

JOHNSTON CITY COUNCIL  
Worksession No. 16-19  
Johnston City Hall, 6221 Merle Hay Road  
October 3, 2016  
6:00 p.m.

1. CALL TO ORDER

2. ROLL CALL

3. CLOSED SESSION

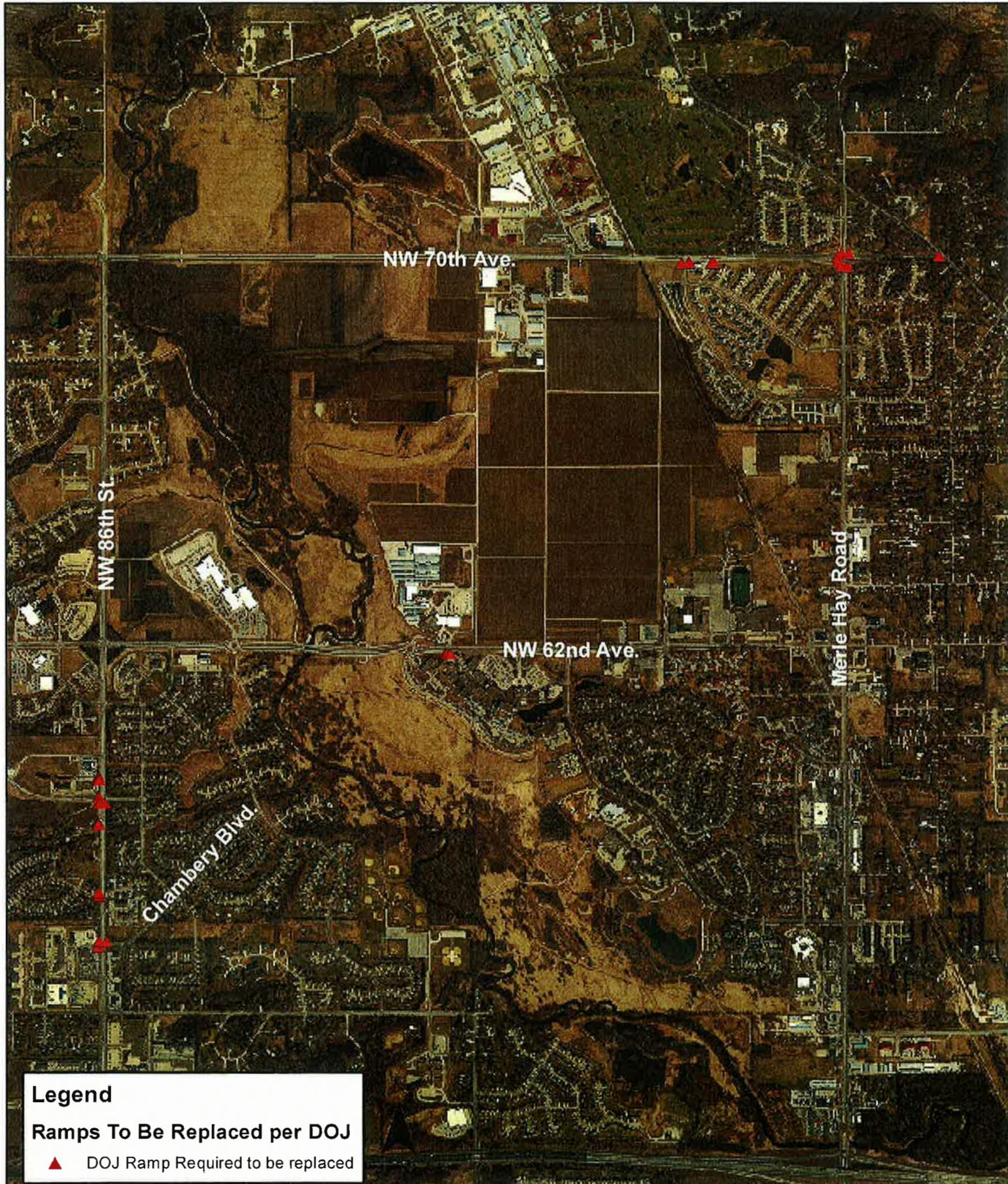
Per Iowa Code §21.5.1 (j): To discuss the purchase of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property. The minutes and the tape recording of a session closed under this paragraph shall be available for public examination when the transaction discussed is completed.

4. UPDATE ON 2014 STORMWATER PROJECTS

5. SIDEWALK PROGRAM UPDATE

6. CAPITAL IMPROVEMENTS PLAN (CIP) DISCUSSION

# Sidewalk Ramps needing replaced





ITEM NO. WS6

OFFICES OF CITY ADMINISTRATION  
Johnston, Iowa  
WORK SESSION AGENDA COMMUNICATION  
October 3, 2016

<p>SUBJECT: Review of the Capital Improvements Plan 2016-2017 through 2020-2021</p>	<p>ACTION REQUIRED:</p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><i>Deresa</i></p>
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SYNOPSIS:

In preparation and planning of the 2017-2022 Capital Improvement Plan (CIP), staff met with the Public Works Council Committee and reviewed the current 2016-2017 CIP. There are several projects which have started, some which will be completed in this fiscal year, and others which have changed in scope and/or cost.

This work session staff would like to discuss with the City Council the status and proposed changes to the 2016-2017 CIP, prior to work on the 2017-2022 CIP. There are three attachments for this work session:

- 1) The adopted 2016-2017 through 2020-2021 CIP, sorted by fiscal year.
- 2) An updated CIP schedule for Parks projects as proposed by the Parks Board.
- 3) A DRAFT letter outlining options for discussion regarding the NW Beaver Pump Station Improvements, which is scheduled in the current CIP.

PROJECT NAME	PROJECT DESCRIPTION	YEAR	ESTIMATE	FUNDS	
<u>Park Projects - Southwest District</u>	Greenwood Hills Park Development -Preschool playground	2016-2017	\$ 50,000	Park & Trail Impr. Fund 318	
<u>Park Projects - Westridge District</u>	Crosshaven District Park - Preschool Playground	2016-2017	\$ 60,000	Park & Trail Impr. Fund 318	
<u>Parks Projects</u>	Master Plan Walkability Study	2016-2017	\$ 50,000	Park & Trail Impr Fund 318	
<u>Parks Projects -</u>	Beaver Drive Trail - Phase 4***	2016-2017	\$ 700,000	G. O. Bonds	
<u>Parks Projects -</u>	Terra Lake - Phase 3	2016-2017	\$ 1,452,000	G. O. Bonds/Fund Raising	
<u>Roadway Project Improvements</u>	NW 63rd to 59th Place	2016-2017	1,000,000	T.I.F. #1 / Road Use Tax	Has been bid - Correll starting Fall 2016 Let early Spring 2015 Construction Spring 2015 (FY 14-15) Total \$838,150, School 414,075
<u>Roadway Project Improvements</u>	Fiber Optic System Phase 3 (Joint project w/schools)	2015-2016	\$ 700,000	G. O. Bonds	Design 2015 Construc 2016 - Let in July 2016 School \$103,800 Optional City Project Beaver Drive - 181,640
<u>Roadway Project Improvements</u>	Fiber Optic System Phase 4(joint project w/schools)	2016-2017	\$ 145,000	G. O. Bonds	
<u>Roadway Project Improvements</u>	NW 66th Ave Kempton Bridge Project (Polk Co)	2016-2017	\$ 430,000	G. O. Bonds	Funding committed through an agreement w/Polk County Payment 4 of 6
<u>Roadway Project Improvements</u>	Merle Hay East Impr. - Phase 1B Const & Phase 3 Design	2016-2017	1,233,960	G. O. Bonds	
<u>Roadway Project Improvements</u>	Merle Hay East Impr. - Phase 2 Construction 60TH West	2016-2017	1,510,000	G. O. Bonds	
<u>Roadway Project Improvements</u>	NW 100th - NW 62nd to NW 70th - Complete Construction	2016-2017	500,000	G. O. Bonds	Cost estimate \$4,328,000 - School to pay \$1.5M
<u>Roadway Project Improvements</u>	NW 70th - Demolition of Bowman property and retaining wall	2016-2017	450,000	G. O. Bonds	
<u>Roadway Project Improvements</u>	54th & 100th Intersection	2016-2017	\$ 400,000	TIF #5	Polk County has dropped out of the project. Grimes, Urbandale, and Johnston are continuing
<u>Storm Drainage Improvements</u>	Merle Hay East Impr. - Phase 2 Construction 60TH West	2016-2017	295,800	Storm Water Utility	
<u>Storm Drainage Improvements</u>	Orchard Meadows # 1 - Ridge Crest Drive	2016-2017	\$ 86,700	Storm Water Utility	
<u>Storm Drainage Improvements</u>	Trace Court Outlet under Bike Trail	2016-2017	\$ 96,900	Storm Water Utility	
<u>Storm Drainage Improvements</u>	Green Meadows West Channel Repair GWH Phase 2 & 3 Design	2016-2017	\$ 306,000	Storm Water Utility G.O. Debt paid with water revenue	Design in 16-17 and Construction in 17-18/ Permit cannot go past 17-18
<u>Water Improvements</u>	NW Beaver Drive Booster Station replacement	2016-2017	\$ 950,000	SRF G.O. Debt paid with water revenue	Water Rate Study Impact & DMWW Impact Fall 2016 Borrowing
<u>Water Improvements</u>	NW Beaver Drive Control Valve & Vault reconstruction	2016-2017	\$ 136,500	SRF	Water Rate Study Impact & DMWW Impact Fall 2016 Borrowing
<u>Sanitary Sewer Improvements</u>	Little Beaver Creek Collector - Constr.	2016-2017	600,000	Sewer (Other than G.O.)	
<b>Sub-Total 2016-2017</b>			<b>11,152,880</b>		
<u>Library</u>	Replecs Library Carpeling	2017-2018	100,000	G. O. Bonds	
<u>Roadway Project Improvements</u>	70th Avenue Reconstruction/Stage 3 - Overlay	2017-2018	\$ 830,000	Cash from Grimes Portion Stage 1 G.O. Bonds possible T.I.F.	
<u>Roadway Project Improvements</u>	70th Avenue Reconstruction/Stage 2 - East Project	2017-2018	\$ 4,810,000	#6 Amended Area	Let Spring 2016 (FY 15-16) and construction 2016-2017
<u>Roadway Project Improvements</u>	Merle Hay East Impr. - Phase 2 - NW 57th Avenue	2017-2018	3,480,000	G. O. Bonds	
<u>Roadway Project Improvements</u>	NW 66th Ave Kempton Bridge Project (Polk Co)	2017-2018	\$ 430,000	G. O. Bonds	Funding committed through an agreement w/Polk County Payment 5 of 6
<u>Roadway Project Improvements</u>	NW Beaver Drive 66- North City Limits Ph 1 (Design)	2017-2018	\$ 350,000	G. O. Bonds	Structural overlay and will be linked to Phase 4 Beaver Drive Trail Construction scheduled in 2016-2017 but previous CIP did not include design of the project
<u>Roadway Project Improvements</u>	54th Avenue Recon/88th - 100th Design	2017-2018	\$ 300,000	G.O. Bonds	
<u>Roadway Project Improvements</u>	54th Avenue Recon/88th - 100th	2017-2018	\$ 3,000,000	G.O. Bonds	Joint Project w/City of Urbandale MOVED FROM 14-15
<u>Park Projects</u>	Terra Lake Phase 4	2017-2018	700,000	G. O. Bonds	
<u>Parks Projects</u>	Trail connectivity N of 62nd near PW Building	2017-2018	\$ 150,000	Park & Trail Impr. Fund 318	Moved from Unscheduled
<u>Park Projects</u>	Dewey Park Playground	2017-2018	\$ 125,000	Park & Trail Impr. Fund 318	
<u>Park Projects - Southwest District</u>	Greenwood Hills Park Development - School age playground	2017-2018	\$ 60,000	Park & Trail Impr. Fund 318	
<u>Park Projects - Crosshaven District</u>	Crosshaven District Park -School age playground	2017-2018	\$ 60,000	Park & Trail Impr. Fund 318	
<u>Parks Projects</u>	Playground Feature @ Johnston Commons DESIGN	2017-2018	50,000	Park & Trail Impr Fund 318	

