



Notice of Proposed Development *City of Johnston, Iowa*

March 20th, 2015

PZ Case No. 15-02; Residences at 62W

PMR Realty Group, LLC has submitted a site plan and preliminary plat for The Residences at 62W, a 137 unit multifamily apartment building on 5.21 acres south of NW 62nd Avenue and west of NW 59th Court. The most recent site plan and building elevations are available below.

Applicant:

PMR Realty Group, LLC
Tom Rupprecht
1225 Jordan Creek Parkway, Ste. 200
West Des Moines, IA 50266
Rupprecht.tom@rrrealty.com

Meeting Schedule:

Planning and Zoning Commission, Monday, March 30th, 2015
City Council Meeting, Monday, April 6th, 2015

Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road and begin at 7:00 p.m. The public is welcome and invited to attend the above noted meetings and an opportunity will be provided for you to make comments on the proposed request.

Staff Contact:

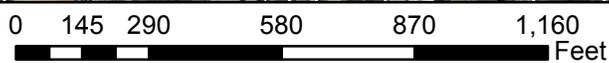
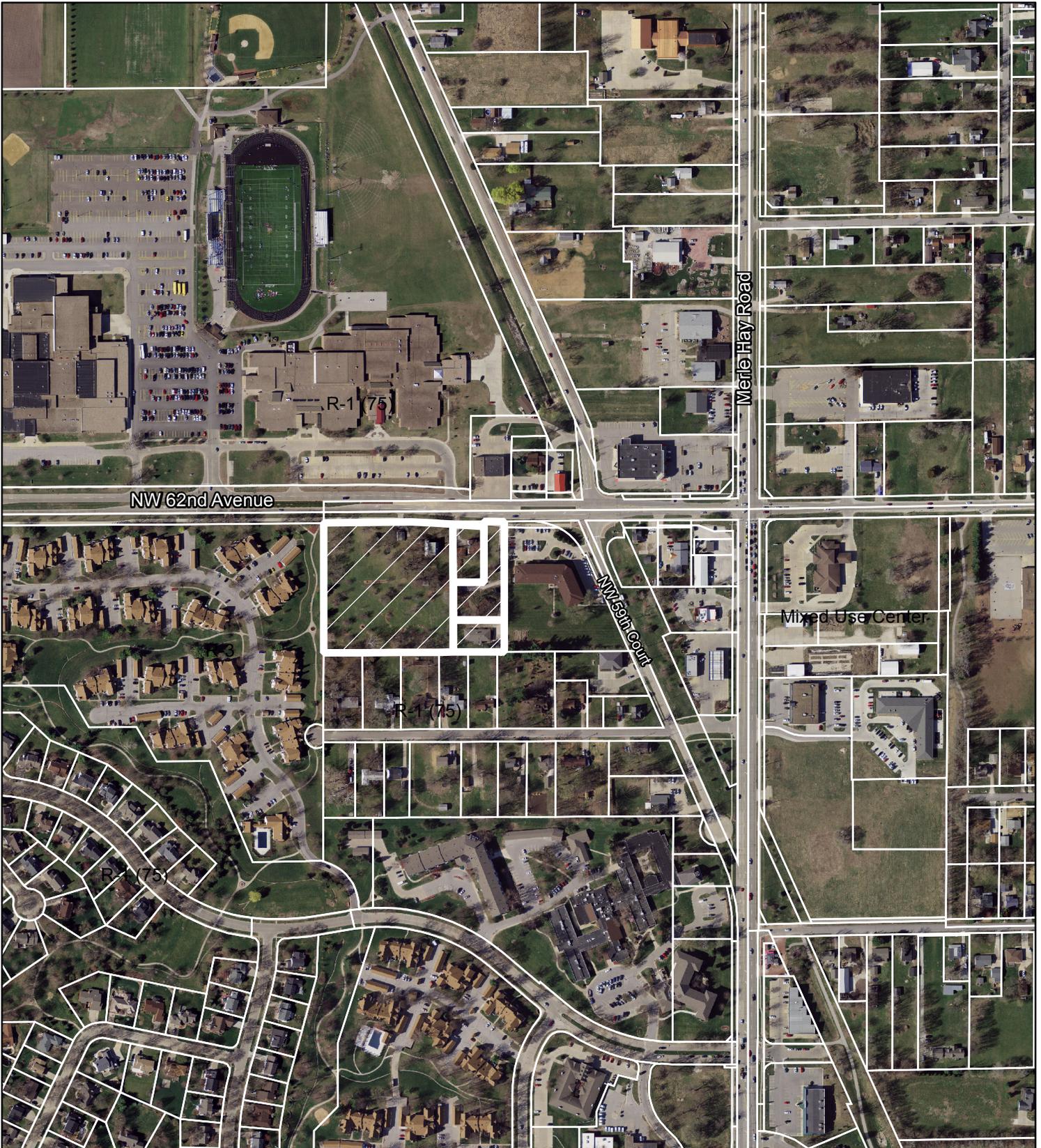
Comments and questions about this application may be directed to:

Aaron Wolfe, AICP
Senior Planner
City of Johnston
6221 Merle Hay Road, Box 410
Johnston, IA 50131
Phone: (515) 727-7766
Email: awolfe@cityofjohnston.com

Attachments:

Vicinity Map
Neighborhood Mailing List

Residences at 62W Vicinity Map



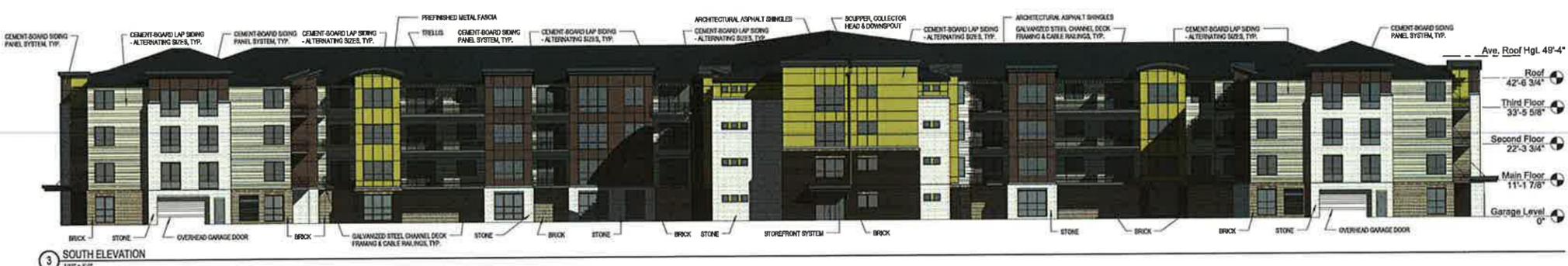
OWNER NAME	ADDRESS	CITY, STATE, ZIP CODE
AHEPA 192 INC	6190 NW 59TH CT	JOHNSTON, IA 50131
BISHOP DRUMM	6102 NW 61ST AVE	JOHNSTON, IA 50131-1525
BISHOP DRUMM RETRMT CENTER	6060 NW 61ST AVE	JOHNSTON, IA 50131-1523
BISHOP DRUMM RETRMT CENTER	6000 NW 61ST AVE	JOHNSTON, IA 50131-1523
BRADLEY ESPE	6125 NW 61ST AVE	JOHNSTON, IA 50131-1526
HURD JOHNSTON LLC	6200 MERLE HAY RD	JOHNSTON, IA 50131
IRISH LILY PROPERTIES LLC	5985 NW 62ND AVE	JOHNSTON, IA 50131-1540
J C ACQUISTIONS LLC	6108 NW 59TH CT	JOHNSTON, IA 50131-1580
JENNIFER ANDERSON	6015 NW 61ST AVE	JOHNSTON, IA 50131-1524
JOHNSTON COMM SCH DIST	6207 NW 62ND AVE	JOHNSTON, IA 50131-4704
KURT GREIMAN	5919 NW 62ND AVE	JOHNSTON, IA 50131-1540
LARRY GILLIAM	6130 NW 61ST AVE	JOHNSTON, IA 50131-1525
LISA BECTON	6075 NW 61ST AVE	JOHNSTON, IA 50131-1524
LYLE REICKS	6105 NW 61ST AVE	JOHNSTON, IA 50131-1526
ROBERT FRIESEN	6116 NW 61ST AVE	JOHNSTON, IA 50131-1525
SONJA BAER	6080 NW 61ST AVE	JOHNSTON, IA 50131-1523
STEPHEN SUTTON	5980 NW 61ST AVE	JOHNSTON, IA 50131-1521
THOMAS LEFFLER	5955 NW 61ST AVE	JOHNSTON, IA 50131-1522
THOMAS LEFFLER	5985 NW 61ST AVE	JOHNSTON, IA 50131-1522
TROY PETERSEN	6045 NW 61ST AVE	JOHNSTON, IA 50131-1524



1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"





1 EAST ELEVATION - CENTRAL WING
1/8" = 1'-0"



3 WEST ELEVATION - CENTRAL WING
1/8" = 1'-0"

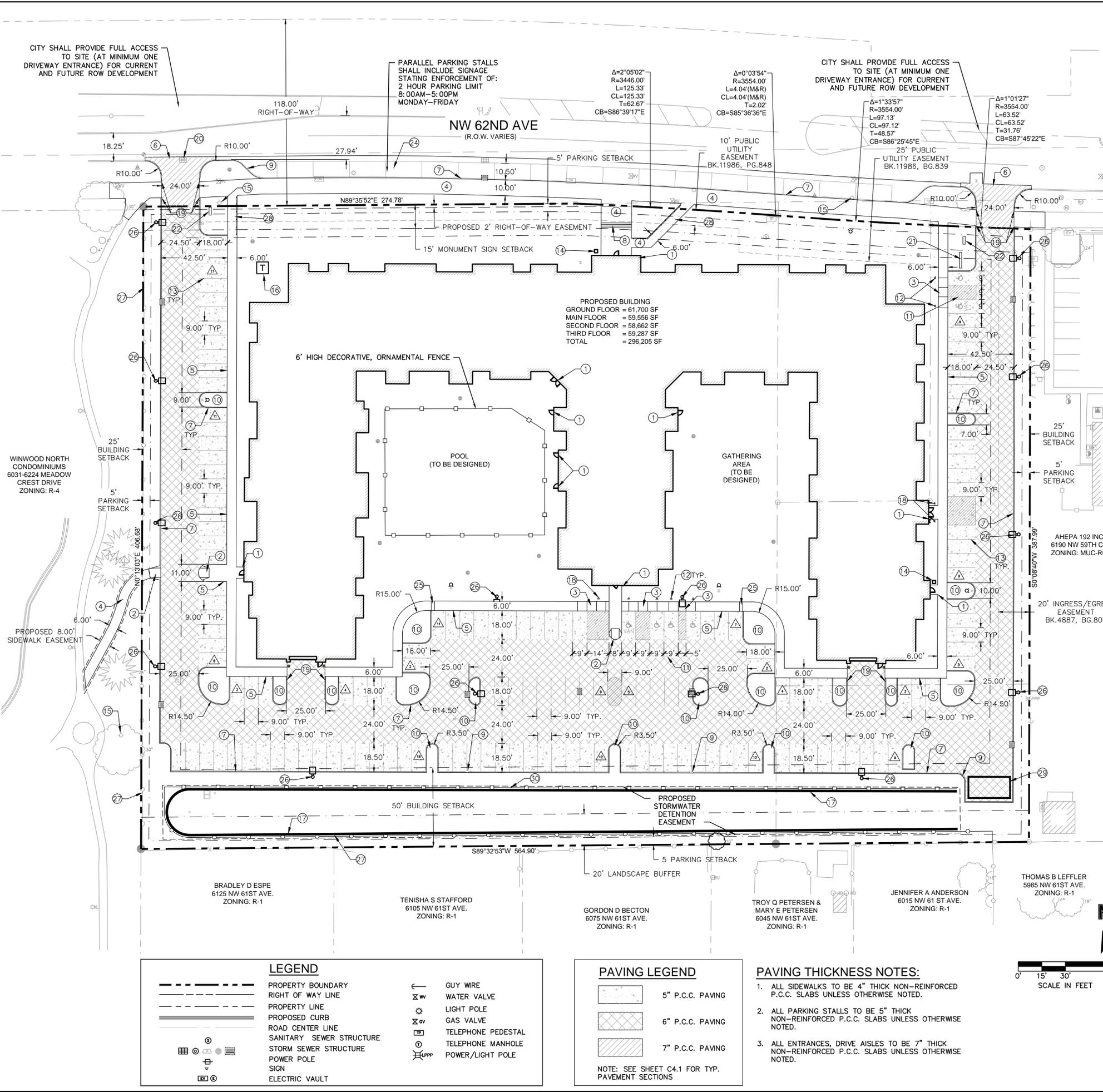


2 EAST ELEVATION - WEST WING
1/8" = 1'-0"



4 WEST ELEVATION - EAST WING
1/8" = 1'-0"

DWG: F:\Projects\014-1457\LD\MP\Preliminary_Plans\141457_SIT.dwg
 DATE: Mar 19, 2015 3:25pm
 USER: jehschard
 XREFS: 141457_TBLK
 141457_PBASE
 141457_XBASE



PROPOSED BUILDING
 GROUND FLOOR = 61,700 SF
 MAIN FLOOR = 59,556 SF
 SECOND FLOOR = 58,662 SF
 THIRD FLOOR = 59,287 SF
 TOTAL = 239,205 SF

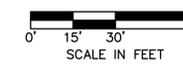
LEGEND	
	PROPERTY BOUNDARY
	RIGHT OF WAY LINE
	PROPERTY LINE
	PROPOSED CURB
	ROAD CENTER LINE
	SANITARY SEWER STRUCTURE
	STORM SEWER STRUCTURE
	POWER POLE
	SIGN
	ELECTRIC VAULT
	GUY WIRE
	WATER VALVE
	LIGHT POLE
	GAS VALVE
	TELEPHONE PEDESTAL
	TELEPHONE MANHOLE
	POWER/LIGHT POLE

PAVING LEGEND	
	5" P.C.C. PAVING
	6" P.C.C. PAVING
	7" P.C.C. PAVING

NOTE: SEE SHEET C4.1 FOR TYP. PAVEMENT SECTIONS

PAVING THICKNESS NOTES:

- ALL SIDEWALKS TO BE 4" THICK NON-REINFORCED P.C.C. SLABS UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS TO BE 5" THICK NON-REINFORCED P.C.C. SLABS UNLESS OTHERWISE NOTED.
- ALL ENTRANCES, DRIVE AISLES TO BE 7" THICK NON-REINFORCED P.C.C. SLABS UNLESS OTHERWISE NOTED.



