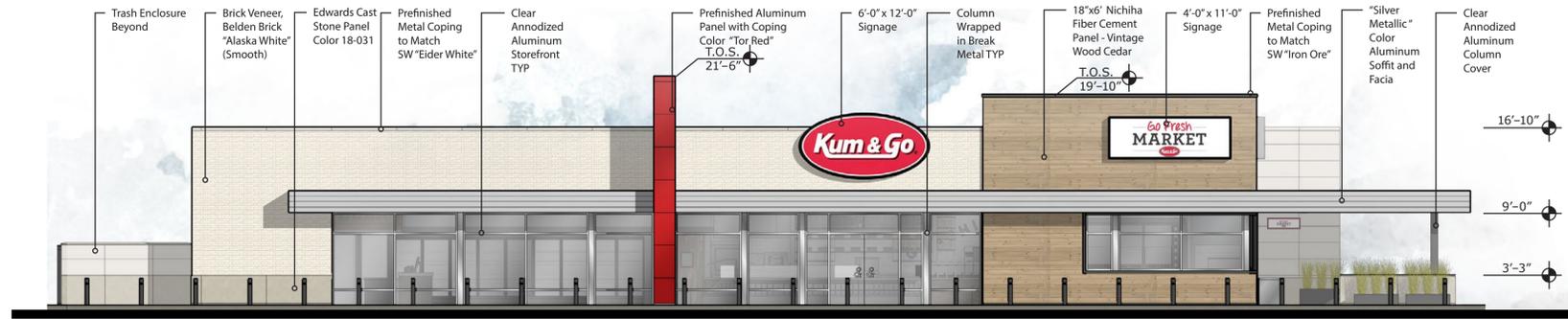
6400 Westown Parkway
West Des Moines, Iowa
50266
P: 515-226-0128
F: 515-223-9873

#129 - JOHNSTON, IOWA
BIRCHWOOD CROSSING PLAT 6
FINAL PLAT

KG PROJECT TEAM:
RDR:
SDM:
CPM:

DATE	REVISION DESCRIPTION	REVISIONS

DATE: 07-15-2015
SHEET NUMBER:
1 OF 1



West Elevation
Not To Scale



Material Percentage Calculations

Facade Square Footage (Excluding Canopy)		Square Footage Less Glazing	
- Glazing	1537 SF	343 SF	38 %
- Aluminum Panel	613 SF	40 SF	4 %
- Brick		502 SF	54 %
- Precast Panel		39 SF	4 %

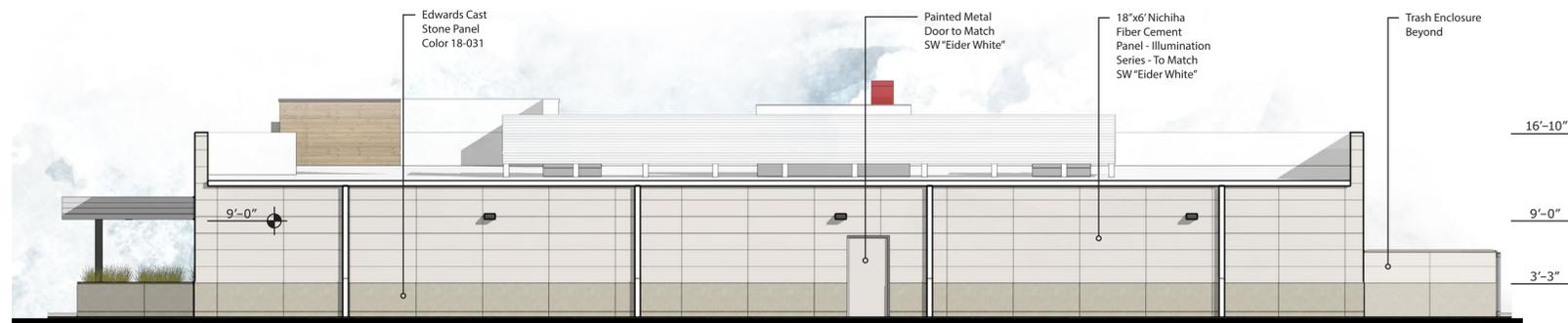


South Elevation
Not To Scale



Material Percentage Calculations

Facade Square Footage (Excluding Canopy)		Square Footage Less Glazing	
- Glazing	1021 SF	217 SF	21 %
- Nichiha VintageWood		460 SF	45 %
- Nichiha Illumination Panel		275 SF	27 %
- Precast Panel		69 SF	7 %