PROJECT NAME	PROJECT DESCRIPTION	YEAR	ESTIMATE	FUNDS	
<u>Water Improvements</u>	Merle Hay East Impr. - Phase 2 - NW 57th Avenue	2017-2018	545,000	Water (Other than G.O.) Debt	
<u>Sanitary Sewer Improvements</u>	Merle Hay East Impr. - Phase 2 - NW 57th Avenue	2017-2018	550,000	Sewer (Other than G.O.) Debt	
<u>Storm Drainage Improvements</u>	Merle Hay East Impr. - Phase 2 - NW 57th Avenue	2017-2018	1,665,000	Storm Water(Other than G.O.) Debt	
<u>Storm Drainage Improvements</u>	Beaver Creek Repair Near Augustine	2017-2018	\$ 392,293	Storm Water Utility	Moved from 2019-2020
<u>Storm Drainage Improvements</u>	Green Meadows West Channel Repair GWH Phase 2 & 3	2017-2018	\$ 2,091,204	Storm Water Utility	Design in 16-17 and Construction in 17-18
<u>Water Improvements</u>	100th Tower repainting Exterior	2017-2018	312,000	Water Utility	
<u>Water Improvements</u>	Beaver Standpipe repainting	2017-2018	390,000	Water Utility	
<u>Water Improvements</u>	SCADA conversion to fiber - Phase 1	2017-2018	\$ 250,000	Water Utility	
<u>Sanitary Sewer Improvements</u>	SCADA conversion to fiber - Phase 1	2017-2018	\$ 250,000		
	Sub-Total 2017-2018		\$ 20,890,497		
<u>Parks Projects</u>	Adventure Ridge Restroom	2018-2019	\$ 100,000	Park & Trail Impr Fund 318	
<u>Park Projects</u>	NW 86th Street Trail - 62nd to Winsor Pkwy	2018-2019	\$ 400,000	G. O. Bonds	Possibly move out a year
<u>Parks Projects</u>	Additional Bays for Parks Workshop Area	2018-2019	\$ 300,000	G. O. Bonds	
<u>Park Projects</u>	Pioneer Parkway Trail - Design	2018-2019	\$ 50,000	G. O. Bonds	
<u>Roadway Project Improvements</u>	NW 86th Ave Kempton Bridge Project (Polk Co)	2018-2019	\$ 430,000	G. O. Bonds	Funding committed through an agreement w/Polk County Payment 6 of 6
<u>Roadway Project Improvements</u>	Merle Hay East Impr. - Phase 3 Const	2018-2019	1,806,000	G. O. Bonds	
<u>Sanitary Sewer Improvements</u>	Merle Hay East Impr. - Phase 3 Const (NW 54th Court)	2018-2019	369,100	Sewer Revenue Bonds	
<u>Storm Drainage Improvements</u>	Merle Hay East Impr. - NW 54th Cr. South	2018-2019	856,925	Storm Water Utility	
<u>Water Improvements</u>	Merle Hay East Impr. - Phase 3 Const	2018-2019	\$ 316,400	Water Utility	
<u>Roadway Project Improvements</u>	NW Beaver Drive 66- Phase 1 Construction	2018-2019	\$ 1,000,000	G. O. Bonds	Structural overlay and will be linked to Phase 4 Beaver Drive Trail
<u>Roadway Project Improvements</u>	NW Beaver Drive 66- Phase 2 Design	2018-2019	\$ 650,000	G. O. Bonds	Structural overlay and will be linked to Phase 4 Beaver Drive Trail
<u>Park Projects - Central District</u>	Trail, Library to Middle School - Design in 18-19	2018-2019	\$ 100,000	G. O. Bonds	G. O. Bonds (attempt to get grant funds of \$200,000)
<u>Park Projects</u>	Pioneer Parkway Trail - Design	2018-2019	\$ 50,000	G. O. Bonds	
<u>Water/Sewer Improvements</u>	Additional Bays for Water Workshop Area	2018-2019	\$ 265,000	Water Utility	
<u>Water/Sewer Improvements</u>	Additional Bays for Water Workshop Area	2018-2019	\$ 265,000	Sewer Utility	
	Sub-Total 2018-2019		\$ 7,880,425		
<u>Park Projects</u>	Pioneer Parkway Trail - Construction	2019-2020	\$ 200,000	G. O. Bonds	
<u>Roadway Project Improvements</u>	NW Beaver Drive 66- North City Limits Phase 2 Construction	2019-2020	\$ 2,000,000	G. O. Bonds	Structural overlay and will be linked to Phase 4 Beaver Drive Trail
<u>Roadway Project Improvements</u>	Merle Hay East Impr. - Phase 4B Const	2019-2020	\$ 1,487,000	G. O. Bonds	
<u>Sanitary Sewer Improvements</u>	Merle Hay East Impr. - Phase 4B Const	2019-2020	301,650	Sewer Debt (Other than G.O.)	2018-2019
<u>Water Improvements</u>	Construct 16" Transmission Main - NW 62nd (Beaver Dr. to MHR)	2019-2020	\$ 1,047,000	Water Debt (Other than G.O.)	Revenue Debt
<u>Water Improvements</u>	Merle Hay East Impr. - Phase 4B Const	2019-2020	258,600	Water Debt (Other than G.O.)	
<u>Parks Projects</u>	Splash Pad	2019-2020	\$ 125,000	Park & Trail Impr Fund 318	
<u>Park Projects - Central District</u>	Trail, Library to Middle School - Construction 19-20	2019-2020	\$ 1,000,000	G. O. Bonds	G.O. Bonds (attempt to get grant funds of \$200,000)
<u>Storm Drainage Improvements</u>	Merle Hay East Impr. - East NW 60th Avenue	2018-2020	732,750	Storm Water Utility	2018-2019
<u>Storm Drainage Improvements</u>	North Glenn Stream Improvements	2019-2020	\$ 270,000	Storm Water Utility	
	Sub-Total 2019-2020		\$ 7,422,000		
<u>Fire Department Equipment</u>	Ambulance	2020-2021	\$ 286,000	G. O. Bonds	Moved out from 19-20
<u>Roadway Project Improvements</u>	Merle Hay East Impr. - 4C NW 61st Place & NW 54th Court	2020-2021	1,792,825	G. O. Bonds	

2016-2017 through 2020-2021  
CAPITAL IMPROVEMENT PLAN  
PUBLIC HEARING 12/21/15

PROJECTS SORTED BY FISCAL YEAR

Resolution 15-330  
Exhibit "A"

PROJECT NAME	PROJECT DESCRIPTION	YEAR	ESTIMATE	FUNDS	
<u>Sanitary Sewer Improvements</u>	Merle Hay East Impr. - 4C NW 61st Place & NW 54th Court	2020-2021	271,925	Sewer Debt (Other than G.O.)	2018-2019
<u>Water Improvements</u>	Merle Hay East Impr. - 4C NW 61st Place & NW 54th Court	2020-2021	311,800	Water Debt (Other than G.O.)	2018-2019
<u>Parks Projects</u>	Dog Park	2020-2021	\$ 20,000	Park & Trail Impr Fund 318	
<u>Parks Projects</u>	Ray Schleihs Park Playground	2020-2021	\$ 50,000	Park & Trail Impr Fund 318	
<u>Parks Projects</u>	Trail along east side of 86th from 62nd to 54th	2020-2021	\$ 50,000	Park & Trail Impr Fund 318	
<u>Parks Projects</u>	Restroom Update @ Dewey Park	2020-2021	\$ 80,000	Park & Trail Impr Fund 318	
<u>Storm Drainage Improvements</u>	Harbour Oaks # 2 - Harbour Oaks Drive	2020-2021	\$ 99,367	Storm Water Utility	Possibly move out a year
<u>Storm Drainage Improvements</u>	Merle Hay East Impr. - NW 61st Place & NW 54th Court North	2020-2021	883,450	Storm Water Utility	2018-2019
<u>Storm Drainage Improvements</u>	The Harbour # 2 - Longboat Court	2020-2021	\$ 63,847	Storm Water Utility	
<u>Storm Drainage Improvements</u>	The Wilderness	2020-2021	\$ 143,531	Storm Water Utility	
<u>Storm Drainage Improvements</u>	The Forest - Forest Drive	2020-2021	\$ 88,326	Storm Water Utility	
<u>Storm Drainage Improvements</u>	The Forest - 5441 Forest	2020-2021	\$ 138,010	Storm Water Utility	
	Sub-Total 2020-2021		\$ 4,309,081		
	<b>GRAND TOTAL</b>		<b>\$ 51,634,663</b>		

PROJECTS SORTED BY FISCAL YEAR

2016-2017 through 2020-2021  
 CAPITAL IMPROVEMENT PLAN  
 PUBLIC HEARING 12/21/15

Resolution 15-330  
 Exhibit "A"

## CIP- 2016-2021

Project Description	Year	Estimate	Fund
Crosshaven Playground	16-17	\$160,000	P&T Improvement
NW Beaver Drive Trail	16-17	\$700,000	GO Bonds
Terra Lake- Phase 3	16-17	\$1,452,000	GO Bonds
		\$ 160,000	P&T Improvement Total
Terra Lake- Phase 4	17-18	\$350,000	GO Bonds
Greenwood Hills Playground	17-18	\$150,000	P&T Improvement
Crosshaven- Shelter and B-ball Court	17-18	\$60,000	P&T Improvement
Crown Point Tennis Court Addition	17-18	\$40,000	P&T Improvement
Water Trail Development	17-18	\$50,000	P&T Improvement
Green Meadows Shelter Replacement	17-18	\$30,000	P&T Improvement
Morningside Shelter Replacement	17-18	\$30,000	P&T Improvement
Park Entrance Sign Replacement	17-18	\$20,000	P&T Improvement
Pioneer Parkway Trail Design	17-18	\$50,000	GO Bonds
		\$380,000	P&T Improvement Total
Trail Connectivity Behind Public Works	18-19	\$150,000	GO Bonds
Dewey Park Playground Replacement	18-19	\$150,000	P&T Improvement
Dewey Park Restroom Replacement	18-19	\$150,000	P&T Improvement
Greenwood Hills Shelter	18-19	\$60,000	P&T Improvement
Playground at Johnston Commons	18-19	\$250,000	GO Bonds
Pioneer Parkway Trail Construction	18-19	\$500,000	GO Bonds
Additional Bays for Parks Workshop	18-19	\$300,000	GO Bonds
86th Street Trail Design- 62nd- Windsor	18-19	\$50,000	GO Bonds
		\$360,000	P&T Improvement Total

Adventure Ridge Restroom	19-20	\$150,000	P&T Improvement
Splash Pad- Johnston Commons	19-20	\$125,000	GO Bonds
Additional Amenities at Johnston Commons	19-20	\$250,000	GO Bonds
86th Street Trail Construction- 62nd- Windsor	19-20	\$500,000	GO Bonds
Trail- Library to Middle School- Design	19-20	\$150,000	GO Bonds
86th Street Trail Design- Windsor-54th	19-20	\$50,000	GO Bonds
		\$150,000	P&T Improvement Total
Dog Park- Site to be determined	20-21	\$50,000	P&T Improvement
Ray Schleih's playground	20-21	\$100,000	P&T Improvement
Trail- Library to Middle School- Construction	20-21	\$1,000,000	GO Bonds/Grants
86th Street Trail Construction- Windsor- 54th	20-21	\$500,000	GO Bonds
Docks/Platforms for canoe access- Terra	20-21	\$30,000	P&T Improvement
		\$180,000	P&T Improvement Total



## MEMO

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To: Shane Kinsey, City of Johnston  
From: Heath Picken  
Subject: Evaluation of NW Beaver Pump Station Improvement Alternatives  
Project No. 40160026  
Date: September 2, 2016

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### **Introduction and Description of Existing System**

Des Moines Water Works (DMWW) supplies flow to the City of Johnston through three main connection points:

- Merle Hay Road meter station that is supplied from the Core Network with pressure controlled by the Tenney Standpipe.
- Beaver Creek meter station that is supplied from the Core Network with pressure controlled by the Tenney Standpipe.
- 62<sup>nd</sup> Avenue meter station (recently completed) that is supplied from a new 30-inch transmission main along Beaver Drive that will ultimately connect Saylorville Water Treatment Plant to the Core Network piping and Tenney Standpipe.