- FLAG NOTES:**
- ALIGN PAVING WITH BUILDING CORNER, OR STRUCTURAL STOOP, TYP.
 - TYPE A CURB RAMP, SEE DETAIL SHEET C4.1
 - PARALLEL CURB RAMP, SEE DETAIL SHEET C4.1
 - PCC SIDEWALK, SEE DETAIL SHEET C4.1
 - PCC CURB/SIDEWALK (2% MAX. SLOPE), SEE DETAIL SHEET C4.1
 - PCC DRIVEWAY, TYPE B PER SUDAS FIGURE 7030.102
 - PCC STANDARD 6" CURB, SEE DETAIL SHEET C4.1
 - TYPE A CONCRETE STAIRS WITH HANDRAIL, PER SUDAS FIGURE 9080.101
 - 2' CURB OPENING
 - LANDSCAPE BED
 - ACCESSIBLE PARKING STALL AND AISLE, SEE DETAIL SHEET C4.1
 - POLE MOUNTED ADA SIGN, SEE DETAIL SHEET C4.1
 - 4" PAVEMENT MARKING, TYP. SEE PAVING NOTE #5
 - KNOX BOX, SEE ARCHITECTURAL PLANS
 - EXISTING HYDRANT
 - TRANSFORMER, SEE ELECTRICAL PLANS
 - MODULAR BLOCK RETAINING WALL, SEE GRADING PLAN
 - NO PARKING SIGN
 - TAPER TO NO CURB IN 5' DISTANCE
 - MODIFY INTAKE FROM TYPE 'R' CURB INLET GRATE TO TYPE 'Q' DRIVEWAY GRATE SEE GRADING AND DRAINAGE PLAN
 - MOVEMENT SIGN, SEE ARCHITECTURAL PLANS
 - DIRECTIONAL SIGN, SEE ARCHITECTURAL PLANS
 - PROPOSED HYDRANT, SEE UTILITY PLAN
 - PARALLEL PARKING STALLS, SEE GRADING PLAN
 - SIDEWALK DRAIN, SEE DETAIL SHEET C4.1
 - PROPOSED LIGHT POLE, SEE PHOTOMETRIC PLAN
 - REMOVE EXISTING 4' CHAIN-LINK FENCE ALONG WEST PROPERTY LINE AND RESET TO SOUTH SIDE OF DETENTION POND.
 - SIDEWALK RAMP WITH HANDRAIL, SEE GRADING PLAN AND DETAIL SHEET C4.1
 - AS PART OF FINAL DESIGN, THE DEVELOPER WILL DETERMINE WHETHER ALL GARBAGE COLLECTION CAN BE ACCOMMODATED INSIDE THE BUILDING. IT IS ANTICIPATED THAT DUMPSTERS WILL BE LOCATED INSIDE THE PARKING GARAGE AND WILL BE TEMPORARILY MOVED OUTSIDE FOR PICKUP. IF THIS IS NOT POSSIBLE, DEVELOPER WILL CONSTRUCT OUTSIDE DUMPSTER ENCLOSURE AT THE LOCATION SHOWN.
 - PROPOSED 8' PRIVACY FENCE

- SITE PLAN NOTES:**
- DIMENSIONS SHOWN ON THE SITE PLAN ARE TO BACK OF CURB LINE IN CURBED AREAS AND EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE SPECIFIED.
 - SEE GRADING PLAN ELEVATIONS OF CURB RAMPS, SIDEWALKS, CURB AND GUTTER, ETC.
 - DUMPSTERS WILL BE LOCATED ON GROUND FLOOR OF BUILDING. SEE ARCHITECTURAL PLANS

- PAVING NOTES:**
- ALL PAVING WORK AND SUBGRADE PREPARATION/STABILIZATION SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, PREPARED BY OLSSON ASSOCIATES, JUNE 11, 2014. PROJ. NO. 014-1457. IN CASE OF ANY CONFLICT WITH THESE PLANS, NOTIFY ENGINEER IMMEDIATELY.
 - UNLESS PROVIDED FOR IN THE PLANS, CONTRACTOR SHALL DEVELOP A CONCRETE JOINTING PLAN USING THE PROPOSED SITE PLAN AND SITE CONDITIONS. JOINT LAYOUT SHALL BE IN ACCORDANCE WITH ACI 308R "GUIDE FOR THE DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS," AND STANDARD CONSTRUCTION PRACTICES. JOINT DETAILS SHALL BE IN ACCORDANCE WITH SUDAS SPECIFICATIONS. CONTRACTOR SHALL PROVIDE A PAVEMENT JOINTING PLAN FOR OWNER APPROVAL.
 - ALL CONCRETE PAVEMENT SHALL MEET 2014 SUDAS SPECIFICATIONS AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
 - ALL RADIUS DIMENSIONS SHOWN ARE 5' TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT MARKINGS FOR PARKING STALLS TO BE 4" WIDE WHITE MARKING AND CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD, FEDERAL HIGHWAY ADMINISTRATION) AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS.
 - ALL SIGNING, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON PROJECT TO BE IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ACCESSIBLE AREAS AND ROUTES ARE BUILT IN ACCORDANCE WITH THE PLANS AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. THE SITE MAY BE INSPECTED BY CITY PERSONNEL FOR COMPLIANCE WITH THE STANDARDS.
 - ADA ACCESSIBLE PARKING STALLS AND AISLES SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION. ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00% (UNLESS RAMPS AND LANDINGS ARE PROVIDED PER ADA STANDARDS). CURB RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.33% (12:1). ACCESSIBLE MANEUVERING AREAS AT DOORS SHALL BE CONSTRUCTED WITH A MAXIMUM 2.00% IN ANY DIRECTION. CONTRACTOR SHALL FIELD VERIFY ADA GRADES AND FORM WORK PRIOR TO PLACING ANY CONCRETE. ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY SHOWN ON THE PLANS.
 - CONTRACTOR TO COORDINATE ALL PAVEMENT TESTING.
 - PAVING CONTRACTOR TO PLACE TRAFFIC RATED CAPS ON ALL CLEAN-OUTS WITHIN PAVED AREAS.
 - ALL ACCESSIBLE STALLS TO BE PAINTED AND SIGNS INSTALLED.
 - MAINTAIN 2% MAXIMUM CROSS SLOPE ON SIDEWALKS UNLESS OTHERWISE NOTED. ALL SIDEWALKS TO BE 4" P.C.C. PAVEMENT UNLESS OTHERWISE NOTED.

OLSSON ASSOCIATES
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 FAX: 516.331.6518
 www.olssonassociates.com
 7157 Vista Drive
 West Des Moines, IA 50266

SITE PLAN SUBMITTAL
THIS DOCUMENT HAS BEEN REVIEWED FOR DESIGN REVIEW AND IS NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS DESCRIPTION

SITE LAYOUT PLAN

RESIDENCES AT 62W
6000 NW 62ND AVENUE

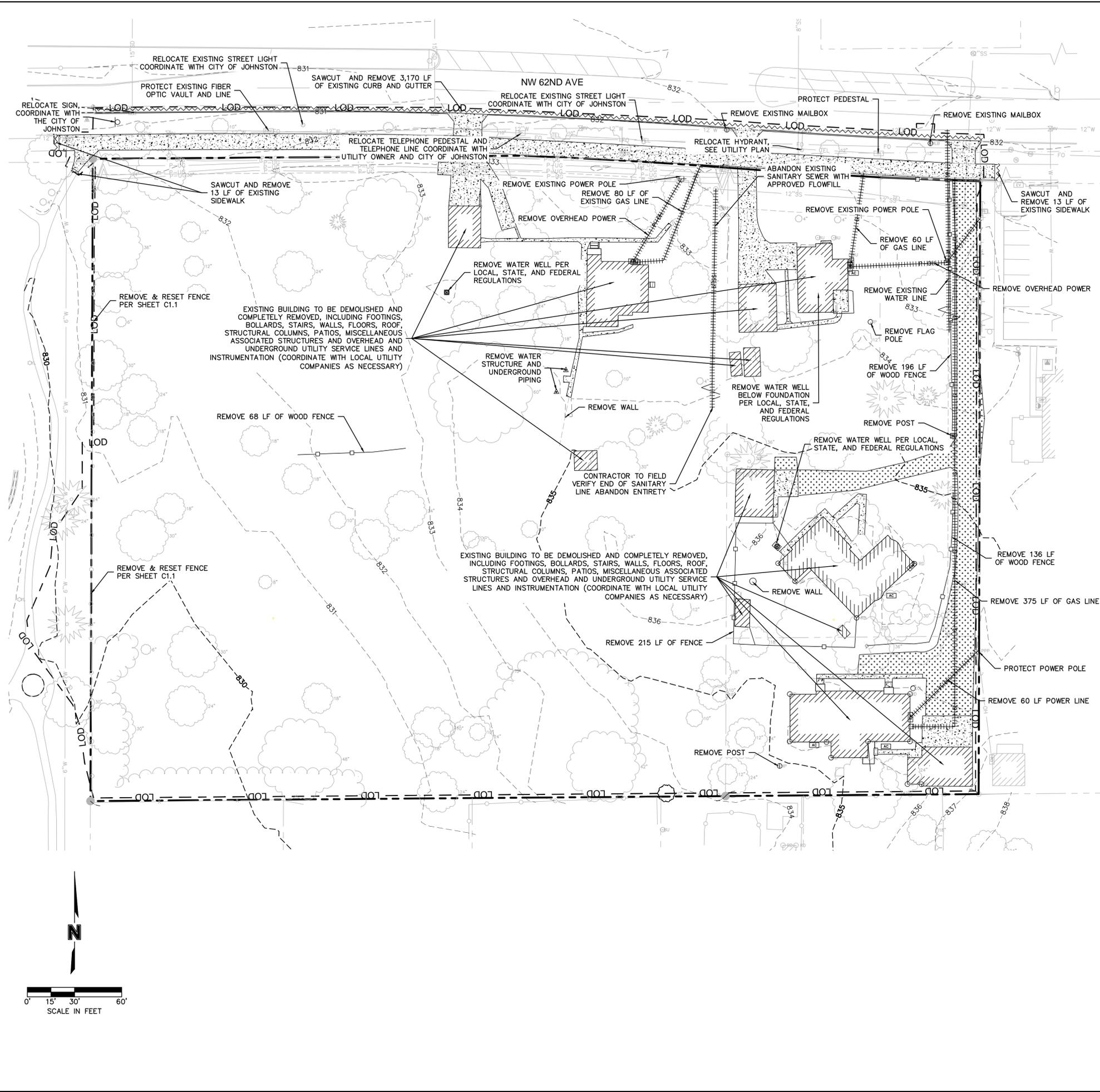
JOHNSTON, IA

2015

811
 Know what's below
 Call before you dig.
CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING. (EXCEPT FOR EMERGENCY REPAIRS TO WATER, GAS, OR ELECTRIC UTILITIES)

drawn by: ILB
 checked by: CDD
 approved by: CDD
 QA/QC by: JSS
 project no.: 014-1457
 drawing no.:
 date: 03.19.15