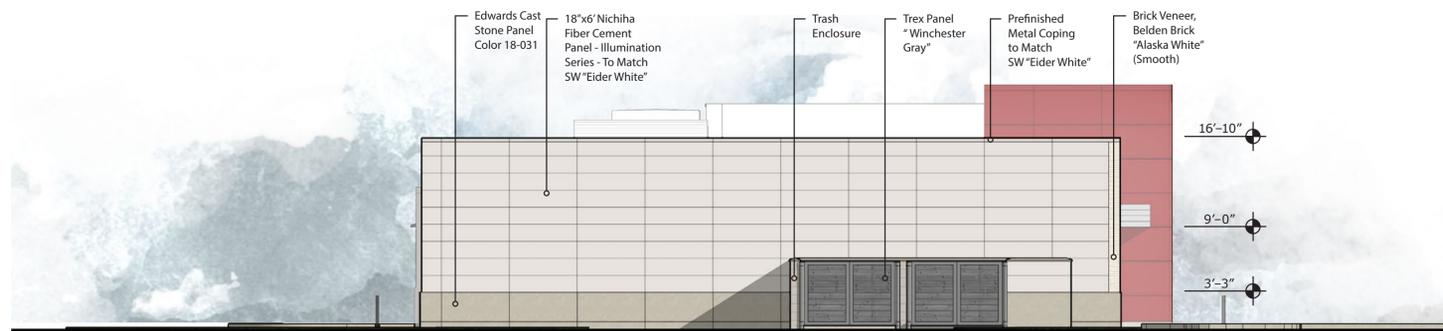


East Elevation
Not To Scale



Material Percentage Calculations

Overall		Square Footage Less Glazing	
- Nichiha Illumination Panel	1293 SF	1012 SF	78 %
- Precast Panel		282 SF	22 %



North Elevation
Not To Scale



Material Percentage Calculations

Overall		Square Footage Less Glazing	
- Nichiha Illumination Panel	926 SF	729 SF	79 %
- Precast Panel		185 SF	20 %
- Brick		12 SF	1 %

ARCHITECT OF RECORD:
BIR architecture, inc.
1000 North Main Street, Suite 200
Des Moines, IA 50319
Tel: 515-265-9895
Fax: 515-265-9894



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#0129 - JOHNSTON, IOWA
86th and BIRCHWOOD COURT
EXTERIOR ELEVATIONS

KG PROJECT TEAM:
RDM:
SDM:
CPM:

REVISION DESCRIPTION

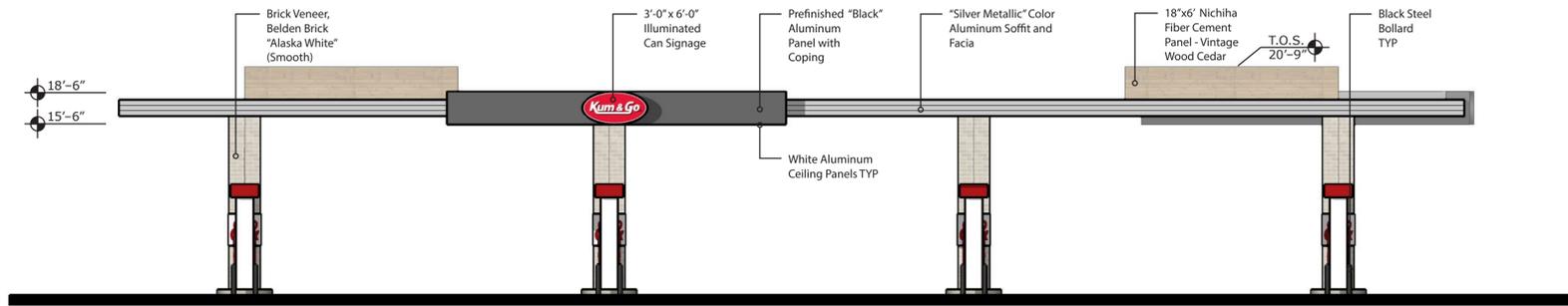
DATE

DATE:

SHEET NUMBER:

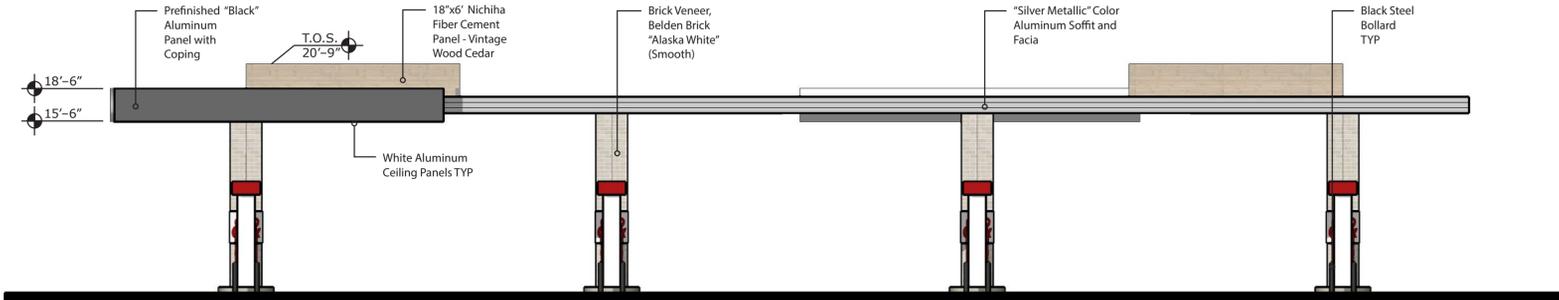
REVISIONS

DOCUMENT NUMBER: 10-100



West Elevation

Not To Scale



East Elevation

Not To Scale



South Elevation

Not To Scale



North Elevation

Not To Scale



ARCHITECT OF RECORD:
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 Suite 200
 Des Moines, IA 50319
 Tel: 515-265-9873
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#0129 - JOHNSTON, IOWA
 86th and BIRCHWOOD COURT
 CANOPY ELEVATIONS

KG PROJECT TEAM:
 RDM:
 SDM:
 CPM:

REVISION DESCRIPTION

DATE

DATE:

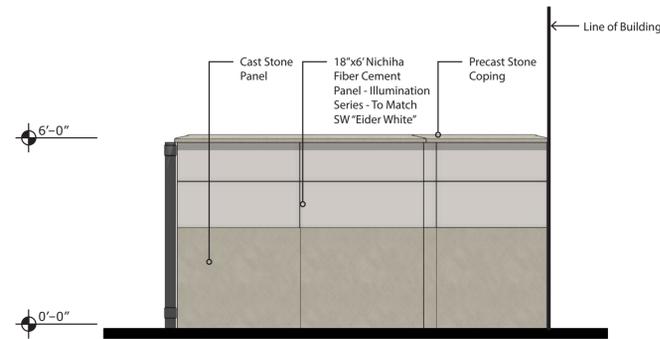
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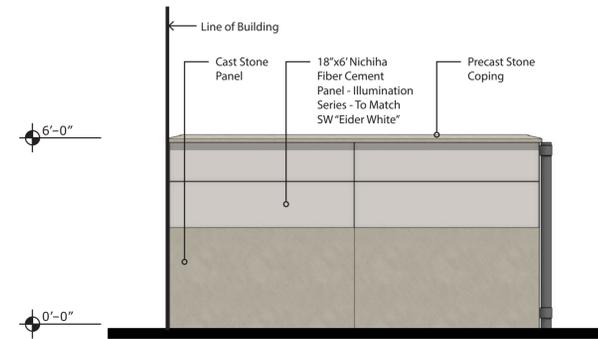
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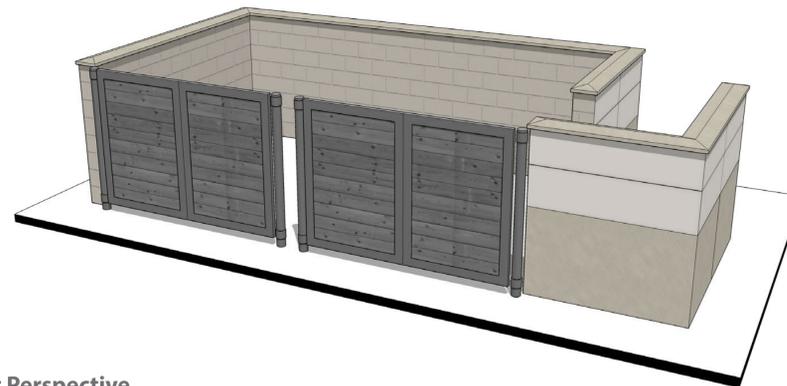
North Elevation
Not To Scale