DMWW recently completed the 30-inch transmission main from Saylorville WTP to the new meter station near 62<sup>nd</sup> Avenue. DMWW has a dedicated high service pump station at Saylorville WTP that operates using operational levels in the City's NW Beaver standpipe. Since the new 62<sup>nd</sup> Ave meter station went online, flow through the other two metering stations along Merle Hay and Beaver Creek has significantly reduced. The transmission main currently only provides service to the City of Johnston and will not supply any of the Core Network until additional piping is installed to connect to existing DMWW infrastructure farther south near Interstate 35/80. Once the remaining piping is installed, it is anticipated that the 30-inch DMWW piping supplying the 62<sup>nd</sup> Ave meter station will float off the same pressure plane as the Tenney Standpipe, which will most likely result in a drop in delivery pressure from the current condition. This connecting piping is anticipated to be installed in 2017.

The current configuration of the NW Beaver Pressure Zone is with a single source of supply through the existing Merle Hay Pump Station that supplies a 2.0 million gallon (MG) standpipe located along NW Beaver Ave. The NW Beaver Standpipe is 60 feet tall with a high water level elevation of 1,060 feet, which is slightly less than the high water elevation of 1,063 feet of DMWW's Tenney standpipe. Historically, flow from DMWW's Tenney Standpipe flows directly through the City of Johnston's Main Pressure Zone and refills the NW Beaver Standpipe. During periods of high demand when the water level in Tenney is low, or piping headlosses are high enough to limit flow-through, the City's Merle Hay Pump Station boosts pressure to refill the NW Beaver Standpipe. Merle Hay Pump Station was recently rehabilitated to increase the pumping capacity and provide backup power. The Merle Hay Pump Station now has a total capacity of 2,700 gallons per minute (gpm) and a firm capacity of 1,800 gpm with the installation of three inline pumps each rated for 900 gpm at 50 feet total dynamic head (TDH).

The Iowa Department of Natural Resources' (IDNR) design standards require all distribution system piping to maintain a minimum pressure of 20 pounds per square inch (psi) where there are no direct services and 35 psi for portions of main that provide direct service to customers. The standpipe fill line does not contain any services near the higher elevation ridge of Beaver Drive and therefore must maintain a minimum of 20 psi. The standpipe fill line does serve to supply the Intermediate Pressure Zone. Therefore minimum pressures of 35 psi must be maintained within the service area of the Intermediate Pressure Zone.

A below-grade pump station draws suction from the standpipe and provides pressure service to the NW Beaver Pressure Zone with constant pumping. The current pump configuration consists of two pumps each capable of 450 gpm at 80 feet TDH, with a third fire flow pump rated for 850 gpm at 110 feet TDH. The firm capacity of the two smaller pumps is approximately 1,000 to 1,100 gpm, depending on the pressure maintained in the NW Beaver Pressure Zone. The total pump station capacity is approximately 1,800 gpm. There is no storage on the NW Beaver Pressure Zone which requires all demand to be met instantaneously from the Pump Station, including the peak hour demand. Therefore, due to no storage in the system, the NW Beaver Pressure Zone is susceptible to potential pressure surges associated with transient conditions. The City manually selects combinations of pumps in order to meet demands in the pressure zone. A buried control valve vault near the intersection of NW Beaver Drive and 66<sup>th</sup> Avenue breaks pressure from the NW Beaver Pressure Zone and bleeds flow back to the Main Pressure Zone. This control valve prevents over pressurization of the NW Beaver Pressure Zone during periods of low demand and ensures sufficient flow through the NW Beaver Pump Station to maintain adequate cooling of the submersible motors.

The City desires to make improvements to the NW Beaver Pressure Zone to replace and/or augment the existing pump station and provide more reliable operation of this pressure zone. The evaluation and recommendations included below incorporate data presented in the City's *2014 Water System Master Plan*. The water model which was developed as part of the *Master Plan* was updated to model the revised recommendations discussed below.

### **Current and Future Projected Demands**

The *Master Plan* evaluated current finished water demands and projected growth through a 2030 Design Year. These demands are summarized in Table 1 below. Note that this table matches Table 4-3 on page 17 of the *Master Plan*.

**Table 1: Current and Future Projected Demands**

Pressure Zone	Current 2013 Demands, mgd (gpm)			Future 2030 Demands, mgd (gpm)		
	Avg Day	Max Day	Peak Hour	Avg Day	Max Day	Peak Hour
Main	0.729 (506)	2.744 (1,906)	4.939 (3,430)	1.038 (721)	3.402 (2,362)	6.124 (4,253)
West	0.898 (624)	3.381 (2,348)	6.087 (4,227)	1.652 (1,147)	5.422 (3,765)	9.760 (6,778)
Intermediate	0.085 (59)	0.320 (222)	0.576 (400)	0.119 (83)	0.390 (271)	0.702 (487)
NW Beaver	0.405 (281)	1.525 (1,059)	2.744 (1,906)	0.571 (397)	1.872 (1,300)	3.369 (2,340)
<b>Total</b>	<b>2.117</b> <b>(1,470)</b>	<b>7.970</b> <b>(5,535)</b>	<b>14.346</b> <b>(9,962)</b>	<b>3.380</b> <b>(2,347)</b>	<b>11.086</b> <b>(7,699)</b>	<b>19.955</b> <b>(13,858)</b>

It should be noted that the values shown in Table 1 above for the NW Beaver Pressure Zone are calculated theoretical values. The existing hydraulic control valve bleeds flow back down to the Central Pressure Zone and therefore artificially increases the current pumping needs in the NW Beaver Zone. In addition, the City does not currently have the ability to monitor demands in the NW Beaver Pressure Zone from the existing pump station to determine actual demands.

Based on the data in Table 1, the existing system has a Maximum Day demand of approximately 1,060 gpm, which is essentially the firm capacity of the existing NW Beaver Pump Station. In addition, it should be noted that the current Peak Hour demand value of approximately 1,906 gpm exceeds the current total pumping capacity of the NW Beaver Pump Station under a non-runout condition in order to maintain the desired pressure plane of the NW Beaver Pressure Zone. The City has observed periods where the pump station, with all three pumps in operation, has struggled to maintain target pressures. This is indicative that current peak hour demands are nearing the total pumping capacity of the existing pump station.

The projected future 2030 demands include significant growth of over 20% of additional demand to the NW Beaver Pressure Zone. The *Master Plan* anticipated annexation of land to the north along NW Beaver Drive toward Highway 415 as part of these population and demand growth projections.

**Improvement Alternatives for NW Beaver Pressure Zone**

Improvements to the NW Beaver Pressure Zone are considered to address the following:

- Additional firm and total pumping capacity (see individual Alternatives below).
- Improved reliability of the Pressure Zone, including:
  - New above-grade infrastructure to meet current IDNR requirements.
  - Back-up power and service to include:
    - Back-up power with an emergency generator and transfer switch, and
    - A source of supply to maintain service and pressure until the on-site generator is able to power on and provide backup power. Supply sources consider vary by the Alternatives identified below and include a hydropneumatic tank, a cross-connection

with the existing elevated storage in the West Pressure Zone, completely redundant pump stations, and elevated storage in the NW Beaver Pressure Zone.

Four alternatives are considered that will address the improvement needs identified above. These four alternatives are described in detail below.

#### Alternative 1: New Pump Station and Hydropneumatic Tank

This alternative generally includes the following improvements as identified and recommended in the City's 2014 Water System Master Plan:

- a. Construct a new above-grade pump station with a hydropneumatic tank to replace the existing NW Beaver Pump Station. The new station will include multiple pumps with capacities to provide the recommended supply rates to the NW Beaver pressure zone as identified below. The hydropneumatic tank will provide short term storage in the event of a power outage until the emergency generator is online and providing backup power. The hydropneumatic tank will also provide buffering storage to reduce pressure surges associated with transient conditions.
- b. Install a new emergency generator and automatic transfer switch for standby power.
- c. Install a new flow control valve on the existing 12-inch main along NW Beaver Drive, north of NW 48th Court to replace the existing control valve near the intersection of NW Beaver Drive and NW 66th Avenue. This proposed control valve is anticipated to be a non-electric automatic hydraulic control valve and not controlled remotely via SCADA control as anticipated in the *Master Plan*. This valve will prevent over pressurization of the NW Beaver pressure zone and will also serve to supplement localized high demands in the Main pressure zone such as fire flow demands.

The exact peak hour demand in the NW Beaver Pressure Zone is unknown due to lack of real-time meter readings and the configuration of the existing control valve near Beaver Drive and 66<sup>th</sup> Avenue. In order to supply adequate flows to meet the projected 2030 Peak Hour Demands in the NW Beaver Zone, it is recommended that the new pump station be sized with firm and total pumping capacities of 2,400 gpm and 3,000 gpm, respectively. Any excess pumping capacity can be used to pump additional flow to the West Pressure Zone through the existing 16-inch water main along 70<sup>th</sup> Avenue.

The IDNR design standards recommend hydropneumatic tanks as the only source of storage in very small systems that serve less than 150 customers which is significantly less than the number of customers in the NW Beaver Pressure Zone. However, the NW Beaver Pressure Zone is served by a 2.0 MG standpipe that will provide additional ground storage to the system. IDNR design standards require the gross capacity of the hydropneumatic tank to be 10 times the rated capacity of the largest pump. Assuming pumps are nominally rated for 600 gpm in order to provide the firm and total pumping capacities identified above, the total minimum capacity of the hydropneumatic tank would be 6,000 gallons. Variable frequency drives (VFDs) are also recommended in order to allow better flow control into the NW Beaver Pressure Zone and provide the ability to operate with a pressure set-point in the event that the hydropneumatic tank is taken offline for maintenance and/or repair.

In addition to the IDNR design standards, the hydropneumatic tank size was evaluated to provide suitable storage time based on the following flowrates:

- Approximately 30 to 45 seconds of storage at a 2030 Design Year Peak Hour Demand of approximately 2,400 gpm
- Approximately 1 to 1.5 minutes of storage at a 2030 Design Year Maximum Day Demand of approximately 1,300 gpm

- Approximately 4 to 5 minutes of storage at a 2013 Design Year Average Day Demand of approximately 400 gpm

The target hydraulic grade line (HGL) of the NW Beaver Pressure Zone is recommended in the range of 1,115 to 1,135 feet. A mid-range value of 1,125' on the discharge of the pump station results in pressures ranging from 55 to 125 psi in the NW Beaver Pressure Zone. The new pump station building is anticipated to be approximately 1,500 square feet in order to accommodate the pumps, hydropneumatic tank, electrical switchgear, and integration and controls equipment.

The Engineer's Opinion of Probable Construction Cost for Alternative 1 is provided in Table 2 below.

**Table 2: Engineer's Opinion of Probable Construction Costs for Alternative 1**

Improvement	Opinion of Probable Cost <sup>(1)</sup>
General Requirements	\$170,000
Demolish Existing Below-Grade Pump Station	\$20,000
Remove Existing Control Valve at NW Beaver & NW 66 <sup>th</sup> Ave	\$20,000
New Pump Station w/ Hydro Tank	\$1,300,000
New flow Control Valve along NW Beaver Drive	\$75,000
Subtotal	\$1,585,000
Contingency	\$315,000
<b>Total Opinion of Probable Construction Cost</b>	<b>\$1,900,000</b>

<sup>(1)</sup> Costs are representative of 2016 dollars. Costs do not include engineering, legal, financing, or land acquisition costs.