SHEET C1.1



DEMOLITION NOTES:

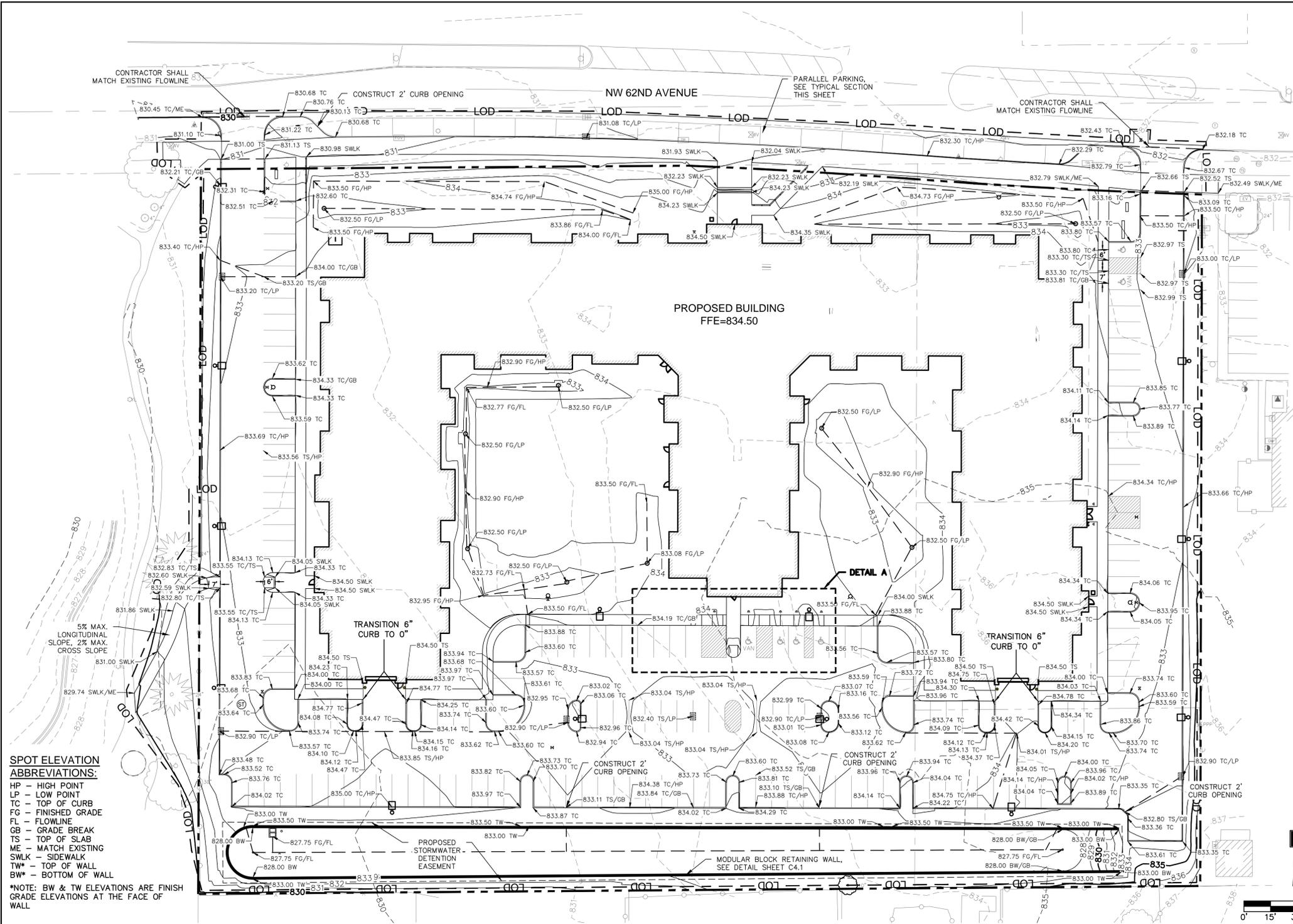
- PRIOR TO BIDDING, CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE PROJECT AREA AND ANTICIPATED DEMOLITION REQUIREMENTS.
- CONTRACTOR TO PROTECT ALL UTILITY, PAVING, BUILDINGS, ETC. OUTSIDE OF LIMITS OF PROPOSED CONSTRUCTION DURING DEMOLITION OPERATIONS.
- ALL EXISTING PAVEMENT ONSITE SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO PAVING PLAN FOR DETAILS ON LIMITS OF PAVING DEMOLITION, AND EROSION CONTROL PLAN FOR PERIMETER CONTROL.
- ALL DEMOLITION WORK ON THIS CONSTRUCTION SITE SHALL BE IN CONFORMANCE WITH LOCAL STANDARDS AND GUIDELINES.
- THIS DEMOLITION PLAN DEPICTS THE ANTICIPATED REMOVALS NECESSARY FOR CONSTRUCTION OF THE PROJECT. MISCELLANEOUS AND MINOR REMOVALS MAY NOT BE SHOWN IN DETAIL BUT ARE CONSIDERED OBLIGATORY TO THE PROJECT. ADDITIONAL REMOVALS MAY BE NECESSARY AND THE CONTRACTOR WILL BE REQUIRED TO REMOVE ALL EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED CONSTRUCTION AND AS OTHERWISE DIRECTED BY THE OWNER.
- CONTRACTOR SHALL COORDINATE DEMOLITION AND/OR RELOCATION OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNER AND IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS. INTERRUPTIONS IN SERVICE SHALL BE COORDINATED WITH THE UTILITY OWNER AND PROPERTY OWNER(S) IMPACTED. CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANY FOR PORTIONS OF THE WORK TO BE PERFORMED BY UTILITY COMPANY'S FORCES, AND PROVIDE ADEQUATE NOTICE FOR SCHEDULING. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES, UNLESS OTHERWISE PAID BY OWNER PRIOR TO CONSTRUCTION. UTILITY REMOVAL TRENCHES SHALL BE BACKFILLED WITH APPROVED MATERIAL AND MEET COMPACTION REQUIREMENTS PER THE GEOTECHNICAL REPORT.
- THE SITE MAY CONTAIN EXISTING FOOTINGS OR OTHER UNDERGROUND STRUCTURES THAT ARE NOT DEPICTED ON THIS PLAN. CONTRACTOR SHALL TAKE CARE TO REMOVE ALL NECESSARY STRUCTURES AND BACKFILL IN CONFORMANCE WITH THE GEOTECHNICAL REPORT. BOTTOM OF EXCAVATION SUBGRADE SHALL BE INSPECTED BY THE GEOTECHNICAL TESTING ENGINEER AND APPROVED PRIOR TO ANY BACKFILL.
- CONTRACTOR TO COMPLETELY REMOVE TREES DESIGNATED TO BE REMOVED, STUMPS, AND ROOT SYSTEMS, FOR TREE REMOVALS SEE SHEET L2.1
- PRIOR TO DEMOLITION WORK, EROSION CONTROL DEVICES ARE TO BE INSTALLED. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS DEMOLITION AND CONSTRUCTION SEQUENCING WARRANTS.
- ALL EXISTING UNUSED SERVICE LINES FOR WATER AND WASTEWATER SHALL BE REMOVED PER LOCAL UTILITY COMPANY STANDARDS. ALL EXISTING UNUSED GAS SHALL BE COORDINATED FOR REMOVAL WITH UTILITY COMPANY.
- THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A MANNER APPROVED BY ALL GOVERNING AUTHORITIES FOR ALL STRUCTURES, PADS, WALLS, PANS, FOUNDATIONS, PAVEMENT, UTILITIES, ETC. TO BE DEMOLISHED, SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. DEMOLITION AND DISPOSAL PERMITS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO APPROVED GRADE AND BROUGHT UP TO PROPOSED GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL STUDY.
- DURING DEMOLITION OPERATIONS, THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES USING MEANS OF THEIR CHOICE.
- CONTRACTOR SHALL PRESERVE ALL LANDSCAPING NOT TO BE REMOVED FOR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS DISTURBED BY CONSTRUCTION.
- SAWCUTS SHALL BE TO FULL DEPTH OF EXISTING PAVEMENT. CONCRETE PAVEMENT SHALL BE REMOVED TO NEAREST EXISTING JOINT WHEN LESS THAN 5' FROM PROPOSED SAWCUT
- CONTRACTOR SHALL REMOVE ALL UNDERLYING VEGETATION, STUMPS, BRUSH, ETC. WITHIN THE LIMITS OF DISTURBANCE, UNLESS OTHERWISE DIRECTED.
- CONTRACTOR SHALL REMOVE EXISTING SEPTIC TANK AND LEACH FIELDS PER LOCAL, STATE AND FEDERAL REQUIREMENTS.
- CONTRACTOR SHALL REMOVE CONCRETE UTILITY PIT PER LOCAL, STATE AND FEDERAL REQUIREMENTS.

LEGEND

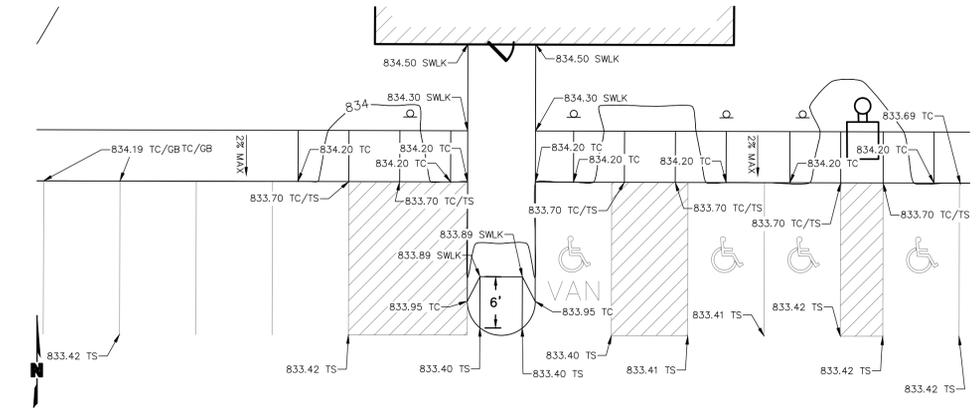
---	PROPOSED BOUNDARY LINE
---	EXISTING PROPERTY LINE
---	OVERHEAD POWER
TEL	TELEPHONE LINE
G	GAS LINE
SS	EXISTING SANITARY SEWER LINE
W	EXISTING WATER LINE
SD	EXISTING STORM SEWER LINE
---	EXISTING CURB AND GUTTER
---	ROAD CENTERLINE
FO	EXISTING FIBER OPTIC LINE
P-UG	EXISTING UNDERGROUND POWER
LOD	LIMITS OF DISTURBANCE
---	WOOD FENCE
---	CHAINLINK FENCE
---	VEGETATION LINE
---	EXISTING BUILDING
---	SAWCUT LINE
---	UTILITY LINE REMOVAL
---	EXISTING GRAVEL REMOVALS
---	EXISTING CONCRETE REMOVALS
TEL	TELEPHONE PEDESTAL
AC	AIR CONDITIONER
EM	ELECTRIC METER
GM	GAS METER
B	BOLLARD
GI	GRATE INLET
BP	BENCHMARK/CONTROL POINT
SM	STORM SEWER MANHOLE
MB	MAILBOX
FM	FOUND OR SET MONUMENT
EV	EXISTING VEGETATION
S	SIGN
FD	FIRE HYDRANT
EB	ELECTRICAL BOX
LP	LIGHT POLE
PP	POWER POLE
SSM	SANITARY SEWER MANHOLE
SC	SEWER CLEANOUT
GW	GUY WIRE
PL	POWER POLE WITH LIGHT
TM	TELEPHONE MANHOLE
WV	WATER VALVE
RD	ROOF DRAIN
WW	WATER WELL

REV. NO.	DATE	REVISIONS DESCRIPTION

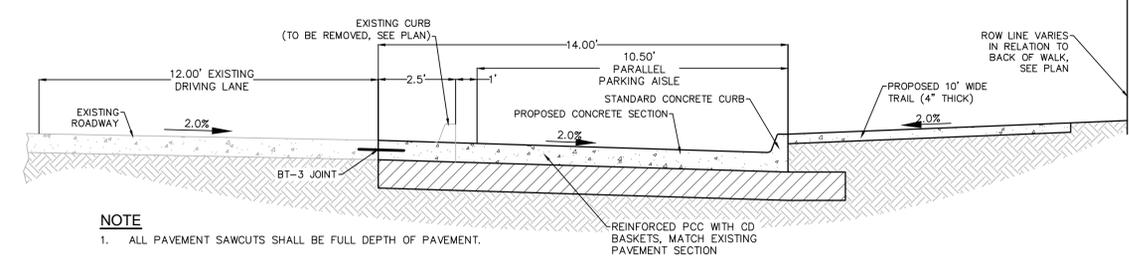
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 XREFS: 141457_TBLK 141457_XBASE



SPOT ELEVATION ABBREVIATIONS:
 HP - HIGH POINT
 LP - LOW POINT
 TC - TOP OF CURB
 FG - FINISHED GRADE
 FL - FLOWLINE
 GB - GRADE BREAK
 TS - TOP OF SLAB
 ME - MATCH EXISTING
 SWLK - SIDEWALK
 TW* - TOP OF WALL
 BW* - BOTTOM OF WALL
 *NOTE: BW & TW ELEVATIONS ARE FINISH GRADE ELEVATIONS AT THE FACE OF WALL



DETAIL A
 SCALE: 1"=10'



NOTE
 1. ALL PAVEMENT SAWCUTS SHALL BE FULL DEPTH OF PAVEMENT.