West Elevation
Not To Scale



East Elevation
Not To Scale



Concept Perspective
Not To Scale

ARCHITECT OF RECORD:
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86th and BIRCHWOOD COURT
TRASH ENCLOSURE ELEVATIONS

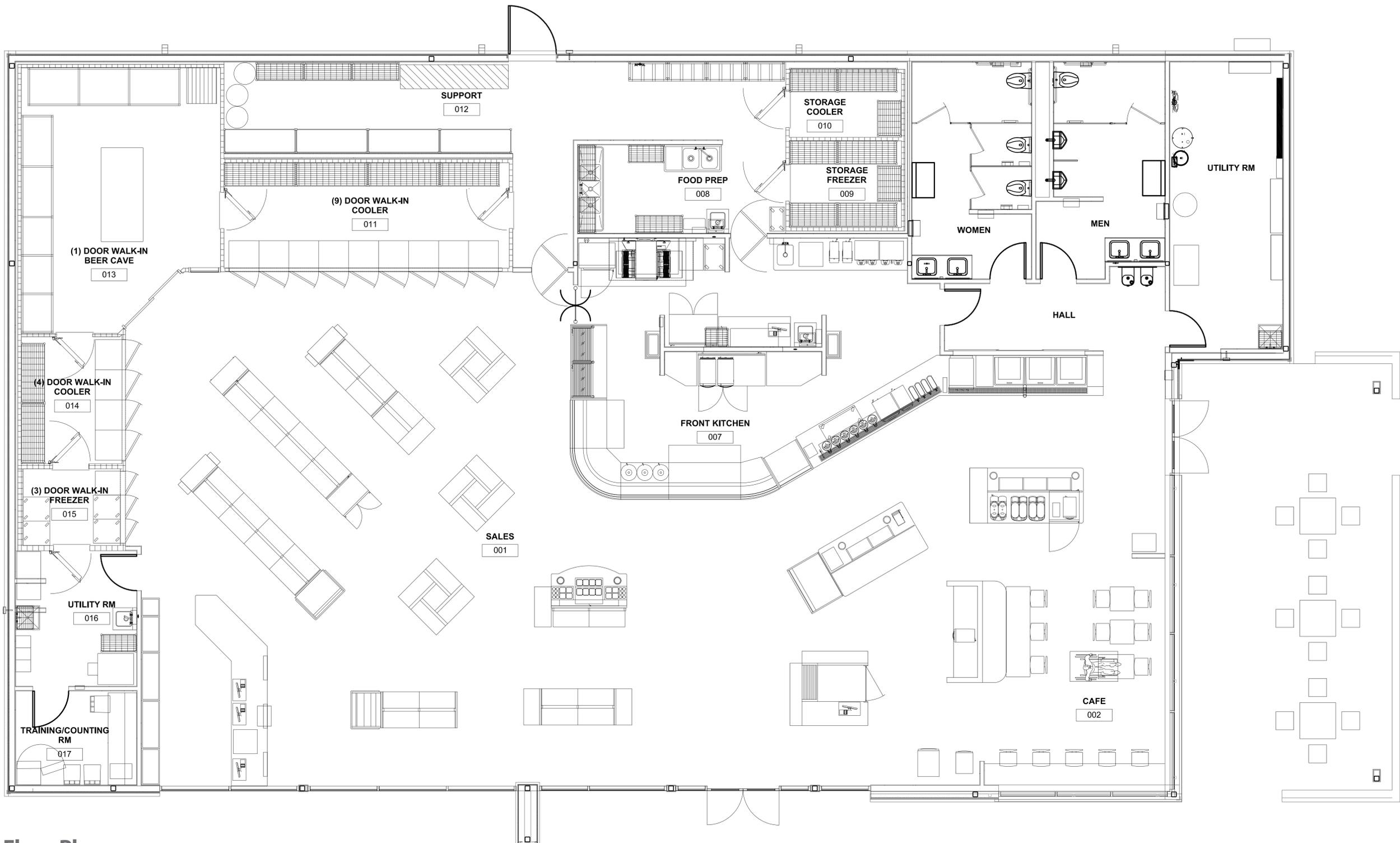
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SHEET NUMBER:

REVISIONS



Floor Plan

1/4" = 1'-0"

ARCHITECT OF RECORD:
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 2000 West Des Moines
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#0129 - JOHNSTON, IOWA
 86th and BIRCHWOOD COURT
 FLOOR PLAN

KG PROJECT TEAM:
 RDM:
 SDM:
 CPM:

REVISION DESCRIPTION	DATE

DATE:
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