Alternative 2: New Pump Station and Combined West and NW Beaver Pressure Zones

This alternative is similar to Alternative 1 with the construction of a new pump station. However, instead of installing a hydropneumatic tank, storage for the NW Beaver Pressure Zone is provided through a connection with the West Pressure Zone which includes two existing 1.0 MG Elevated Storage Tanks (ESTs). This alternative generally includes the following improvements:

- Construct a new above-grade pump station to replace the existing NW Beaver Pump Station. The layout, and functionality is similar to Alternative 1 above, with the exception that there will not be a hydropneumatic tank installed within the pump station.
- Install a new emergency generator and automatic transfer switch for standby power.
- Install approximately 1,200 feet of 12-inch or 16-inch water main along Merle Hay Road from NW Beaver Road to NW 70<sup>th</sup> Avenue to connect the NW Beaver and West Pressure Zones. The existing 16-inch water main along NW 70<sup>th</sup> Ave will be converted from the Intermediate Pressure Zone to the newly combined NW Beaver/West Pressure Zone.
- Remove or isolate the existing control valve near the intersection of NW Beaver Drive and NW 66<sup>th</sup> Avenue.

Based on the proposed configuration for this Alternative, a new NW Beaver Pump Station is recommended to provide sufficient capacity to meet the peak hour demand condition, similar to Alternative 1.

Connecting the NW Beaver and West Pressure Zones utilizing the existing 16-inch main along NW 70<sup>th</sup> Ave will allow the following:

- The existing 16-inch main along 70<sup>th</sup> Avenue will be fully utilized. The current configuration results in a dead-end for all piping west of the existing services to Camp Dodge and the

DuPont Pioneer agricultural buildings. By utilizing the main, it would limit the need for City staff to flush the 16-inch main due to poor turnover.

- Storage on the West Pressure Zone would be available to supply flow to the NW Beaver Pressure Zone during a power outage or during peak hour demands in the NW Beaver Zone.
- Flow from the NW Beaver Pump Station can be supplied to fill the existing ESTs in the West Pressure Zone. Filling of the ESTs can be during periods of low demand in the NW Beaver Zone (e.g., during nighttime hours) in order to allow the NW Beaver Pump Station to operate continuously without overpumping the NW Beaver Zone.
- Flow from the NW Beaver Pump Station can be provided to the West Pressure Zone to assist with filling the north EST in the West Pressure Zone to help balance its level with the south EST in the West Pressure Zone..

Modeling results indicate that the existing 16-inch water main along 70<sup>th</sup> Avenue is capable of transferring water between the two pressure zones at a maximum rate of approximately 500 to 700 gpm during current demand conditions with maximum operational pressures of approximately 125 to 130 psi.

The Merle Hay Road Pump Station must have sufficient capacity to meet the Maximum Day Demands of both the Intermediate and NW Beaver Pressure Zones. The NW Beaver Standpipe provides buffering volume between the Merle Hay Road and NW Beaver Pump Stations so that the NW Beaver Peak Hour Demands can be met by the pumping capacity of the NW Beaver Pump Station. Therefore, for the purposes of this evaluation, the Merle Hay Road Pump Station must deliver approximately 1,281 gpm (222 gpm + 1,059 gpm) for current 2013 demands and 1,571 gpm (271 gpm + 1,300 gpm) for the 2030 Design year. The current firm capacity of the Merle Hay Road Pump Station is approximately 1,800 gpm, which results in approximately 519 gpm and 229 gpm of excess capacity for 2013 and 2030 projected demands, respectively, that could be pumped through the NW Beaver Standpipe and then further repumped through the renovated NW Beaver Pump Station to the West Pressure Zone. Therefore, oversizing the NW Beaver Pump Station to supply excess flow to the West Pressure Zone may not be desirable due to the pumping limitations of the Merle Hay Road Pump Station.

Based on the evaluation above, it is recommended that the new NW Beaver Pump Station be sized with one more pump than Alternative 1, or a firm pumping capacity of 2,400 gpm with a total pumping capacity of 3,000 gpm. This will allow the new pump station to meet all current and projected demand conditions through 2030 and maintain some excess capacity to repump to the West Pressure Zone.

The Engineer's Opinion of Probable Construction Cost for Alternative 2 is provided in Table 3 below

**Table 3: Engineer's Opinion of Probable Construction Costs for Alternative 2**

Improvement	Opinion of Probable Cost <sup>(1)</sup>
General Requirements	\$155,000
Demolish Existing Below-grade Pump Station	\$20,000
Remove Existing Control Valve at NW Beaver & NW 66 <sup>th</sup> Ave	\$20,000
New Pump Station w/o Hydro Tank	\$1,020,000
Install 1,200 feet of 16-inch Water Main along Merle Hay	\$235,000
Subtotal	\$1,450,000
Contingency	\$290,000
<b>Total Opinion of Probable Construction Cost</b>	<b>\$1,740,000</b>

<sup>(1)</sup> Costs are representative of 2016 dollars. Costs do not include engineering, legal, financing, or land acquisition costs.

Alternative 3: New Parallel Pump Station for NW Beaver Zone

This alternative will maintain operation of the existing NW Beaver pump station as-is and augment its functionality with a new booster pump station pumping directly from the Main Pressure Zone to a combined NW Beaver/West pressure zone. The new booster pump station would be designed to eventually replace the existing Merle Hay and NW Beaver pumping stations as well as accommodate a future elevated water storage tank located in the NW Beaver Pressure Zone area to replace the storage of the existing NW Beaver Standpipe. This alternative generally includes the following improvements:

- a. Construct a new above- grade booster station near the intersection of NW Beaver Drive and NW 66<sup>th</sup> Avenue to supplement the existing NW Beaver Pump Station. Include a new emergency generator and automatic transfer switch for standby power. For the purposes of this evaluation, it was assumed that the pump station is located to the west of Public Works near the NW 64<sup>th</sup> Place and NW 48<sup>th</sup> Court.
- b. Construct approximately 3,000 feet of 16-inch water main for suction and discharge piping to the new pump station. The suction piping is generally assumed to be installed along NW 64<sup>th</sup> Place from NW Beaver Drive to NW 48<sup>th</sup> Court to draw suction from the Main Pressure Zone. The discharge piping is generally assumed to be installed along NW 48<sup>th</sup> Court from NW 64<sup>th</sup> Place to the north for a connection with the existing 12-inch water main along NW Beaver Drive near the intersection with NW 48<sup>th</sup> Court. The actual location and routing of the water main will be determined based on the final pump station site. This section of piping is needed in the short-term in order to provide sufficient distribution system capacity for the new pump station.
- c. Construct approximately 1,600 feet of 16-inch water main along NW 70<sup>th</sup> Avenue between NW Beaver Drive and Merle Hay Road to connect the NW Beaver and West Pressure Zones. The existing 16-inch water main along NW 70<sup>th</sup> Ave will be converted from the Main Pressure Zone to the newly combined NW Beaver/West Pressure Zone.
- d. Construct approximately 3,600 feet of 16-inch water main along NW Beaver Drive to provide additional long-term piping capacity once the Merle Hay Pump Station, NW Beaver standpipe, and NW Beaver Pump Station are phased out of service and the new pump station capacity is increased. This new water main may eliminate the need for the approximately 4,700 feet of 16-inch water main along 62<sup>nd</sup> Avenue between NW Beaver Drive and Merle Hay Road as proposed in the *Master Plan*.
- e. Eliminate the distribution system control valve near the intersection of NW Beaver Drive and NW 66<sup>th</sup> Avenue.

The recommended capacity of the new pump station is based on a phased approach as follows:

- **Immediate Improvements:** The combined firm capacity between the existing NW Beaver Pump Station and the new pump station should exceed the projected 2030 Peak Hour Demand of approximately 2,400 gpm for the NW Beaver Pressure Zone. Therefore, an additional capacity of approximately 1,400 gpm is needed at the new pump station.
- **Long-Term Improvements:** With the new pump station and a future EST replacing the functionality of the Merle Hay Road Pump Station, the NW Beaver Standpipe, and the NW Beaver Pump Station, the new pump station will supply the flow to meet the demands of both the NW Beaver and Intermediate Pressure Zones. Therefore, a minimum firm pumping capacity of approximately 1,570 gpm is needed for the Projected 2030 Maximum Day Demands in these two zones. Additional pumping capacity could be provided to overpump the NW Beaver Pressure Zone and supply additional flow to the West Pressure Zone as described in Alternative 2 above.

Therefore, it is recommended that the new pump station be provided with approximately 1,600 gpm of firm capacity, this will meet both the short-term and long-term needs of the NW Beaver Zone. Additional pumping capacity may be desirable to accommodate additional flow to the West Pressure Zone. Preliminary modeling results indicate that the pump station will be able to deliver flowrates of 1,500 to 2,000 gpm once the 16-inch is installed along NW Beaver Drive while maintaining maximum discharge pressures of approximately 130 psi at the new pump station site. For the purposes of this evaluation, a new 750,000-gallon EST with an overflow elevation of 1,115 feet was modeled for the future 2030 long-term condition. The modeling results indicate adequate performance in terms of maintaining pressure in the NW Beaver Pressure Zone and sufficient pumping capacity for fill/draw operation with the new pump station.

Due to reconfiguration of flow through the distribution system eliminating the need to convey large flows to the Merle Hay Road Pump Station site, the 16-inch water main replacement along 62<sup>nd</sup> Ave is no longer needed and that associated cost savings can be used to offset the new 16-inch main along NW Beaver Drive as indicated above. The City indicates that NW Beaver Drive may be resurfaced in the next 5-10 years and this new 16-inch main could be installed at that time.

The Engineer's Opinion of Probable Construction Cost for Alternative 3 is provided in Tables 3 and 4 below for the Immediate and Long-Term Improvements, respectively.

**Table 4: Engineer's Opinion of Probable Immediate Construction Costs for Alternative 3**

Improvement	Opinion of Probable Cost <sup>(1)</sup>
General Requirements	\$180,000
Remove Existing Control Valve at NW Beaver & NW 66 <sup>th</sup> Ave	\$20,000
New Pump Station at NW Beaver and NW 66 <sup>th</sup> Ave	\$730,000
Install 4,600 feet of 16-inch Water Main	\$770,000
Subtotal	\$1,700,000
Contingency	\$340,000
<b>Total Opinion of Probable Construction Cost</b>	<b>\$2,040,000</b>

<sup>(1)</sup> Costs are representative of 2016 dollars. Costs do not include engineering, legal, financing, or land acquisition costs.

**Table 5: Engineer's Opinion of Probable Long-Term Construction Costs for Alternative 3**

Improvement	Opinion of Probable Cost <sup>(1)</sup>
General Requirements	\$55,000
Install 3,600 feet of 16-inch Water Main	\$445,000
Subtotal	\$500,000
Contingency	\$100,000
<b>Total Opinion of Probable Construction Cost</b>	<b>\$600,000</b>

<sup>(1)</sup> Costs are representative of 2016 dollars. Costs do not include engineering, legal, financing, or land acquisition costs.

Alternative 4: New 0.75 MG EST

This alternative will maintain operation of the existing NW Beaver pump station as-is and include installation of a new elevated storage tank (EST) at the NW Beaver Standpipe/Pump Station site. This alternative generally includes the following improvements:

- a. Construct a 750,000 gallon elevated water storage tank adjacent to the existing NW Beaver pumping station and ground storage reservoir.
- b. Eliminate the distribution system control valve near the intersection of NW Beaver Drive and NW 66<sup>th</sup> Avenue. No replacement control valve is anticipated due to the elevated storage provided to the NW Beaver Zone that will eliminate the need to constantly pump to maintain pressure.