PARALLEL PARKING TYPICAL SECTION
 NOT TO SCALE

GRADING NOTES

- PRIOR TO ANY GRADING OPERATIONS, ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE ADEQUATELY IN PLACE. REFER TO THE EROSION AND SEDIMENT CONTROL PLAN FOR REQUIREMENTS.
- THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS AND CURBS, TOP OF FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR MULCH, SOD, PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR SUBGRADE ELEVATIONS.
- ALL TOP OF CURB AND SIDEWALK ELEVATIONS SHALL BE 0.5' ABOVE GUTTER ELEVATIONS UNLESS OTHERWISE NOTED. IN AREAS WITH SIDEWALK ABUTTING BACK OF CURB, TOP OF CURB ELEVATIONS SHALL BE EQUAL TO SIDEWALK ELEVATIONS.
- THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN ONE FOOT VERTICAL IN THREE FEET HORIZONTAL.
- CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE. SLOPE SHALL BE A 2% MINIMUM.
- UNLESS OTHERWISE IDENTIFIED IN THE CONTRACT DOCUMENTS, SITE AND BUILDING PAD PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY OLSOSON ASSOCIATES, JUNE 11, 2014. PROJ. NO. 014-1457.
- IN CASE OF ANY DISCREPANCIES REGARDING EARTHWORK BETWEEN THE GEOTECHNICAL REPORT AND THE SPECIFICATIONS SHOWN IN THESE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.
- ALL HERBACEOUS VEGETATION AND TOPSOIL SHALL BE STRIPPED TO A MINIMUM DEPTH OF 6 INCHES AND REMOVED FROM SITE OR STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.
- ALL EXISTING PAVEMENT, UTILITIES, BURIED DEBRIS, RUBBLE, AND/OR STRUCTURES/FOUNDATIONS ENCOUNTERED WITHIN AREAS OF DISTURBANCE SHALL BE COMPLETELY REMOVED PRIOR TO OR DURING EARTHWORK OPERATIONS. WASTED MATERIAL SHALL NOT BE BURIED ONSITE WITHOUT THE PRIOR APPROVAL OF THE OWNER.
- THE UPPER 24" OF ALL UTILITY TRENCHES IN UNPAVED AREAS SHALL BE BACKFILLED WITH COMPACTED COHESIVE SOILS. SEE GEOTECHNICAL REPORT FOR COMPACTION AND MOISTURE RECOMMENDATIONS.
- FINAL PAVEMENT SUBGRADES SHALL BE PROOFROLLED IMMEDIATELY PRIOR TO THE PLACEMENT OF THE PAVEMENT TO DETECT LOCALIZED AREAS OF INSTABILITY.
- SUITABLE FILL MATERIALS SHALL BE PLACED IN THIN LIFTS OF 4 TO 8 INCHES LOOSE MEASUREMENT, UNLESS OTHERWISE ALLOWED IN THE GEOTECHNICAL REPORT.
- IF REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS AND AUTHORIZATION TO DISCHARGE FROM DEWATERING ACTIVITIES.
- THE CONTRACTOR SHALL DEWATER ALL EXCAVATIONS AND TRENCHES NEEDED FOR THE CONSTRUCTION OF THE PROJECT USING MEANS/METHODS OF HIS CHOICE. REFER TO THE GEOTECHNICAL REPORT FOR ANTICIPATED LEVELS OF GROUNDWATER AND DEWATERING.
- ALL EXCAVATIONS AND TRENCHES SHALL BE SLOPED/SHORED/BRACED FOR PROTECTION OF PERSONNEL IN ACCORDANCE WITH OSHA REGULATIONS AND AT THE CONTRACTOR'S FULL DISCRETION BASED ON THE SITE CONDITIONS. OPEN EXCAVATIONS SHALL BE ADEQUATELY PROTECTED AND/OR FENCED AS NECESSARY AND FOR THE SAFETY OF THE PUBLIC.
- ALL FLOOR SLABS SHALL BEAR ON CONTROLLED FILL.
- CONTRACTOR WILL BE HELD RESPONSIBLE FOR SETTLEMENT DUE TO IMPROPER COMPACTION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER IMMEDIATELY IF ANY GRADING WILL TAKE PLACE BEYOND THE LIMITS OF DISTURBANCE.
- IF THERE ARE TREES ON SITE THAT DO NOT SHOW UP ON THE PLANS, THE CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE OR ENGINEER FOR REMOVAL OR RELOCATION, IF REQUIRED.
- CONTRACTOR SHALL GRADE ALL LOW SPOTS TO DRAIN. THE CONTRACTOR SHALL INFORM THE APPROPRIATE GOVERNING AGENCY, OWNER AND/OR OWNING REPRESENTATIVE PRIOR TO BEGINNING OF PROOFROLLING.
- ANY GEOTECHNICAL/TESTING REPORTS SOLICITED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE OWNER AND THE ENGINEER.
- GRADING TOLERANCES: BUILDING PAD: -0.0' TO +0.1'; PAVED AREAS -0.0' TO +0.2'; ALL OTHER AREAS: -0.2' TO +0.2'.
- ALL RETAINING WALLS EXCEEDING 4 FEET IN TOTAL HEIGHT AS MEASURED FROM THE TOP OF THE WALL TO THE BASE OF FOOTING SHALL BE APPROVED UNDER A SEPARATE BUILDING PERMIT
- SEE SITE PLAN FOR ADA ACCESSIBLE ROUTES AND PAVING REQUIREMENTS
- THIS PROJECT REQUIRES A GRADING PERMIT FROM THE CITY OF JOHNSTON

OLSSON ASSOCIATES

TEL: 515.331.6517
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 www.olsossonassociates.com
 7157 Vista Drive
 West Des Moines, IA 50266

SITE PLAN SUBMITTAL
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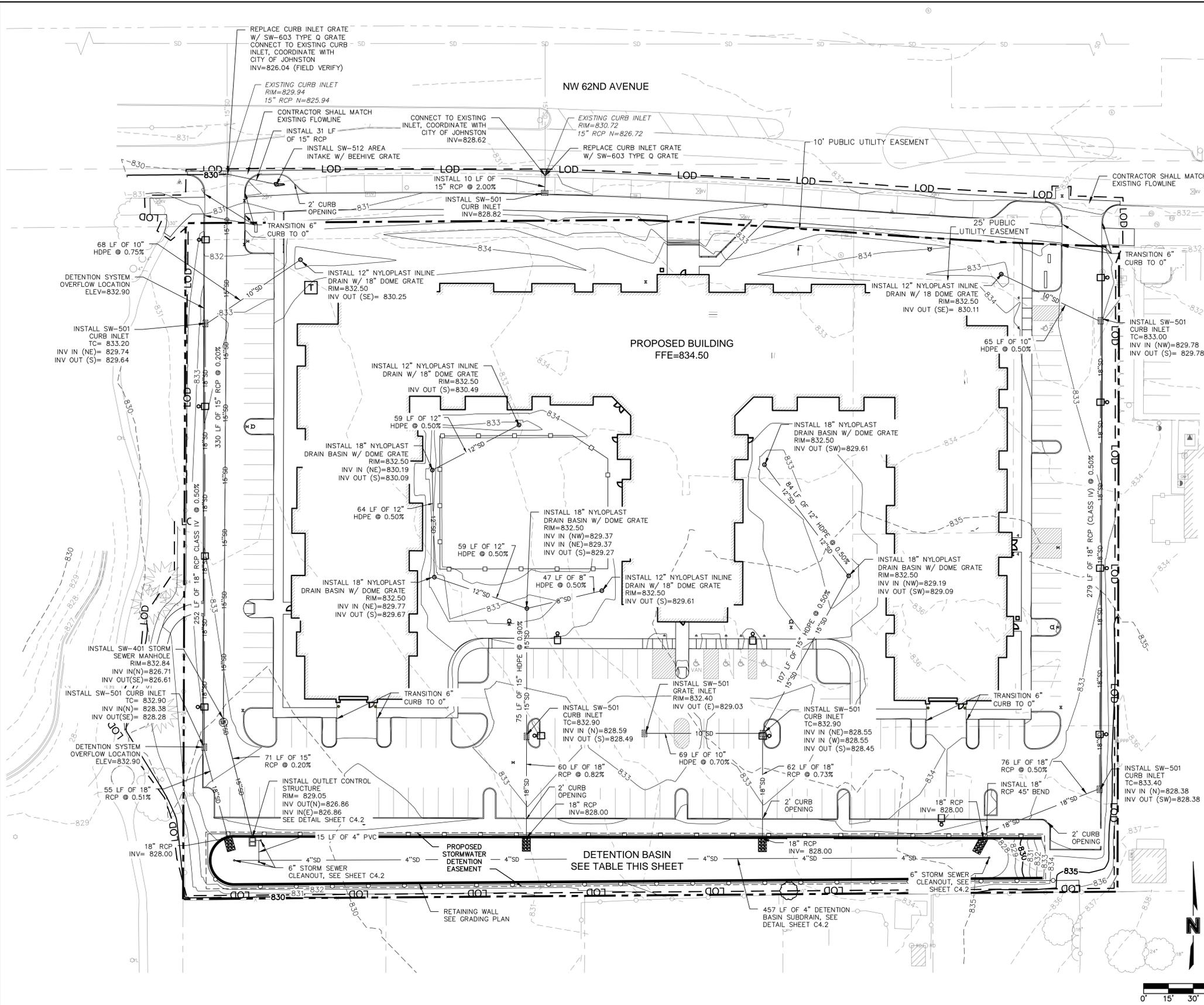
GRADING PLAN
 RESIDENCES AT 62W
 6000 NW 62ND AVENUE

REVISIONS
 2015

JOHNSTON, IA

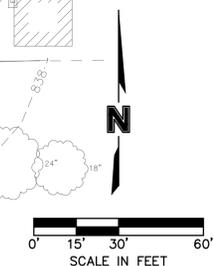
drawn by: ILB
 checked by: CDD
 approved by: CDD
 QA/QC by: JSS
 project no.: 014-1457
 drawing no.:
 date: 03.18.15





- STORM SEWER NOTES**
1. ALL STORM SEWER PIPE MATERIAL 12" AND SMALLER SHALL BE HDPE DOUBLE-WALL, SMOOTH INTERIOR PIPE (ADS N-12 OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED IN THE PLANS. ALL PIPES 15" AND LARGER SHALL BE RCP UNLESS OTHERWISE SPECIFIED IN THE PLANS. ALL JOINTS AND STRUCTURE CONNECTIONS SHALL BE WATER-TIGHT.
 2. STORM SEWER PIPE SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH THE DETAILS INCLUDED IN THE PLANS, MANUFACTURER'S INSTALLATION REQUIREMENTS, AND/OR STANDARD DETAILS INCLUDED BY REFERENCE.
 3. ALL CAST-IN-PLACE CONCRETE DRAINAGE STRUCTURES SHALL MEET SUDAS SPECIFICATIONS.
 4. SMALL DIAMETER STORM SEWER CONNECTIONS (12 INCH DIAMETER AND LESS) SHALL BE MADE WITH REDUCING WYE'S, 45 DEGREE BENDS, AND REDUCING COUPLERS, UNLESS OTHERWISE INDICATED. REFER TO PLAN AND DETAILS FOR SYSTEM LAYOUT.
 5. ALL PIPE BEDDING SHALL MEET CLASS F-3 OF SUDAS SW-103 FOR FLEXIBLE GRAVITY PIPE, AND CLASS R-2 OF SUDAS SW-102 FOR RIGID GRAVITY PIPE.