The new EST will provide storage to maintain pressure in the NW Beaver Pressure Zone and to meet peak hour demands. A new 750,000-gallon EST is recommended in order to meet the projected 2030 Average Day Demands of the Intermediate (0.119 mgd) and the NW Beaver (0.571 mgd) Zones, for a total demand of 0.69 mgd. It is anticipated that the new EST will be provided with an overflow elevation of approximately 1,115 feet in order to match the pressure plane to the West Zone. This would allow the NW Beaver and West Pressure Zones to be combined and float on the same overall pressure plane.

With elevated storage provided in the NW Beaver Zone, the NW Beaver Pump Station must have sufficient firm pumping capacity to meet the current 2013 and projected future projected 2030 Maximum Day Demands of 1,059 gpm and 1,300 gpm, respectively. The existing NW Beaver Pump Station has a firm capacity of approximately 1,000 to 1,100 gpm, which is near being with the current demand condition. It is recommended that a new EST be constructed and filled with the existing NW Beaver Pump Station in the short-term. The long-term recommendation is to remove the Merle Hay Pump Station, NW Beaver Drive Standpipe, and the NW Beaver Pump Station and replace with a new pump station as described in Alternative 3. The benefits for this approach are as follows:

- The NW Beaver Standpipe results in water quality issues due to poor turnover. The 2.0 MG storage capacity serves a combined current Average Day Demand of approximately 0.49 mgd (340 gpm) for the Intermediate and NW Beaver Zones. Therefore, the standpipe provides over four times the desired volume for the area that it serves.
- Implementing both Alternatives 3 and 4 will allow the existing NW Beaver Standpipe to be removed from service. This will eliminate ongoing operation and maintenance costs associated with the steel tank.
- Maintaining operation of the NW Beaver Standpipe essentially requires the continued operation and maintenance of the Merle Hay Road Pump Station. This causes all flow to the NW Beaver Pressure Zone to be pumped twice: once from the Main to the Intermediate Pressure Zone, and once from the Intermediate to NW Beaver Pressure Zone. The system

can be simplified to combine this into a single pump station which would reduce long-term operation and maintenance costs.

The Engineer's Opinion of Probable Construction Cost for Alternative 4 is provided in Table 6 below.

**Table 6: Engineer's Opinion of Probable Construction Costs for Alternative 4**

Improvement	Opinion of Probable Cost <sup>(1)</sup>
General Requirements	\$230,000
Remove Existing Control Valve at NW Beaver & NW 66 <sup>th</sup> Ave	\$20,000
750,000 gallon Elevates Storage Tank	\$1,910,000
Subtotal	\$2,160,000
Contingency	\$430,000
<b>Total Opinion of Probable Construction Cost</b>	<b>\$2,590,000</b>

<sup>(1)</sup> Costs are representative of 2016 dollars. Costs do not include engineering, legal, financing, or land acquisition costs.

**Summary and Recommendation**

The Opinion of Probable Construction Costs for the four alternatives are summarized in Table 6 below.

**Table 6: Summary of Engineer's Opinion of Probable Construction Costs**

Improvement Alternative	Opinion of Probable Cost <sup>(1)</sup>
Alternative 1: New Pump Station and Hydropneumatic Tank	\$1,900,000
Alternative 2: New Pump Station and Combined Pressure Zones	\$1,740,000
Alternative 3: New Parallel Pump Station for NW Beaver Zone	\$2,040,000
Alternative 4: New 0.75 MG EST	\$2,590,000

<sup>(1)</sup> Costs are representative of 2016 dollars. Costs do not include engineering, legal, financing, or land acquisition costs.

Alternatives 1 and 2 are similar in that the improvements included within these options assume long-term continued operation of the Merle Hay Road Pump Station and the NW Beaver Standpipe. Additional long-term improvements may be needed to provide additional capacity at Merle Hay Pump Station and/or a second parallel pump station to pump directly from the Main Pressure Zone to the NW Beaver Pressure Zone similar to Alternative 3 once total Maximum Day Demands in the Intermediate and NW Beaver Zones begin to approach 1,800 gpm.

Alternatives 3 and 4 were anticipated to provide a shift from the current configuration of double pumping the flow through both the Merle Hay and NW Beaver Pump Stations utilizing the existing standpipe. Both alternatives will allow for the continued operation as-is of the Merle Hay Road Pump Station and NW Beaver Standpipe in the short-term, but provide preliminary steps for the long-term replacement of these facilities with a new single pump station and elevated water storage tank.

Costs associated with Alternative 3 in Table 6 only represent the costs associated with the immediate improvements as identified in Table 4. In addition, depending upon the actual location of the Alternative 3 pumping station, the need for additional suction and discharge piping may be reduced which may reduce the overall cost of the project.

JOHNSTON CITY COUNCIL  
COUNCIL MEETING NO. 16-20  
Johnston City Hall, 6221 Merle Hay Road  
October 3, 2016  
7:00 p.m.

1. CALL TO ORDER
2. ROLL CALL
3. WELCOME
4. PLEDGE OF ALLEGIANCE
5. AGENDA APPROVAL
6. PUBLIC COMMUNICATIONS  
Proclaiming October, 2016 as Community Planning Month in the City of Johnston, Iowa.
7. PUBLIC HEARINGS
  - a. Consider the following items related to the Greenwood Hills Greenbelt Wetland Mitigation Area, Beaver Creek Natural Resource Area Phase IV project:
    - Resolution 16-206 – Ratifying, confirming, and approving change in deadline for submission of bids, change in date for receipt of bids and posting of notice to bidders;
    - Conduct a Public Hearing on the matter of adoption of Plans, Specifications, form of contract, and estimate of costs;
    - Consider Resolution No. 16-207 – Adopting Plans, Specifications, form of contract, and estimate of costs.
8. CONSENT AGENDA
  - a. Consider Minutes of September 19, 2016 Worksession
  - b. Consider Minutes of September 19, 2016 Council Meeting
  - c. Consider Resolution No. 16-209 – Approving hiring of a Youth Services Librarian and establishing a wage at the Johnston Public Library.
  - d. Consider the renewal of a Class C Liquor License to include Sunday sales and outdoor service for Hyperion Field Club, 7390 NW Beaver Drive.
  - e. Consider the renewal of a Class C Liquor License (Commercial) for the Hy-Vee Market Café, 5750 Merle Ray Road.
  - f. Approve and Authorize the Chief of Police to sign a 28E Agreement for Tobacco Enforcement with the Iowa Alcoholic Beverage Division.
  - g. Consider approval of Partial Pay Request No. 5 to Kingston Services in the amount of \$150,884.70 for construction of Terra Lake Park Improvements Phase 2.
  - h. Consider approval of Partial Pay Request No. 6 to Rochon Corporation of Iowa, Inc. in the amount of \$558,952.80 for Terra Lake Park Improvements Phase 3.
  - i. Consider approval of Pay Application No. 6 to Applied Ecological for the Greenwood Hills Greenbelt – Phase III Landscaping project.
  - j. Consider approval of an Xceligent CDX Pro and Data Feed Subscription Agreement for the Economic Development Department.
  - k. Consider Resolution No. 16-208 - A Resolution Initiating an Official Zoning Map Amendment for Approximately 5.51 Acres and Adjoining Right-of-Way from PUD Allowing Limited C-2, Community Retail Commercial District Uses to PUD Allowing Limited C-2 District Uses and Uses of the R-4, High Density Residential District to be Known as the Roughwood PUD, Located West of NW 86<sup>th</sup> Street and South of NW 54<sup>th</sup> Avenue.
  - l. Consider Resolution No. 16-210 - A Resolution Approving Change Order No. 4 for the NW 70<sup>TH</sup> Avenue Improvements 98<sup>TH</sup> Street to West City Limits.

- m. Consider Resolution No. 16-211 – A Resolution Considering Approval of the Construction Plans for Canterbury Woods Plat 2. The Property is Located East of NW 107<sup>th</sup> Street and South of NW 74<sup>th</sup> Place
- n. Consider Approval of Pay Request No. 14 to Alliance Construction Group in the Amount of \$219,476.83 for Work Completed as of September 23, 2016, on the NW 70<sup>th</sup> Avenue Improvements 98<sup>th</sup> Street to West City Limits
- o. Consider Approval of Pay Request No. 10 to Rognes Corporation in the Amount of \$96,511.60 for Work Completed as of September 22, 2016, on East of Merle Hay Road NW 60<sup>th</sup> Avenue Improvements Project – Phase 4A
- p. Consider Approval of Pay Request No. 13 to Manatt’s Inc., in the Amount of \$206,971.49 for Work Completed as of September 22, 2016, on the NW 100<sup>th</sup> Street Reconstruction Project
- q. Consider Approval to Purchase a 3” Water Meter (\$2,512.54)
- r. Consider Approval to Purchase 2” Water Meters (\$10,152.78)
- s. Consider Approval of the Lease of a New Copier for Public Works (\$215.00 / month)
- t. Consider Approval of the 30-Day Public Comment Period running October 7, 2016, through November 7, 2016, of the Antidegradation Alternative Analysis for the City of Johnston Sewer Protection and Odor Control
- u. Receive and file the following reports:
  - 1. Year to Date Building Permit Report – August 2016
  - 2. Planning and Zoning Commission Minutes – August 29, 2016

9. NON-CONSENT AGENDA

- a. Consider Second Consideration of Ordinance 950 – Approving An Official Zoning Map Amendment from A-R Agriculture Reserve District to R-1(75) Single-Family Residential District, C-2 Community Retail Commercial District, PC Professional Commerce Park District, and R-3 Medium Density Multiple Family Residential District.
- b. Consider Resolution No. 16-204 – Approving the Site Plans for 8601 Thomas Avenue (PZ Case 16-27)
- c. Consider Resolution No. 16-205 - A Resolution Approving the Site Plans for Dance Vision Located at 8711 Thomas Avenue (PZ Case 16-29)
- d. Consider approval of Claims in the amount of \$1,763,828.77

10. CITY ADMINISTRATOR/STAFF COMMENTS

11. CITY COUNCIL COMMENTS

12. UPCOMING MEETINGS

October 17, 2016	City Hall	Worksession 6:00 p.m. Meeting 7:00 p.m.
November 7, 2016	City Hall	Worksession 6:00 p.m. Meeting 7:00 p.m.

13. ADJOURNMENT



6

### Community Planning Month Proclamation

**WHEREAS**, change is constant and affects all cities, towns, suburbs, counties, boroughs, townships, rural areas, and other places; and

**WHEREAS**, community planning and plans can help manage this change in a way that provides better choices for how people work and live; and

**WHEREAS**, community planning provides an opportunity for all residents to be meaningfully involved in making choices that determine the future of their community; and

**WHEREAS**, the full benefits of planning requires public officials and citizens who understand, support, and demand excellence in planning and plan implementation; and

**WHEREAS**, the month of October is designated as National Community Planning Month throughout the United States of America and its territories, and

**WHEREAS**, The American Planning Association and its professional institute, the American Institute of Certified Planners, endorse National Community Planning Month as an opportunity to highlight the contributions sound planning and plan implementation make to the quality of our settlements and environment; and

**WHEREAS**, the celebration of National Community Planning Month gives us the opportunity to publicly recognize the participation and dedication of our citizen planners, including the members of the City Council, Planning and Zoning Commission and Board of Adjustment, who have contributed their time and expertise to the improvement of the City of Johnston, Iowa; and

**WHEREAS**, We recognize the many valuable contributions made by professional community and regional planners of the City of Johnston, Iowa and extend our heartfelt thanks for the continued commitment to public service by these professionals; and

**WHEREAS**, We recognize that the City of Johnston, Iowa is a better community as a result of the implementation of numerous successful planning initiatives, such as the Merle Hay Road Redevelopment Plan, the Johnston 2030 Comprehensive Plan, the Watershed Assessment and Management Plan, and the Merle Hay Road Gateway Redevelopment Plan.

**NOW, THEREFORE**, BE IT RESOLVED THAT, the month of October 2016 is hereby designated as **Community Planning Month** in the City of Johnston, Iowa in conjunction with the celebration of National Community Planning Month.

Adopted this 3<sup>rd</sup> Day of October 2016.

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Paula S. Dierenfeld, Mayor

(SEAL)

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Cyndee Rhames, City Clerk



ITEM NO. 7a

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

October 3rd, 2016 Meeting

<p><b>SUBJECT:</b> Consider the following items related to the Greenwood Hills Greenbelt Wetland Mitigation Project:</p> <ul style="list-style-type: none"> <li>• Resolution 16-206 ratifying, confirming, and approving change in deadline for submission of bids, change in date for receipt of bids and posting of notice to bidders</li> <li>• Public hearing on the matter of adoption of plans, specifications, form of contract and estimate of costs.</li> <li>• Resolution 16-207 adopting plans, specifications, form of contract and estimate of costs.</li> </ul>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input checked="" type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
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**SYNOPSIS:**

The Greenwood Hills Greenbelt storm water project impacted tree cover in a wetland area. Due to this impact, mitigation is necessary to replace those trees in a wetland area. This project will be located adjacent to other wetland mitigation projects in the Beaver Creek Natural Resource Area. This is the forth mitigation site within the region and will create diversity of tree cover within the site.

There was some confusion with the posting of the project for bidding purposes. New rules were recently established and the posting to two sites was not accomplished in the necessary time frame. This will not substantially delay the project, but did cause the delay of the letting to October 4<sup>th</sup>. We will have a recommendation of a contractor with the necessary contracts for the October 17<sup>th</sup> meeting.

**FISCAL IMPACT:**

\$330,400 for construction and \$124,053.30 for engineering services. The total is \$454,453.30.

**RECOMMENDATION:**

Approval of Resolutions 16-206 & 16-207

(This Notice to be posted)

NOTICE AND CALL OF PUBLIC MEETING

Governmental Body: The City Council of the City of Johnston, State of Iowa.  
Date of Meeting: October 3, 2016.  
Time of Meeting: 7:00 o'clock P.M.  
Place of Meeting: Council Chambers, City Hall, 6221 Merle Hay Road, Johnston, Iowa.

PUBLIC NOTICE IS HEREBY GIVEN that the above mentioned governmental body will meet at the date, time and place above set out. The tentative agenda for the meeting is as follows:

Construction of Greenwood Hills Greenbelt Wetland Mitigation

- Resolution ratifying, confirming, and approving change in deadline for submission of bids, change in date for receipt of bids and posting of notice to bidders. *16-206*
- Public hearing on the matter of the adoption of plans, specifications, form of contract and estimate of cost
- Resolution adopting plans, specifications, form of contract and estimate of costs. *16-207*

Such additional matters as are set forth on the additional \_\_\_\_\_ page(s) attached hereto.  
(number)

This notice is given at the direction of the Mayor pursuant to Chapter 21, Code of Iowa, and the local rules of the governmental body.

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City Clerk, City of Johnston, State of Iowa

October 3, 2016

The City Council of the City of Johnston, State of Iowa, met in \_\_\_\_\_ session, in the Council Chambers, City Hall, 6221 Merle Hay Road, Johnston, Iowa, at 7:00 o'clock P.M., on the above date. There were present Mayor \_\_\_\_\_, in the chair, and the following named Council Members:

\_\_\_\_\_

\_\_\_\_\_

Absent: \_\_\_\_\_

\* \* \* \* \*

This being the time and place fixed for a public hearing on the matter of the adoption of plans, specifications, form of contract and estimate of cost for the construction of certain public improvements described in general as the Greenwood Hills Greenbelt Wetland Mitigation, the Mayor called for any oral objections to the adoption of the plans, specifications, form of contract and estimate of cost. No oral objections were offered and the Clerk reported that no written objections thereto had been filed.

Council Member \_\_\_\_\_ introduced the following Resolution entitled "RESOLUTION ADOPTING PLANS, SPECIFICATIONS, FORM OF CONTRACT AND ESTIMATE OF COST FOR THE GREENWOOD HILLS GREENBELT WETLAND MITIGATION", and moved that the same be adopted. Council Member \_\_\_\_\_ seconded the motion to adopt. The roll was called and the vote was,

AYES: \_\_\_\_\_

\_\_\_\_\_

NAYS: \_\_\_\_\_

Whereupon, the Mayor declared the following Resolution duly adopted:

RESOLUTION ADOPTING PLANS, SPECIFICATIONS, FORM  
OF CONTRACT AND ESTIMATE OF COST FOR THE  
GREENWOOD HILLS GREENBELT WETLAND  
MITIGATION

16-207

WHEREAS, on the \_\_\_\_\_ day of \_\_\_\_\_, 2016, plans, specifications, form of contract and estimate of cost were filed with the Clerk for the construction of certain public improvements described in general as the Greenwood Hills Greenbelt Wetland Mitigation; and

WHEREAS, notice of hearing on plans, specifications, form of contract and estimate of cost for the public improvements was published as required by law:

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, STATE OF IOWA:

Section 1. That the plans, specifications, form of contract and estimate of cost are hereby approved as the plans, specifications, form of contract and estimate of cost for the public improvements, as described in the preamble of this Resolution.

PASSED AND APPROVED this 3rd day of October, 2016.

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Mayor

ATTEST:

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City Clerk

CERTIFICATE

STATE OF IOWA )  
 ) SS  
COUNTY OF POLK )

I, the undersigned City Clerk of the City of Johnston, State of Iowa, do hereby certify that attached is a true and complete copy of the portion of the corporate records of the City showing proceedings of the Council, and the same is a true and complete copy of the action taken by the Council with respect to the matter at the meeting held on the date indicated in the attachment, which proceedings remain in full force and effect, and have not been amended or rescinded in any way; that meeting and all action thereat was duly and publicly held in accordance with a notice of public hearing and tentative agenda, a copy of which was timely served on each member of the Council and posted on a bulletin board or other prominent place easily accessible to the public and clearly designated for that purpose at the principal office of the Council (a copy of the face sheet of the agenda being attached hereto) pursuant to the local rules of the Council and the provisions of Chapter 21, Code of Iowa, upon reasonable advance notice to the public and media at least twenty-four hours prior to the commencement of the meeting as required by law and with members of the public present in attendance; I further certify that the individuals named therein were on the date thereof duly and lawfully possessed of their respective City offices as indicated therein, that no vacancy existed except as may be stated in the proceedings, and that no controversy or litigation is pending, prayed or threatened involving the incorporation, organization, existence or boundaries of the City or the right of the individuals named therein as officers to their respective positions.

WITNESS my hand and the seal of the Council hereto affixed this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
City Clerk, City of Johnston, State of Iowa

(SEAL)

# Draft Schedule - 1



Client  
 Project:  
 Council - Orders Construction  
 Desired Letting Date:  
 Council - Public Hearing/Award

City of Johnston, Iowa  
 Greenwood Hills Greenbelt Wetland Mitigation Area, Beaver Creek Natural Resource Area Phase IV  
 Tuesday, September 06, 2016  
 Tuesday, October 04, 2016  
 Monday, October 17, 2016

Task	Date	Days from Critical Date	Comments
Submit Pre-Final Plans to City for Final Review	Monday, August 22, 2016	(15)	
Final comments due from City to Foth	Saturday, August 27, 2016	(10)	**City Critical Date
Submit Draft NH&L to Ahlers	Saturday, August 27, 2016	(10)	
Final Estimate and NH&L to City	Thursday, September 01, 2016	(5)	Electronic
Final Plans Complete	Saturday, September 03, 2016	(3)	Hard Copy to City Hall
Council - Orders Construction	Tuesday, September 06, 2016		1st or 3rd Monday
Send NH&L to Paper	Thursday, September 22, 2016	(7)	Min. 1 week advance of publication date
Publish Plans to Contractors	Wednesday, September 07, 2016	1	Day after Council sets public hearing
Post Notice to Bidders	Tuesday, September 13, 2016	(21)	Between 13-45 days before Letting
Publish NH&L	Thursday, September 29, 2016	(18)	Between 4-20 days before Public Hearing
No. Days for Contractor	27		
Letting	Tuesday, October 04, 2016		
Submit Bid Tab to City	Wednesday, October 05, 2016	1	
Signed Contracts, Bonds & Insurance to City	Wednesday, October 12, 2016	8	
Council - Public Hearing/Award	Monday, October 17, 2016	18	Between 4-20 days after Publish of NH&L

Critical Construction Task	Date	Days from Critical Date	Comments
Start Construction	Monday, October 24, 2016		
Seeding Deadline	Friday, June 30, 2017	249	April 1 to June 30. Dormant seeding prior to December 25 (no snow, temps <40°), Frost Seeding February 1 to April 1 (<1" snow)
Tree Planting	Thursday, June 01, 2017	220	August 15 to November 15 and prior to June 1 (balled/burlapped and container), Spring prior to May 15 (bare root)

### Critical Tasks

LETTING DATE: 9/20/2016  
CITY CONTRACT NO.: GHW-346, GHW-349

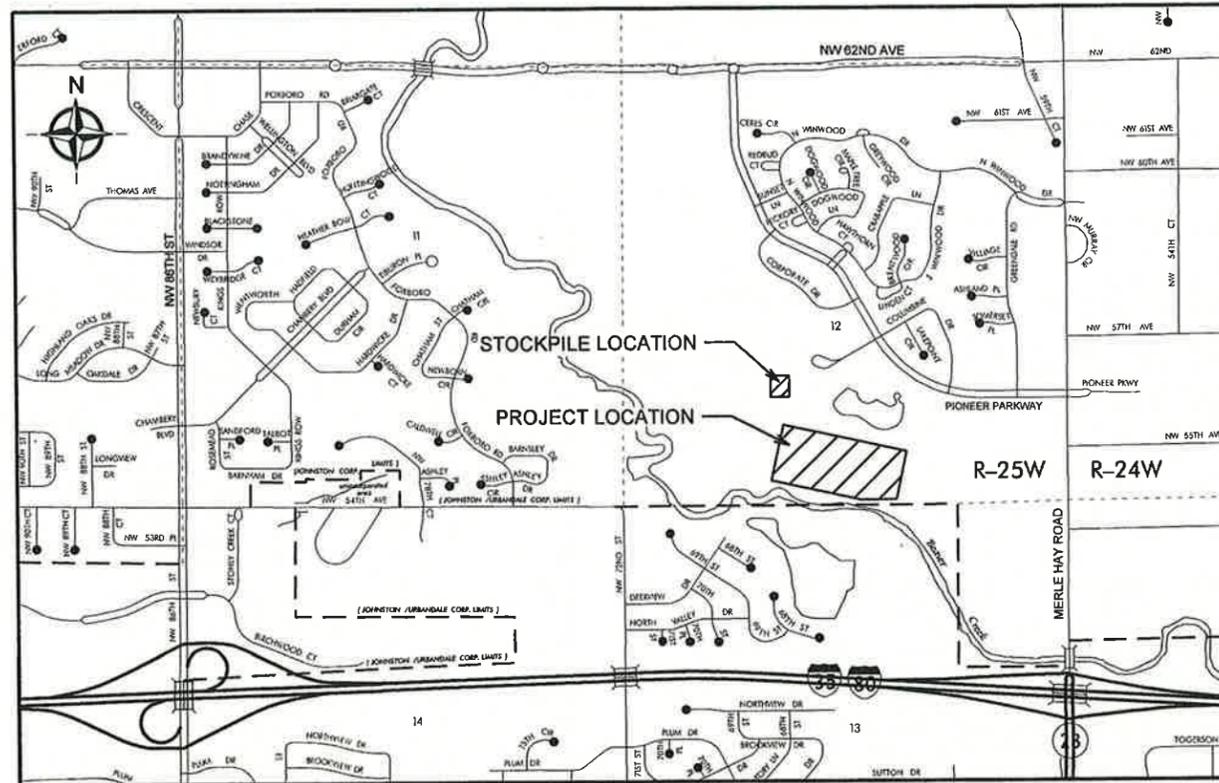
**GREENWOOD HILLS GREENBELT  
WETLAND MITIGATION**

PLANS OF PROPOSED IMPROVEMENTS FOR  
**2016  
GREENWOOD HILLS GREENBELT**

#2

WETLAND MITIGATION  
CITY OF JOHNSTON, IOWA  
CITY CONTRACT NO.: GHW-346, GHW-349

LOCATION MAP NOT TO SCALE



URBAN STANDARD DETAILS FOR PUBLIC IMPROVEMENTS		
ALL STANDARD DETAILS SHALL BE CONSIDERED APPLICABLE TO CONSTRUCTION WORK ON THIS PROJECT. THE FOLLOWING DETAILS ARE BROUGHT TO THE CONTRACTOR'S ATTENTION:		
FIGURE NO.	NAME	DATE
9030.102	TREE STAKING, GUYING, AND WRAPPING	10-18-2011