DETENTION BASIN		
POND IDENTIFICATION	VOLUME	ELEVATION
100-YR STORM	58,370 CF	832.53
WQ (1.25" STORM)	16,075 CF	829.05
BASIN BOTTOM	-	828.00



OLSSON ASSOCIATES
 TEL: 516.331.6517
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 www.olssonassociates.com
 7157 Yago Drive
 West Des Moines, IA 50266

SITE PLAN SUBMITTAL
THIS DOCUMENT HAS BEEN ISSUED FOR DESIGN REVIEW AND IS NOT FOR CONSTRUCTION

REV. NO.	DATE	REVISIONS DESCRIPTION	REVISIONS

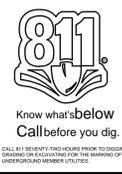
STORM SEWER PLAN
 RESIDENCES AT 62W
 6000 NW 62ND AVENUE

2015

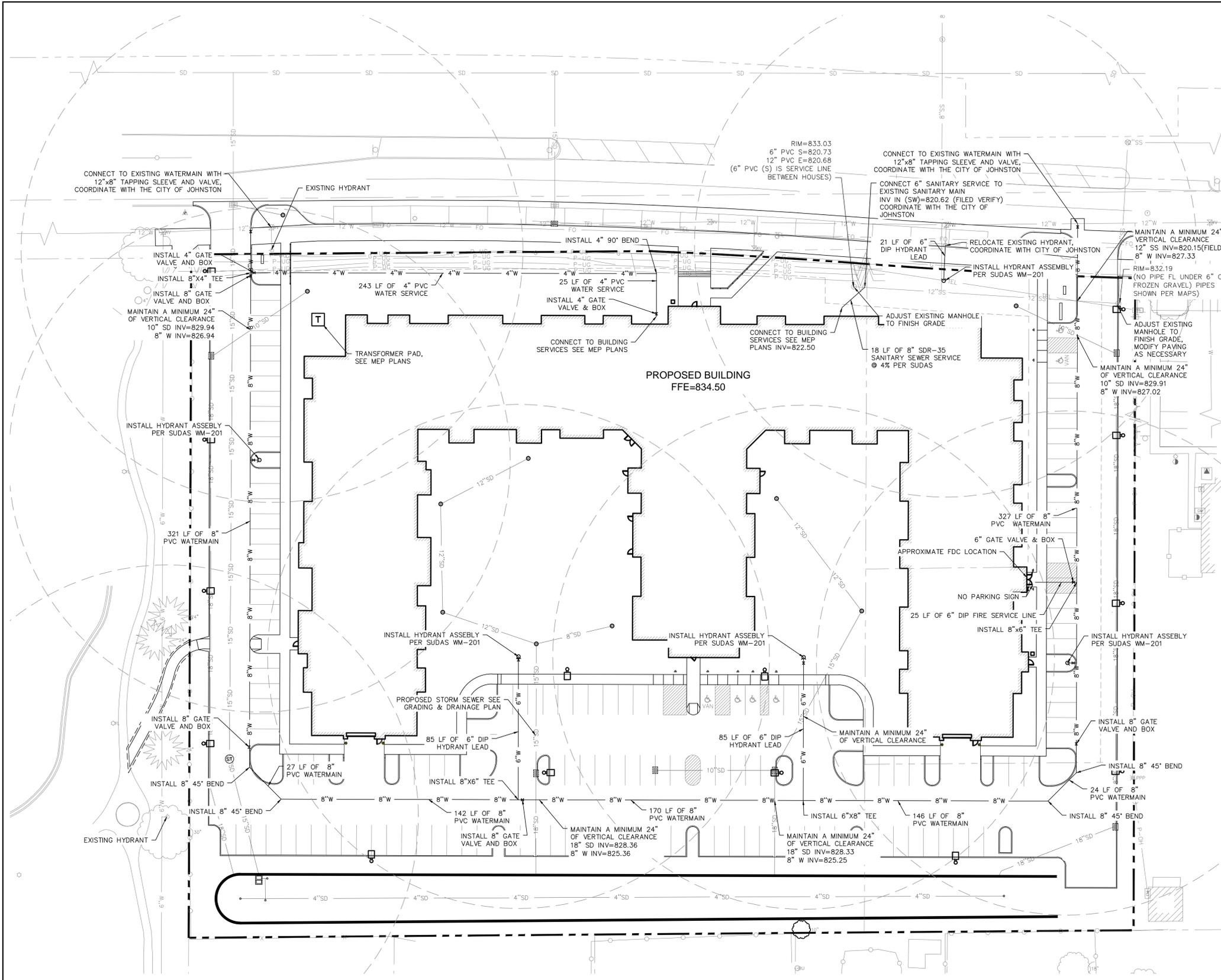
drawn by: ILB
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 approved by: CDD
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JOHNSTON, IA

SHEET C2.3



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 USER: jlebehead
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 141457_XBASE



UTILITY NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AT PROPOSED POINTS OF CONNECTION AND CONFIRM EXACT LOCATIONS/SIZES/MATERIALS OF ALL UTILITY SERVICE LINE HOOKUPS TO THE BUILDING (PER MEP PLANS) PRIOR TO UTILITIES CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING ONSITE MEETINGS WITH THE CITY, GOVERNING AGENCIES, AND UTILITY OWNERS PRIOR TO THE START OF ANY CONSTRUCTION OR INSTALLATION OF UTILITIES.
3. THE CONTRACTOR SHALL CONSTRUCT ALL WATER AND SANITARY SEWER SERVICE LINES, AND CONNECTIONS IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE CITY OR LOCAL UTILITY PROVIDER. FOR ADDITIONAL DETAILS OF SANITARY SEWER CONSTRUCTION, SEE SUDAS SPECIFICATIONS SECTION 4010.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING UTILITY SERVICE CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY/OWNER, AND TO OBTAIN ALL PERMITS AND PAY ALL FEES AS REQUIRED FOR SERVICE CONNECTIONS TO UTILITY MAINS.
5. ALL SANITARY AND WATER SERVICE CONSTRUCTION TO BE DONE UNDER A PLUMBER'S PERMIT, AND SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND CITY OF JOHNSTON STANDARD SPECIFICATIONS AND SUDAS.
6. CONTRACTOR TO FIELD VERIFY SANITARY SERVICE SIZE AND ELEVATION. IF CONTRACTOR IS UNABLE TO OBTAIN SLOPE MINIMUM FOR SANITARY, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY. CONTRACTOR SHALL NOT EXCEED 10% SLOPE UNLESS PER PLAN OR APPROVED BY JURISDICTIONAL ENGINEER.
7. UTILITY TRENCHES AND STRUCTURE EXCAVATIONS ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS.
8. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PROVIDE TRENCHING FOR ALL UTILITY SERVICE LINES.
9. CONTRACTOR TO SET AND ADJUST ALL PROPOSED UTILITY STRUCTURES, CLEANOUTS, VALVES, METER PITS, ETC. TO FINISH GRADE. EXISTING ITEMS AFFECTED BY THE WORK SHALL BE ADJUSTED AS REQUIRED TO MATCH FINISH GRADE.
10. PRIOR TO INSTALLATION OF WATER SERVICE, CONTRACTOR TO COORDINATE WITH THE CITY OF JOHNSTON.
11. PRIOR TO FINAL ACCEPTANCE ALL WATER MAIN PIPE SHALL BE DISINFECTED BY THE CONTRACTOR IN ACCORDANCE WITH CITY OF JOHNSTON AND SUDAS SPECIFICATIONS.
12. THE MINIMUM DEPTH FOR ALL WATER PIPE SHALL BE FIVE (5) FEET AS MEASURED FROM TOP OF PIPE TO FINISH GRADE.
13. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND ADJACENT PROPERTIES. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. THE CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL CROSSINGS OF ALL PROPOSED AND EXISTING UTILITIES PRIOR TO INSTALLATION OF UTILITIES. CONTACT THE ENGINEER WITH ANY CONFLICTS.
15. ALL PIPE BEDDING SHALL MEET CLASS F-3 OR SUDAS SW-103 FOR FLEXIBLE GRAVITY PIPE, AND CLASS R-2 OF SUDAS SW-102 FOR RIGID GRAVITY PIPE
16. ALL SANITARY, SERVICE PIPE, AND FITTINGS SHALL BE SDR 26.
17. REFER TO MEP PLANS FOR EXTERIOR LIGHT ELECTRIC ROUTING.
18. ALL ONSITE WATER, STORM, AND SANITARY SEWER IMPROVEMENTS ARE PRIVATE UNLESS LABELED OTHERWISE.
19. ALL PIPE LENGTHS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
20. THE BUILDING WILL HAVE A SPRINKLER SYSTEM

ELECTRICAL SERVICE

6. ELECTRICAL TRANSFORMER PAD TO BE BUILT BY SITE CONTRACTOR. COORDINATE WITH SERVICE PROVIDER FOR EXACT SIZE, LOCATION, AND MATERIALS USED FOR PAD.
7. COORDINATE WITH SERVICE PROVIDER FOR EXACT LOCATION AND SCHEDULING OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR SECONDARY TRENCHING CONDUIT AND WIRE FROM TRANSFORMER TO BUILDING.
8. CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, PRIMARY CONDUIT, SECONDARY CONDUIT, TRANSFORMER PAD AND SECONDARY CONDUCTORS FOR ELECTRICAL SERVICE.

TELEPHONE SERVICE

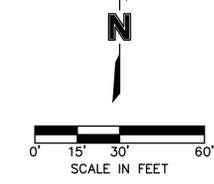
1. THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL CONDUIT FOR TENANT TELEPHONE SERVICE.
2. COORDINATE WITH SERVICE PROVIDER FOR EXACT LOCATION AND SCHEDULING OF CONSTRUCTION.

CABLE TELEVISION

1. THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL CONDUIT FOR TENANT TELEVISION SERVICE.

GAS SERVICE

1. UNDERGROUND GAS SERVICE TO BE BUILT BY SERVICE PROVIDER. COORDINATE WITH SERVICE PROVIDER FOR EXACT LOCATION AND SCHEDULING OF CONSTRUCTION.



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SITE PLAN SUBMITTAL
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REV. NO.	DATE	REVISIONS DESCRIPTION	REVISED BY

UTILITY PLAN
 RESIDENCES AT 62W
 6000 NW 62ND AVENUE

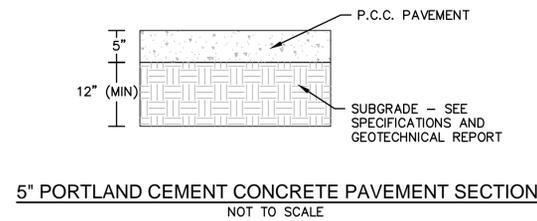
JOHNSTON, IA
 2015

drawn by: ILB
 checked by: CDD
 approved by: CDD
 QA/QC by: JSS
 project no.: 014-1457
 drawing no.:
 date: 03.18.15

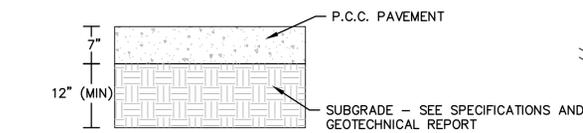
811
 Know what's below
 Call before you dig.
CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING
 (BASED ON EXISTING DATA FOR THE MARKING OF
 UNDERGROUND UTILITIES)

SHEET
C3.1

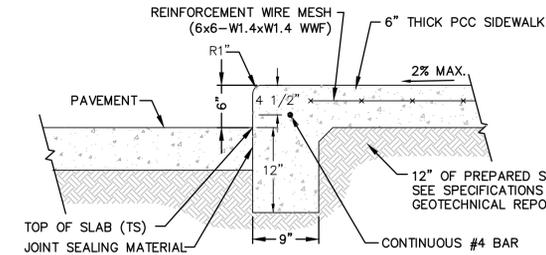
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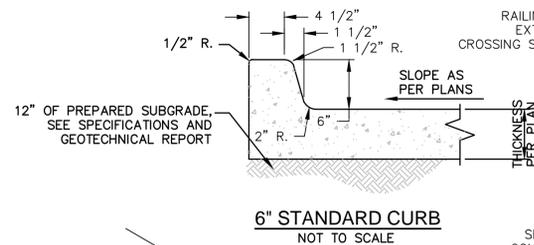
5" PORTLAND CEMENT CONCRETE PAVEMENT SECTION
NOT TO SCALE