INDEX OF SHEETS		105-3 07-21-87
NO.	DESCRIPTION	
A.01	TITLE SHEET	
C.01-C.02	ESTIMATE OF QUANTITIES AND GENERAL INFORMATION	
D.01-D.03	GRADING PLAN SHEETS	
EC.01-EC.03	EROSION CONTROL AND SEEDING PLAN SHEETS	
LS.01-LS.02	TREE PLANTING PLAN SHEETS	

THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS, 2014 EDITION (EXCLUDING DIVISION 1), THE CITY OF JOHNSTON SUPPLEMENTAL SPECIFICATIONS, AND OTHER SUPPLEMENTAL SPECIFICATIONS INCLUDED IN THE CONTRACT DOCUMENTS SHALL APPLY TO CONSTRUCTION WORK ON THIS PROJECT.

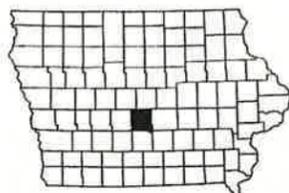


OWNER:  
CITY OF JOHNSTON

C/O JOHN SCHMITZ  
6300 PIONEER PARKWAY  
JOHNSTON, IA 50131  
PHONE: (515) 727-8091  
FAX: (515) 727-8092

ENGINEER:  
FOTH

C/O EVA MORITZ  
8191 BIRCHWOOD COURT, SUITE L  
JOHNSTON, IA 50131  
PHONE: (515) 254-1393  
FAX: (515) 254-1642



	I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa. EVA MORITZ, P.E. License Number: 15304 My license renewal date is DECEMBER 31, 2017 Pages or sheets covered by this seal: ALL SHEETS
	[Signature] DATE: 9/11/2016

**ESTIMATED PROJECT QUANTITIES  
(1 DIVISION PROJECT)**

Item No.	Item Code	Item	Unit	Total	As Built Qty.
1		CLEARING AND GRUBBING	LS	1	
2		EXCAVATION	CY	12130	
3		CLASS E REVETMENT STONE	TON	425	
4		SEED - BUFFER SEED MIX	ACRE	1.6	
5		SEED - EMERGENT SEED MIX	ACRE	1.2	
6		SEED - WET MEADOW MIX	ACRE	7.6	
7		SEED - RURAL TEMPORARY MIX	ACRE	11.8	
8		TREES, FURNISHED AND INSTALLED (WITH WARRANTY)	EACH	375	
9		WIRE MESH TREE GUARDS	EACH	375	
10		STORM WATER POLLUTION PREVENTION PLAN (SWPPP)	LS	1	
11		SILT FENCE INSTALLATION	LF	2000	
12		SILT FENCE REMOVAL	LF	2000	

**ESTIMATE REFERENCE INFORMATION**

Item No.	Item Code	Description
1		<p><b>CLEARING AND GRUBBING</b></p> <p>A. Clear and grubbing to be limited to Construction Limits. Refer to Sheets D.01 and D.02 for Construction Limits</p> <p>B. Bid item includes the following quantities: 10.4 acres of clearing and grubbing</p> <p>C. Clearing and grubbing shall be conducted in accordance with Division 2 of the SUDAS Urban Standard Specifications.</p> <p>D. Protect existing trees as identified on Sheets D.01 and D.02.</p> <p>E. Includes removal and disposal of trees located within the grading limits not marked for protection; grub, remove and dispose of stumps and roots. Burning of brush, trees, and other debris is permitted only upon approval of the City of Johnston and Polk County. Contractor is responsible for obtaining permit to burn.</p> <p>F. Payment will be the Contract Lump Sum price.</p>
2		<p><b>EXCAVATION</b></p> <p>A. Refer to Plan Sheet D.01 and D.02 for final grade contours.</p> <p>B. Bid item includes the following quantities: 12,130 CY of Cut 380 CY of Fill 11,750 CY of Excess</p> <p>C. Excavation shall be conducted in accordance with Division 2 of the SUDAS Urban Standard Specifications.</p> <p>D. Contractor is solely responsible for verifying and protecting buried and overhead utilities and other sub-surface improvements that may be within the construction area.</p> <p>E. Excavation includes necessary shaping in conformance with the grades shown on the plans.</p> <p>F. Notify Engineer if field tile are encountered during construction.</p> <p>G. The excavation of the wetland mitigation area will produce approximately 11,750 CY of excess soil that will be stockpiled on-site at the location shown on Sheet D.03</p> <p>H. Protect existing trees during construction activities, as noted on Sheets D.01 and D.02.</p> <p>I. Following final grading, the area below the 804.0 contour within Basin A, as shown on Sheet D.02, must cover at least 1.50 acres. The area below the 804/805 contour in Basin B, as shown on Sheets D.01 and D.02 must cover 2.80 acres, and the area below the 805.0 contour in Basin C, as shown on Sheet D.01, must cover 3.20 acres.</p> <p>J. Payment will be based on plan quantity. Contractor is responsible for verifying the accuracy of plan quantities prior to bidding and for raising questions or objections that may thereby arise.</p>
3		<p><b>CLASS E REVETMENT STONE</b></p> <p>A. Refer to Plan Sheets D.01 and D.02 for revetment locations.</p> <p>B. Bid item includes the following quantities: 425 Tons Class E Revetment per Iowa DOT Standard Specification Section 4130.</p> <p>C. Class E Revetment installation will be conducted in accordance with Division 9 - Section 9040 of SUDAS.</p> <p>D. Revetment will be installed to create four outlets shown on Sheets D.01 and D.02. Revetment shall be placed at a depth of approximately 12-inches. Filter fabric shall be placed beneath the revetment and is incidental to the revetment installation.</p> <p>E. The top of the revetment outlets shall be placed at an elevation of 804.0 feet in Basin A and the east side of Basin B, and 805.0 feet on the west side of Basin B and in Basin C.</p> <p>F. Contractor will provide the Engineer documentation of revetment quantities delivered to the project site. Payment for revetment will be based on certified weigh tickets.</p>
4		SEED - BUFFER SEED MIX
5		SEED - EMERGENT SEED MIX
6		SEED - WET MEADOW MIX
7		SEED - RURAL TEMPORARY SEED MIX
		<p>A. See Sheets EC.02 and EC.03 for the location and limits of the seed mixtures.</p> <p>B. Bid item includes the following quantities: 1.6 acres of Buffer Seed Mix 1.2 acres of Emergent Seed Mix 7.6 acres of Wet Meadow Seed Mix 11.8 acres of Temporary Seed Mix - 1.4 acres for seeding of Stockpile + 10.4 acres as necessary.</p>