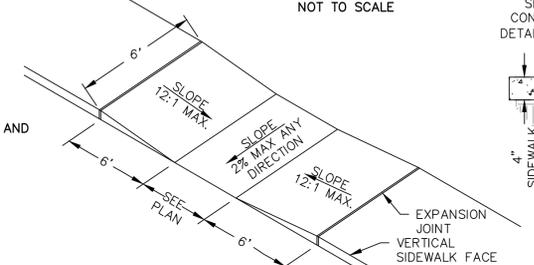
7" PORTLAND CEMENT CONCRETE PAVEMENT SECTION
NOT TO SCALE



CURB/SIDEWALK DETAIL
NOT TO SCALE

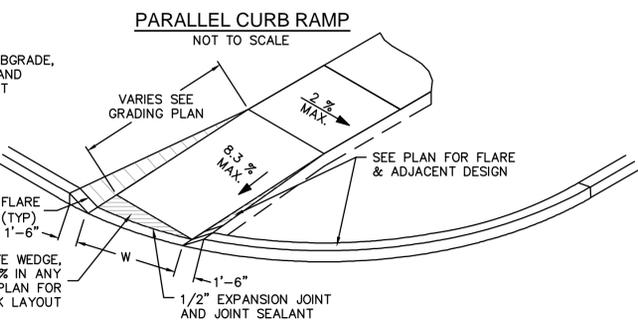


6" STANDARD CURB
NOT TO SCALE

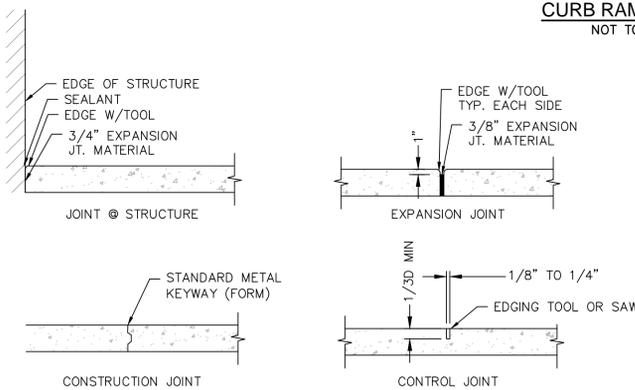


PARALLEL CURB RAMP
NOT TO SCALE

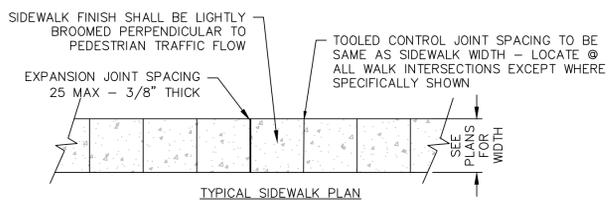
NOTES:
 1. RAMPS SHALL BE 6" CONCRETE WITH 6 x 6 W1.4 x W1.4 WELDED WIRE FABRIC.



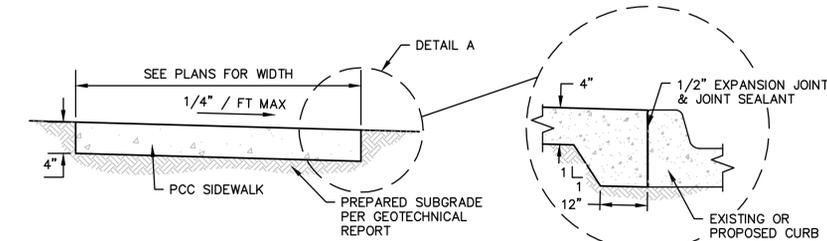
CURB RAMP - TYPE A
NOT TO SCALE



SIDEWALK JOINT DETAILS

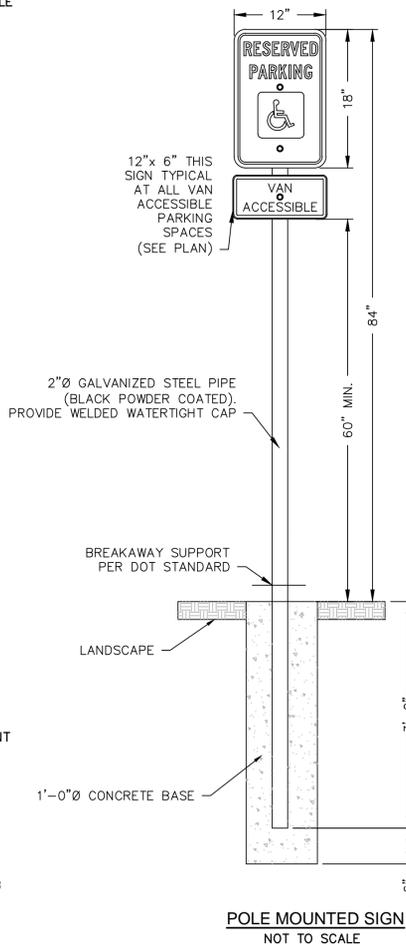


TYPICAL SIDEWALK PLAN

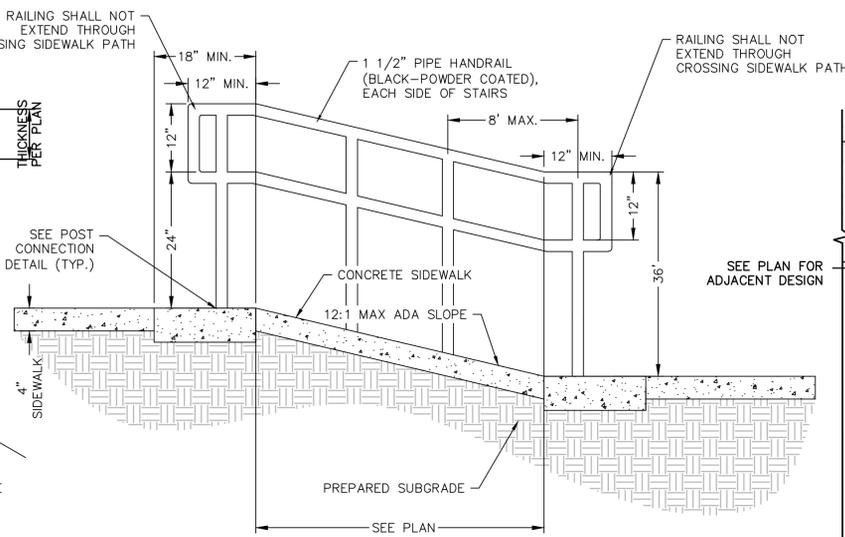


CONCRETE SIDEWALK
NOT TO SCALE

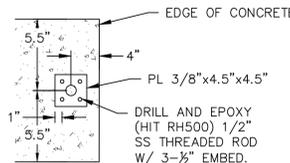
DETAIL A
(WHERE ADJACENT TO CURB)



POLE MOUNTED SIGN
NOT TO SCALE

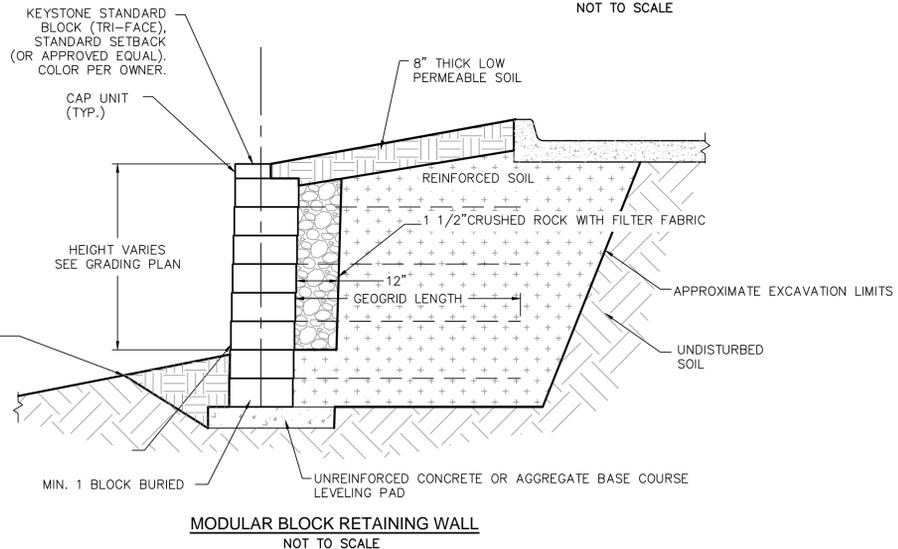


SIDEWALK RAMP WITH HANDRAIL
NOT TO SCALE

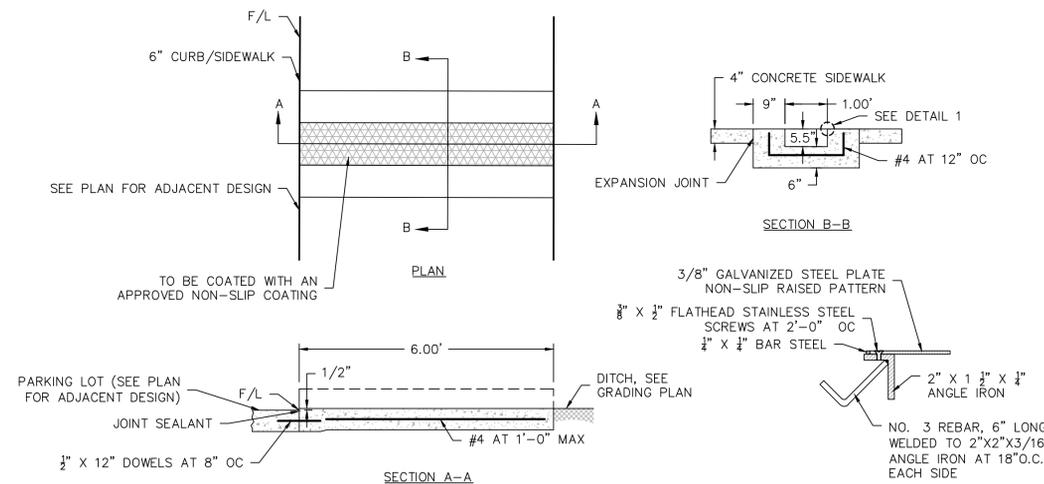


POST CONNECTION DETAIL
NOT TO SCALE

NOTES:
 1. MODULAR BLOCK RETAINING WALL SHALL BE DESIGNED AND CONSTRUCTED PER THE MANUFACTURER'S RECOMMENDATIONS. FINAL WALL DESIGN SHALL BE PERFORMED BY A REGISTERED PROFESSIONAL ENGINEER AND SEALED DRAWINGS SHALL BE SUBMITTED TO THE CITY FOR REVIEW.
 2. TYPICAL WALL DESIGN IS SHOWN. ALL MATERIALS, DIMENSIONS, AND CONSTRUCTION SPECIFICATIONS SHALL BE PER THE FINAL DESIGN.
 3. A 250 PSF LIVE LOAD SHALL BE INCLUDED IN THE WALL DESIGN FOR PARKING/DRIVE AREAS.



MODULAR BLOCK RETAINING WALL
NOT TO SCALE



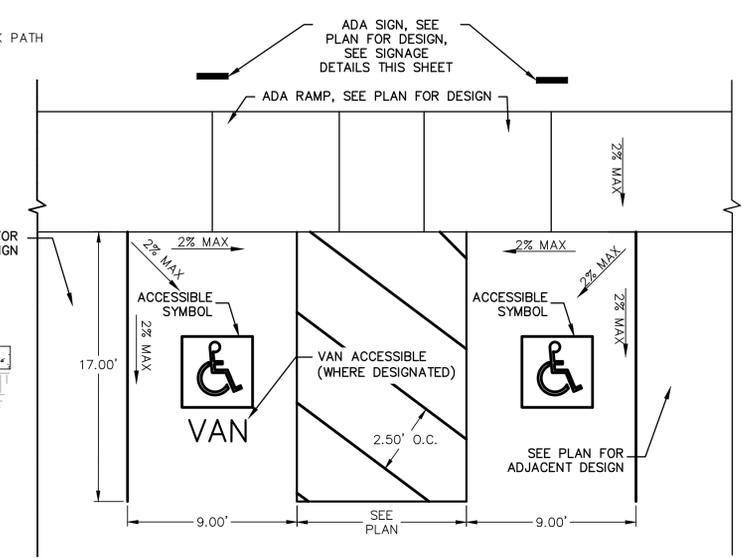
SIDEWALK DRAIN
NOT TO SCALE

NOTES:
 1. HOLES FOR FLATHEAD SCREWS TO BE DRILLED AND TAPPED IN THE FIELD.
 2. PROVIDE 1/2" LIP FROM FLOWLINE, WHERE DRAIN IS ADJACENT TO 6" CURB/SIDEWALK

SIDEWALK DRAIN
NOT TO SCALE

ACCESSIBLE PARKING STALL NOTES:
 1. ALL ACCESSIBLE STALL PAVEMENT MARKINGS SHALL BE 4" WIDE YELLOW STRIPES.
 2. ACCESSIBLE AISLE SHALL BE 8' WIDE MINIMUM FOR VANS.
 3. ACCESSIBLE PARKING AREA SURFACE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 4. A SIGN MUST MARK ACCESSIBLE PARKING. THE SYMBOL ON THE PAVEMENT IS NOT ADEQUATE.
 5. ACCESSIBLE SYMBOL SHALL BE WHITE WITH BLUE BACKGROUND.
 6. ALL PAVEMENT MARKING PER MUTCD STANDARDS, 2009 EDITION, REVISIONS 1 & 2, MAY 2012

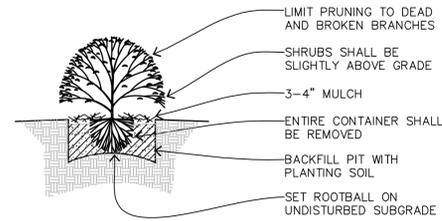
ACCESSIBLE PARKING STALL DETAIL
NOT TO SCALE



REV. NO.	DATE	REVISIONS DESCRIPTION

CONSTRUCTION DETAILS	JOHNSTON, IA
RESIDENCES AT 62W 6000 NW 62ND AVENUE	2015
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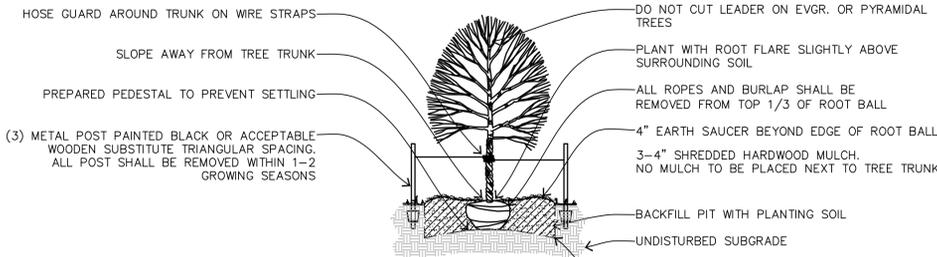




- NOTES:
1. MINIMUM ROOT SPREAD TO BE IN ACCORDANCE WITH ANLA STANDARDS
 2. PRUNE DAMAGED LIMBS OR ROOTS AFTER INSTALLATION
 3. MAKE SURE ROOTS DO NOT DRY OUT DURING INSTALLATION
 4. SOAK GENEROUSLY TO COMPACT AND SETTLE

SECTION: SHRUB PLANTING

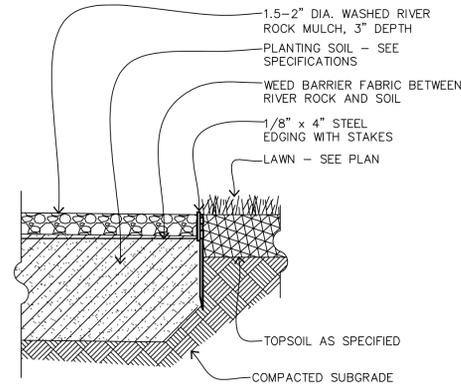
N.T.S.



- NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 2. IN AREAS OF TURF, SURROUND BED WITH 6' DIAMETER OF MULCH

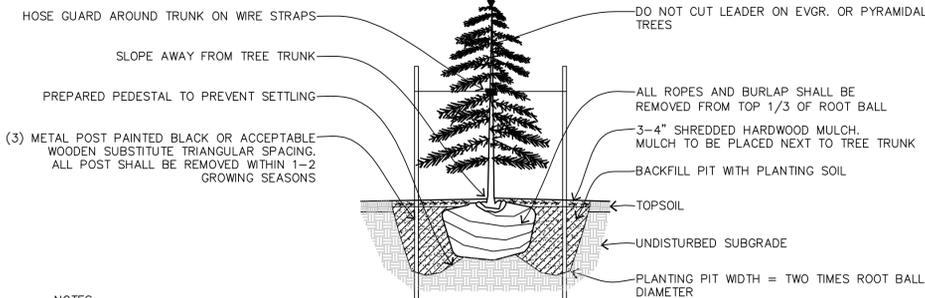
SECTION: DECIDUOUS TREE PLANTING

N.T.S.



SECTION: STEEL EDGING

N.T.S.



- NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 2. IN AREAS OF TURF, SURROUND BED WITH 6' DIAMETER OF MULCH

SECTION: EVERGREEN TREE PLANTING

N.T.S.

NATIVE SEED MIX

- SEED BED PREP:**
 METHOD: ROTOTILLED TO 6"
 DATES: PER GENERAL NOTES
 OTHER: TILL IN 5 C.Y. ORGANIC MATTER PER 1000 S.F.
- SEEDING OPERATION:**
 METHOD: HYDROSEED
 DATES: PER GENERAL NOTES
 DEPTH: 1/4" - 1/2"
 FERTILIZER:
 N2: 50 LBS PER ACRE
 P205: 40 LBS PER ACRE
 K: N/A
- WEED CONTROL: CHEMICAL, 14 DAYS PRIOR TO SEEDING**
- MULCH:**
 KIND: GREEN COLOR HYDROMULCH AFTER SEEDING. SUBMIT SAMPLE.
 AMOUNT: 2,200 LBS PER ACRE
 METHOD: HYDROSEED IN 2 STEPS:
 1ST - SEED APPLICATION
 2ND - MULCH APPLICATION
 ANCHOR: TACKIFIER AT 100 LBS PER ACRE
- SEED RATE @ 20 LBS/ACRE

NATIVE SEEDING NOTES

1. ALL MATERIALS USED SHALL MEET OR EXCEED APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS AND REGULATIONS. ALL SEED SHALL BE FREE FROM INSECTS AND DISEASE. SPECIES SHALL BE TRUE TO THEIR SCIENTIFIC NAME AS SPECIFIED.
2. ALL GRASS SPECIES SHALL BE SUPPLIED AS PURE LIVE SEED.
3. SEED OF ALL SPECIES NATIVE TO AREA SHALL BE FROM WITHIN A 300 MILE RADIUS OF THE PROJECT SITE. SEED NOT AVAILABLE WITHIN A 300 MILE RADIUS SHALL NOT BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
4. SEEDS SHALL HAVE PROPER STRATIFICATION AND/OR SCARIFICATION TO BREAK SEED DORMANCY FOR SPRING PLANTING.
5. SEEDING SHALL BE PREFERENTIALLY CONDUCTED AS A LATE FALL DORMANT SEEDING (AFTER NOVEMBER 1) OR IN EARLY SPRING (AS SOON AS THE SOIL IS FREE OF FROST AND IN A WORKABLE CONDITION BUT NO LATER THAN JUNE 15).
6. NATIVE SEEDING SHALL BE COMPLETED WHEN A MINIMUM OF 1/4 INCH OF NATURAL RAINFALL IS EXPECTED OR WHEN A MINIMUM OF 1/4 INCH OF IRRIGATION WILL BE RECEIVED WITHIN 10 DAYS AFTER SEEDING. IF SUFFICIENT NATURAL RAINFALL IS NOT RECEIVED WITHIN 10 DAYS, THE NEW SEEDING SHALL BE IRRIGATED WITH A MINIMUM OF 1/4 INCH OF WATER, OR SO THAT WATER PENETRATES THE SOIL TO A UNIFORM MINIMUM DEPTH OF 4.0 INCHES.
7. A TEMPORARY ABOVE-GROUND IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR UPON COMPLETION OF FINISH GRADING AND PRIOR TO INSTALLATION OF PLANTINGS WITHIN THE GRADED UPLAND AREAS. ALL GRADED AREAS SHALL RECEIVE HEAD-TO-HEAD IRRIGATION COVERAGE, EXCEPT FOR PERMANENTLY PONDED AREAS.
8. PROVIDE WRITTEN VERIFICATION TO THE OWNER THAT BACKFLOW PREVENTION PER CODE EXISTS ON THE LINE TO BE USED AS A POINT OF CONNECTION FOR THE IRRIGATION SYSTEM. IF VERIFICATION CANNOT BE MADE, PROVIDE BACKFLOW PREVENTION PER CODE AS A PART OF THE INSTALLATION.
9. CONTRACTOR SHALL PROVIDE WATER AND ELECTRICITY FOR THE SYSTEM IN THE EVENT THAT NEITHER IS AVAILABLE FOR IMMEDIATE USE. CONTRACTOR SHALL PROVIDE ISOLATION VALVE AND CONNECTION TO WATER AND CONTROLLER.
10. THE IRRIGATION SYSTEM SHALL BE SET BY CONTRACTOR PRECIPITATION 2 TIMES PER WEEK BETWEEN JUNE 15TH AND OCTOBER 31ST OF THE FIRST YEAR AFTER PLANTING. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER FUNCTION AND CONNECTION OF THE IRRIGATION SYSTEMS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE IRRIGATION SYSTEM FOR THE DURATION OF FIRST FULL GROWING SEASON. AT THE END OF THE IRRIGATION PERIOD, AND IF PLANT ESTABLISHMENT IS SUCCESSFUL, AS DETERMINED BY THE SEEDING WARRANTY CRITERIA, THE CONTRACTOR SHALL PERMANENTLY CAP PIPE DOWNSTREAM OF ISOLATION VALVE, AND THEN DISASSEMBLE AND REMOVE THE IRRIGATION SYSTEM.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL TEMPORARY SIGNS, FLAGGING, ETC. AT THE PERIMETER OF ALL SEEDING SITES IMMEDIATELY AFTER THEIR COMPLETION, WHICH SHALL SERVE TO NOTIFY FOOT AND VEHICULAR TRAFFIC THAT A SENSITIVE AREA MAY BE DAMAGED BY THEIR ENTRY.
12. AREAS DESCRIBED AS NATIVE GRASS ZONES SHALL BE MULCHED.

MULCHING IS THE APPLICATION OF ORGANIC MATERIAL TO THE SOIL SURFACE TO PROTECT IT FROM RAINDROP IMPACT AND OVERLAND FLOW. MULCH COVERS THE SOIL AND ABSORBS THE EROSION IMPACT OF RAINFALL AND REDUCES THE FLOW VELOCITY OF RUNOFF.

STRAW MULCH SHALL BE OAT, WHEAT, OR RICE STRAW MULCH. HAY MULCH SHALL BE PRAIRIE GRASS OR OTHER HAY AS APPROVED BY THE OWNER. THE MULCH SHALL BE FREE OF JOHNSON GRASS OR OTHER NOXIOUS WEEDS AND FOREIGN MATERIALS. IT SHALL BE KEPT IN A DRY CONDITION AND SHALL NOT BE MOLDED OR ROTTED. STRAW OR HAY FOR EROSION CONTROL SHALL BE CLEAN, SEED-FREE HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY.

MULCH SHALL COVER A MINIMUM OF 80% OF THE SOIL SURFACE FOR UNSEEDED AREAS. FOR SEEDED AREAS, MULCH SHALL BE PLACED LOOSE AND OPEN ENOUGH TO ALLOW SOME SUNLIGHT TO PENETRATE AND AIR TO CIRCULATE BUT STILL COVER A MINIMUM OF 70% OF THE SOIL SURFACE.

MULCH SHALL BE APPLIED AT THE RATE OF 1 1/2 TO 2 TONS PER ACRE FOR SITES THAT ARE SEEDED, AND 2 TO 3 TONS PER ACRE FOR SITES THAT ARE NOT SEEDED. THIS APPLICATION RESULTS IN A LAYER OF 1/2 TO 1 1/2 INCHES THICK FOR SEEDED SITES, AND 1 1/2 TO 3 INCHES THICK FOR SITES NOT SEEDED.

IMMEDIATELY AFTER SPREADING, THE MULCH SHALL BE ANCHORED BY A MULCH CRIMPER AND/OR TACKIFIER.

THE CRIMPER SHALL CONSIST OF A SERIES OF DULL FLAT DISCS WITH NOTCHED EDGES SPACED APPROXIMATELY 8 INCHES APART. THE MULCH SHALL BE IMPRESSED IN THE SOIL TO A DEPTH OF 1 TO 3 INCHES.

TACKIFIER SHALL BE SPRAYED IN CONJUNCTION WITH MULCH OR IMMEDIATELY AFTER THE MULCH HAS BEEN PLACED. TACKIFIERS SHALL BE MIXED AND APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

GENERAL SITE PLANTING NOTES:

1. PRIOR TO ANY EXCAVATION AT THE SITE, THE CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ARCHITECT, LANDSCAPE ARCHITECT, AND/OR CIVIL ENGINEER AND, CONSULT WITH ALL UTILITY COMPANY REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS.
2. FOR UNDERGROUND UTILITY LOCATES CALL IOWA ONE-CALL AT 1-800-292-8989, 48 HOUR NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND LOCATES NOT COVERED BY THE IOWA ONE-CALL SYSTEM. NO COMPENSATION FOR DAMAGES TO EXISTING UTILITIES WILL BE ALLOWED RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
3. THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL UTILITIES, STRUCTURES AND SITE IMPROVEMENTS. ANY DAMAGE SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
4. FINISH GRADES IN ALL LANDSCAPE AREAS ARE TO BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY SEEDING, SODDING, OR PLANTING. THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR REVIEW FIVE (5) DAYS PRIOR TO THE DESIRED DATE OF REVIEW. NO COMPENSATION FOR RE-SEEDING, RE-SODDING, OR RE-PLANTING OF AN AREA REQUIRING REMEDIAL GRADING SHALL BE ALLOWED RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. THE CONTRACTOR SHALL PRESERVE AREAS OF EXISTING VEGETATION, INCLUDING GRASS, THAT OCCUR WITHIN THE CONTRACT LIMITS BUT ARE NOT NEEDED FOR CONSTRUCTION. REPAIR ALL OF THESE EXISTING AREAS TO THEIR ORIGINAL CONDITION WHICH ARE DISTURBED DURING CONSTRUCTION AT NO COST TO THE OWNER.
6. QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE FOR INFORMATION ONLY. THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
7. ALL SOIL AND OTHER DEBRIS SPILLED OR TRACKED ONTO THE PUBLIC R.O.W. OR ADJACENT PROPERTIES SHALL BE CLEANED-UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
8. PLANT LABELS AND TAGS SHALL BE LEFT ON THE PLANT MATERIAL UNTIL AFTER THE INITIAL INSPECTION BY THE LANDSCAPE ARCHITECT.
9. ALL DISTURBED AREAS OUTSIDE LIMITS OF DISTURBANCE TO RECEIVE SOD.
10. CONTRACTOR TO PROVIDE IRRIGATION FOR LAWN AND PLANTING AREAS. CONTRACTOR TO SUBMIT IRRIGATION PLAN FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.

SOD NOTES:

1. ALL DISTURBED AREAS SHALL BE SODDED WITH TURFGRASS SOD: NUMBER 1 QUALITY/PREMIUM, INCLUDING LIMITATIONS ON THATCH, WEEDS, DISEASES, NEMATODES, AND INSECTS, COMPLYING WITH TP'S "SPECIFICATIONS FOR TURFGRASS SOD MATERIALS" IN ITS "GUIDELINE SPECIFICATIONS TO TURFGRASS SODDING." FURNISH VIABLE SOD OF UNIFORM DENSITY, COLOR, AND TEXTURE, STRONGLY ROOTED, AND CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.
- TURFGRASS SPECIES: SOD OF GRASS AS FOLLOWS:
 KENTUCKY BLUEGRASS (POA PRATENSIS), A MINIMUM OF THREE CULTIVARS SELECTED FROM THE FOLLOWING LIST:
- A. BLACKSBURG KENTUCKY BLUEGRASS
 - B. CHALLENGER KENTUCKY BLUEGRASS
 - C. BARON KENTUCKY BLUEGRASS
 - D. NUSTAR KENTUCKY BLUEGRASS
 - E. CHERI KENTUCKY BLUEGRASS
 - F. GLADE KENTUCKY BLUEGRASS
 - G. MERIT KENTUCKY BLUEGRASS
 - H. NAUSAU KENTUCKY BLUEGRASS
 - I. MIDNIGHT KENTUCKY BLUEGRASS
 - J. RAM I KENTUCKY BLUEGRASS
 - K. LIBERTY KENTUCKY BLUEGRASS
 - L. VICTA KENTUCKY BLUEGRASS
 - M. RUGBY KENTUCKY BLUEGRASS
 - N. ECLIPSE KENTUCKY BLUEGRASS
2. ALL LAWN AREAS SHALL RECEIVE A MINIMUM 6-INCH DEPTH OF TOPSOIL COMPACTED TO 85% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
 3. THE ENTIRE SURFACE TO BE SODDED SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
 4. SOD SHALL BE MACHINE STRIPPED AT A UNIFORM SOIL THICKNESS OF APPROXIMATELY ONE INCH (PLUS OR MINUS 1/4-INCH). THE MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH, AND SHALL BE DETERMINED AT THE TIME OF CUTTING IN THE FIELD. PRECAUTIONS SHALL BE TAKEN TO PREVENT DRYING AND HEATING. SOD DAMAGED BY HEAT AND DRY CONDITIONS, AND SOD CUT MORE THAN 18 HOURS BEFORE BEING INCORPORATED INTO THE WORK SHALL NOT BE USED.
 5. HANDLING OF SOD SHALL BE DONE IN A MANNER THAT WILL PREVENT TEARING, BREAKING, DRYING AND OTHER DAMAGE. PROTECT EXPOSED ROOTS FROM DEHYDRATION. DO NOT DELIVER MORE SOD THAN CAN BE LAID WITH 24 HOURS.
 6. MOISTEN PREPARED SURFACE IMMEDIATELY PRIOR TO LAYING SOD. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE INSTALLING SOD. FERTILIZE, HARROW OR RAKE FERTILIZER IN THE TOP 1-1/2-INCHES OF TOPSOIL, AT A UNIFORM RATE OF ONE POUND OF NITROGEN PER 100 S.F.
 7. SOD SHALL BE CAREFULLY PLACED IN THE DIRECTION PARALLEL WITH THE SLOPE OF THE AREA TO BE SODDED. SOD STRIPS SHALL BE BUTTED TOGETHER BUT NOT OVERLAPPED WITH THE SEAMS STAGGERED ON EACH ROW.
 8. FERTILIZER SHALL BE 20-10-5 COMMERCIAL FERTILIZER OF THE GRADE, TYPE, AND FORM SPECIFIED AND SHALL COMPLY WITH THE RULES OF THE STATE OF IOWA DEPARTMENT OF AGRICULTURE. FERTILIZER SHALL BE IDENTIFIED ACCORDING TO THE PERCENT N, P, K, IN THAT ORDER.
 9. ALL SOD ON SLOPES GREATER THAN 5:1 AND WITHIN DETENTION AREAS SHALL BE STAKED.
 10. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF FOUR INCHES BELOW SOD.

PLANTING SOIL SPECIFICATIONS:

ORGANIC COMPOST: WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. IT SHALL BE DERIVED FROM: AGRICULTURE, FOOD, OR INDUSTRIAL RESIDUALS; BIOSOLIDS (TREATED SEWAGE SLUDGE); YARD TRIMMINGS AND LEAF RAKINGS; SOURCE-SEPARATED OR MIXED SOLID WASTE MEETING THE FOLLOWING CRITERIA:

1. 100 PERCENT SHALL PASS THROUGH A 3/8 INCH SCREEN.
2. PH OF 6.0 TO 8.5.
3. MOISTURE CONTENT OF 30% TO 60% BY WEIGHT.
4. NO SUBSTANCES TOXIC TO PLANTS.
5. 1% OR LESS BY WEIGHT MANUFACTURED FOREIGN MATTER.
6. NO OBJECTIONABLE ODOR.
7. SHALL NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT DERIVED.

PLANTING SOIL: A UNIFORM MIX OF, FREE OF PLANT RESIDUE, STONES, STUMPS ROOTS OR SIMILAR OBJECTS LARGER THAN 1 INCH. MIXTURE OF TOPSOIL, ORGANIC COMPOST AND SAND CONSISTING OF THE FOLLOWING:

1. 15% BY VOLUME ORGANIC COMPOST
2. 15% BY VOLUME SAND
3. 70% BY VOLUME TOPSOIL

TOPSOIL: SOIL CLASSIFICATION OF SANDY LOAM OR LOAMY SAND MEETING THE FOLLOWING CRITERIA:

1. 50 TO 85 PERCENT BY WEIGHT SAND (2.0 TO 0.050MM) ACCORDING TO AASHTO T88.
2. 5 TO 50 PERCENT BY WEIGHT SILT (0.050 TO 0.002MM) ACCORDING TO AASHTO T88.
3. 2 TO 5 PERCENT BY WEIGHT CLAY (LESS THAN 0.002MM) ACCORDING TO AASHTO T88.
4. 3 TO 10 PERCENT BY WEIGHT ORGANIC MATTER ACCORDING TO AASHTO T194.
5. TEXTURAL ANALYSIS:
 - A. MINIMUM 100% BY WEIGHT PASSING THE 2" SIEVE PER ASTM E11.
 - B. MINIMUM 90% BY WEIGHT PASSING THE NO. 4 PER ASTM E11.
 - C. MINIMUM 80% BY WEIGHT PASSING THE NO. 10 SIEVE PER ASTM E11.

NATIVE SEEDING NOTES (CONTINUED)

13. THE WORK AREA SHALL BE KEPT FREE OF DEBRIS BY THE CONTRACTOR. AFTER SEED INSTALLATION IS COMPLETE, CLEAN UP ANY REMAINING MATERIALS, DEBRIS, TRASH, ETC. AVOID DRIVING OVER SEEDED AREAS TO MINIMIZE DISTURBANCE. GRADING STAKES, STONES, TRASH, AND OTHER DEBRIS WHICH MAY DETRACT FROM THE APPEARANCE OR HINDER MAINTENANCE OF THE SEEDING SITE SHALL BE REMOVED FROM THE SITE WHEN SEEDING OPERATIONS ARE COMPLETED. SOIL, STRAW, HAY, HYDRAULIC FIBER MULCH, FERTILIZER, COMPOST, LIMESTONE, ELEMENTAL SULFUR, GYPSUM, AND OTHER DEBRIS SHALL BE REMOVED FROM PAVED AREAS SOON AS POSSIBLE AFTER SPREADING AND SEEDING OPERATIONS ARE COMPLETED. CLEAN UP OPERATIONS SHALL BE COMPLETED BEFORE ACCEPTANCE IS GIVEN.
14. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO APPLY EFFECTIVE SEEDING AND EROSION CONTROL MULCH MATERIALS, AND TO ENSURE THAT SUCH MATERIALS ARE SECURED TO THE SOIL SO THAT THEY ARE NOT BLOWN, WASHED, OR OTHERWISE REMOVED FROM THE SEEDING SITE, AND SO THAT NEARBY STREAMS AND OTHER AREAS SHALL BE PROTECTED FROM SOIL, FERTILIZER, COMPOST, AND THE INCURSION OF UNWANTED GRASS SEED.
15. INSTALLING CONTRACTOR SHALL REVIEW LANDSCAPE MAINTENANCE RECOMMENDATIONS WITH A QUALIFIED MITIGATION SPECIALIST APPROVED BY THE OWNER WHO IS FAMILIAR WITH THE STATED GOALS AND OBJECTIVES OF THE MITIGATION PLAN AND TO BE PROVIDED THROUGHOUT CONSTRUCTION AND FOR THREE-YEARS FOLLOWING CONSTRUCTION. DURING THE MAINTENANCE PERIOD, BETWEEN MARCH AND SEPTEMBER 15, HAND SEED ALL PREVIOUSLY SEEDED AREAS WHICH SHOW BARE GROUND PATCHES LARGER THAN 36"x36". THE FOLLOWING GENERAL NATIVE GRASS MAINTENANCE RECOMMENDATIONS ARE TO BE FOLLOWED UNLESS AN ALTERNATIVE IS APPROVED BY THE OWNER.
 - 1ST YEAR - MOW FREQUENTLY TO PREVENT WEED GROWTH AND THATCH BUILD-UP. MOWING HEIGHT SHOULD BE APPROXIMATELY 4-6 INCHES IN HEIGHT AND COMPLETED BETWEEN THE MONTHS OF MARCH - JULY 15. NO MOWING SHOULD BE COMPLETED AFTER THE JULY 15 DATE. ADDITIONAL WEED PREVENTION IS RECOMMENDED WITH THE USE OF AN APPROVED HERBICIDE FOR NATIVE GRASSES. A GOOD APPROACH IS TO COMPLETE HERBICIDE APPLICATIONS AS SPOT TREATMENTS ON WEEDY AREAS FOLLOWING THE SEASONAL MOWING REGIME IN AUGUST AND SEPTEMBER. HAND WEED AS NECESSARY.
 - 2ND YEAR - MOWING SHOULD BE LIMITED TO 2-3 TIMES BEFORE JULY 15TH. MOWING HEIGHT SHOULD BE INCREASED TO 8" IN HEIGHT. CONTINUE TO SPOT TREAT INVASIVE WEEDS WITH AN APPROVED HERBICIDE. HAND WEED AS NECESSARY.
 - 3RD YEAR - MOW ONCE BEFORE JULY 15TH AFTER VEGETATION REACHES A HEIGHT OF 16". MOW TO A HEIGHT OF 8". CONTINUE TO SPOT TREAT INVASIVE WEEDS WITH AN APPROVED HERBICIDE. HAND WEED AS NECESSARY.
16. IN ADDITION TO THE SPECIFIED NATIVE SEED MIX, A COVER CROP OF OATS (AVENA SATIVA) NOVEMBER 1 - AUGUST 1 OR WINTER WHEAT (TRITICUM AESTIVUM) AUGUST 1 - NOVEMBER 1 TO BE SEEDED AT A RATE OF 120 LBS PER ACRE.

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