**ESTIMATE REFERENCE INFORMATION**

Item No.	Item Code	Description																																																																																										
		<p>C. Bid item includes seedbed preparation, seeding, maintaining and watering as specified in Division 9 Section 9010 of the SUDAS Urban Standard Specifications.</p> <p>D. The Buffer Seed Mix shall be planted on disturbed areas outside of the wetland mitigation area, as shown on Sheets EC.02 and EC.03.</p> <p>E. The Emergent Seed Mix shall be planted on all areas below the elevation of 803 feet in Basin A and the East side of Basin B, and below the elevation of 804.0 feet in the West side of Basin B and in Basin C, as shown on Sheets EC.02 and EC.03.</p> <p>F. The Wet Meadow Seed Mix shall be planted in all other areas, as shown on Sheets EC.02 and EC.03.</p> <p>G. Up to three species from each of the Buffer, Emergent and Wet Meadow Seed Mixes may be omitted to accommodate supplier availability.</p> <p>H. Seeding shall not occur until the as-constructed contours of the mitigation area are surveyed by the Contractor and the contours are confirmed by the Engineer.</p> <p>I. Seeding dates will comply with SUDAS Wetland seeding dates (April 1 to June 30) and with SUDAS Native Grass and Forbs seeding dates (April 1 to June 30).</p> <p>J. If seeding cannot be completed within the SUDAS seeding dates, temporary seed will be planted as necessary to comply with the SWPPP. Type 5 (Rural Temporary Erosion Control Mixture), as specified in Division 9 of SUDAS, shall be used for temporary seeding. If temporary seeding is conducted, the area will later be replanted with the seed mix specified on Sheets EC.02 and EC.03. Mulching of the temporary seeding will be considered incidental to the bid item.</p> <p>K. If the mitigation site is submerged, the Contractor shall dewater the site prior to seeding. Dewatering shall be considered incidental to the bid item.</p> <p>L. Type 5, Rural Temporary Erosion Control Mixture shall be planted on the stockpile following placement of excess excavated material. Stockpile area is 1.4 acres.</p> <p>M. Mulch material shall be incidental to Seeding and shall comply with Section 9010-2.07 of the SUDAS Standard Specifications.</p> <p>N. All seed will be source-identified as G-0 Iowa certified yellow tag, per SUDAS. All substitutions must have prior approval by the Engineer.</p> <p>O. Seed delivered to the job site shall be labeled according to the U.S. Department of Agriculture Federal Seed Act. Seed shall be furnished in containers with tags showing seed mixture, purity, germination, weed content, name of seller, and date on which seed was tested. Moldy seed or seed that has been damaged in storage shall not be used. Use previous season seed crop only.</p> <p>P. Contractor will provide the Engineer documentation of seed quantities delivered to the project site and copies of all seed tags.</p> <p>Q. Mowing shall not be performed after permanent seeding without permission from the Engineer.</p> <p>R. Provide a full, healthy stand of seeded vegetation in accordance with the specification. Over-seed, slit-seed, or re-seed any finished areas that do not establish vegetation per the specifications. Any such re-seeding work is considered incidental.</p> <p>S. Fertilizer shall not be applied to the Emergent and Wet Meadow areas.</p> <p>T. Pure Live Seed per pound (PLS/lb) = (% purity/100) x (% germination/100) Actual pounds of seed per acre = lbs PLS per acre/(PLS/lb)</p> <p>U. Payment will be based on plan quantity.</p>																																																																																										
		<table border="1"> <thead> <tr> <th>Buffer Seed Mix Species</th> <th>Common Name</th> <th>Seeding Rate</th> </tr> </thead> <tbody> <tr> <td>Certified Oats</td> <td>Oats</td> <td>0.50 bu/acre</td> </tr> <tr> <td>Anemone canadensis</td> <td>Canada Anemone</td> <td>0.50 oz PLS/acre</td> </tr> <tr> <td>Asclepias syriaca</td> <td>Common Milkweed</td> <td>1.00 lbs PLS/acre</td> </tr> <tr> <td>Asclepias tuberosa</td> <td>Butterfly Milkweed</td> <td>1.00 oz PLS/acre</td> </tr> <tr> <td>Aster novae-angliae</td> <td>New England Aster</td> <td>0.30 oz PLS/acre</td> </tr> <tr> <td>Astragalus canadensis</td> <td>Canada Milkvetch</td> <td>0.10 oz PLS/acre</td> </tr> <tr> <td>Baptisia lactea</td> <td>White False Indigo</td> <td>0.50 oz PLS/acre</td> </tr> <tr> <td>Bouteloua curtipendula</td> <td>Sideoats Grama</td> <td>6.00 lbs PLS/acre</td> </tr> <tr> <td>Chaemacrista fasciculata</td> <td>Partridge Pea</td> <td>0.50 oz PLS/acre</td> </tr> <tr> <td>Coreopsis palmata</td> <td>Prairie Coreopsis</td> <td>1.00 oz PLS/acre</td> </tr> <tr> <td>Dalea purpurea</td> <td>Purple Prairie-Clover</td> <td>0.70 oz PLS/acre</td> </tr> <tr> <td>Echinacea pallida</td> <td>Pale Purple Coneflower</td> <td>0.25 oz PLS/acre</td> </tr> <tr> <td>Elymus canadensis</td> <td>Canada Wild-rye</td> <td>0.50 lbs PLS/acre</td> </tr> <tr> <td>Elymus virginicus</td> <td>Virginia Wild-rye</td> <td>0.50 lbs PLS/acre</td> </tr> <tr> <td>Eryngium yuccifolium</td> <td>Rattlesnake Master</td> <td>2.00 oz PLS/acre</td> </tr> <tr> <td>Helianthus rigida (latefolius)</td> <td>Rigid Sunflower</td> <td>0.25 oz PLS/acre</td> </tr> <tr> <td>Lespedeza capitata</td> <td>Roundheaded Bushlover</td> <td>2.00 oz PLS/acre</td> </tr> <tr> <td>Liatris aspera</td> <td>Prairie Blazing Star</td> <td>2.00 oz PLS/acre</td> </tr> <tr> <td>Lobelia siphilitica</td> <td>Great Blue Lobelia</td> <td>0.50 oz PLS/acre</td> </tr> <tr> <td>Potentilla arguta</td> <td>Prairie Cinquefoil</td> <td>0.10 oz PLS/acre</td> </tr> <tr> <td>Ratibida pinnata</td> <td>Gray-headed Coneflower</td> <td>1.50 oz PLS/acre</td> </tr> <tr> <td>Rosa sp. (arkansana)</td> <td>Prairie Wild Rose</td> <td>1.00 oz PLS/acre</td> </tr> <tr> <td>Rudbeckia hirta</td> <td>Black-eyed Susan</td> <td>2.00 oz PLS/acre</td> </tr> <tr> <td>Schizachyrium scoparium</td> <td>Little Bluestem</td> <td>6.00 lbs PLS/acre</td> </tr> <tr> <td>Silphium laciniatum</td> <td>Compass Plant</td> <td>2.00 oz PLS/acre</td> </tr> <tr> <td>Solidago rigida</td> <td>Rigid Goldenrod</td> <td>0.70 oz PLS/acre</td> </tr> <tr> <td>Spartina pectinata</td> <td>Prairie Cordgrass</td> <td>0.50 lbs PLS/acre</td> </tr> <tr> <td>Sporobolus heterolepis</td> <td>Prairie Dropseed</td> <td>1.00 lbs PLS/acre</td> </tr> <tr> <td>Tradescantia bracteata</td> <td>Prairie Spiderwort</td> <td>1.00 oz PLS/acre</td> </tr> </tbody> </table>	Buffer Seed Mix Species	Common Name	Seeding Rate	Certified Oats	Oats	0.50 bu/acre	Anemone canadensis	Canada Anemone	0.50 oz PLS/acre	Asclepias syriaca	Common Milkweed	1.00 lbs PLS/acre	Asclepias tuberosa	Butterfly Milkweed	1.00 oz PLS/acre	Aster novae-angliae	New England Aster	0.30 oz PLS/acre	Astragalus canadensis	Canada Milkvetch	0.10 oz PLS/acre	Baptisia lactea	White False Indigo	0.50 oz PLS/acre	Bouteloua curtipendula	Sideoats Grama	6.00 lbs PLS/acre	Chaemacrista fasciculata	Partridge Pea	0.50 oz PLS/acre	Coreopsis palmata	Prairie Coreopsis	1.00 oz PLS/acre	Dalea purpurea	Purple Prairie-Clover	0.70 oz PLS/acre	Echinacea pallida	Pale Purple Coneflower	0.25 oz PLS/acre	Elymus canadensis	Canada Wild-rye	0.50 lbs PLS/acre	Elymus virginicus	Virginia Wild-rye	0.50 lbs PLS/acre	Eryngium yuccifolium	Rattlesnake Master	2.00 oz PLS/acre	Helianthus rigida (latefolius)	Rigid Sunflower	0.25 oz PLS/acre	Lespedeza capitata	Roundheaded Bushlover	2.00 oz PLS/acre	Liatris aspera	Prairie Blazing Star	2.00 oz PLS/acre	Lobelia siphilitica	Great Blue Lobelia	0.50 oz PLS/acre	Potentilla arguta	Prairie Cinquefoil	0.10 oz PLS/acre	Ratibida pinnata	Gray-headed Coneflower	1.50 oz PLS/acre	Rosa sp. (arkansana)	Prairie Wild Rose	1.00 oz PLS/acre	Rudbeckia hirta	Black-eyed Susan	2.00 oz PLS/acre	Schizachyrium scoparium	Little Bluestem	6.00 lbs PLS/acre	Silphium laciniatum	Compass Plant	2.00 oz PLS/acre	Solidago rigida	Rigid Goldenrod	0.70 oz PLS/acre	Spartina pectinata	Prairie Cordgrass	0.50 lbs PLS/acre	Sporobolus heterolepis	Prairie Dropseed	1.00 lbs PLS/acre	Tradescantia bracteata	Prairie Spiderwort	1.00 oz PLS/acre
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NO	DATE	BY	REVISION DESCRIPTION





PROJECT NO: 13J019.01  
 PROJECT DATE: 8/20/16  
 CAD DATE: 8/17/2016 2:11:41 PM  
 CAD FILE: c:\pw\_workdir\pw\_te\jpr3\vdms07578\13J019-01\_003.sht

DESIGNED BY: J.ROKKE  
 CHECKED BY: E.MORITZ  
 DRAWN BY: J.ROKKE

NO	DATE	BY	REVISION DESCRIPTION



GREENWOOD HILLS GREENBELT  
 WETLAND MITIGATION  
 JOHNSTON, IA

PROPOSED WETLAND MITIGATION  
 STOCKPILE LOCATION

SHEET NO.

D.03

### POLLUTION PREVENTION PLAN

This Base PPP includes information on Roles and Responsibilities, Project Site Description, Controls, Maintenance Procedures, Inspection Requirements, Non-Storm Water Controls, Potential Sources of Off Right-of-Way Pollution, and Definitions. This plan references other documents rather than repeating the information contained in the documents. A copy of this Base Pollution Prevention Plan, amended as needed per plan revisions or by contract modification, will be readily available for review.

All contractors shall conduct their operations in a manner that controls pollutants, minimizes erosion, and prevents sediments from entering waters of the state and leaving the highway right-of-way. The prime contractor shall be responsible for compliance and implementation of the PPP for their entire contract. This responsibility shall be further shared with subcontractors whose work is a source of potential pollution as defined in this PPP.

#### I. ROLES AND RESPONSIBILITIES

- A. Designer:
  1. Prepares Base PPP included in the project plan.
  2. Prepares and publishes the Public Notice of Stormwater Discharge.
- B. Contractor/Subcontractor:
  1. Prepares Notice of Intent (NOI) and submits to Iowa DNR.
  2. Signature Authority on the Base PPP and NOI.
  3. Affected contractors/subcontractors are co-permittees with the general contractor and will sign a certification statement adhering to the requirements of the NPDES permit and this PPP plan. Affected contractors/subcontractors are anyone responsible for sediment or erosion controls or involved in land disturbing activities. All co-permittees are legally required under the Clean Water Act and the Iowa Administrative Code to ensure compliance with the terms and conditions of this PPP.
  4. Prepares Final PPP.
  5. Submit a detailed schedule and any additional plan notes.
  6. Supervise and implement good housekeeping practices.
  7. Conduct joint required inspections of the site with inspection staff.
  8. Signature authority on Co-Permittee Certification Statements and storm water inspection reports.
  9. Update PPP whenever there is a change in design, construction, operation or maintenance, which has a significant effect on the discharge of pollutants from the project.
  10. Maintain an up-to-date list that identifies contractors and subcontractors as co-permittees.
  11. Make these plans available to the DNR upon their request.
  12. Complete an inspection report after each inspection.
  13. Signature authority on storm water inspection reports and Notice of Discontinuation (NOD).
- C. RCE/Inspector:
  1. Conduct joint required inspections of the site with the contractor/subcontractor.

#### II. PROJECT SITE DESCRIPTION

- A. This Pollution Prevention Plan (PPP) is for the construction of the Greenwood Hills Greenbelt Wetland Mitigation in Johnston, IA.
- B. This PPP covers approximately 13.0 acres with an estimated 11.8 acres being disturbed. The portion of the PPP covered by this contract has 11.8 acres disturbed.
- C. The PPP is located in an area of Spillville-Coland complex soil association (Type B). The estimated weighted average runoff coefficient number for this PPP after completion will be 58.
- D. Storm Water Site Map - Multiple sources of information comprise the base storm water site map including:
  1. Drainage patterns - Plan and Profile sheets and Situation plans.
  2. Proposed Slopes - Cross Sections.
  3. Areas of Soil Disturbance - construction limits shown on Plan and Profile sheets.
  4. Location of Structural Controls - Tabulations on C sheets.
  5. Locations of Non-structural Controls - Tabulations on C sheets.
  6. Locations of Stabilization Practices - generally within construction limits shown on Plan and Profile sheets.
  7. Surface Waters (including wetlands) - Project Location Map and Plan and Profile sheets.
  8. Locations where storm water is discharged - Plan and Profile sheets.
- E. The base site map is amended by contract modifications and progress payments (fieldbook entries) of completed erosion control work. Also, due to project phasing, erosion and sediment controls shown on project plans may not be installed until needed, based on site conditions. For example, silt fence ditch checks will typically not be installed until the ditch has been installed. Installed locations may also be modified from tabulation locations by field staff. Installed locations will be documented by fieldbook entries.
- F. Runoff from this work will flow into unnamed ditches and waterways of Beaver Creek.

#### III. CONTROLS

- A. The contractor's ECIP specified in Article 2602.03 for accomplishment of storm water controls should clearly describe the intended sequence of major activities and for each activity define the control measure and the timing during the construction process that the measure will be implemented.
- B. Preserve vegetation in areas not needed for construction.
- C. Sections 2601 and 2602 of the Standard Specifications define requirements to implement erosion and sediment control measures. Actual quantities used and installed locations may vary from the Base PPP and amendment of the plan will be documented via fieldbook entries or by contract modification. Additional erosion and sediment control items may be required as determined by the inspector and/or contractor during storm water monitoring inspections. If the work involved is not applicable to any contract items, the work will be paid for according to Article 1109.03 paragraph B.
  1. EROSION AND SEDIMENT CONTROLS
    - a. Stabilization Practices
      - 1) Site plans will ensure that existing vegetation or natural buffers are preserved where attainable and disturbed portions of the site will be stabilized.
      - 2) Stabilization practices shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased.
      - 3) Temporary stabilizing seeding shall be completed as the disturbed areas are constructed. If construction activity is not planned to occur in a disturbed area for at least 21 days, the area shall be stabilized by temporary seeding or mulching within 14 days.
      - 4) Permanent and Temporary Stabilization practices to be used for this project are located in the Estimated Project Quantities (100-0A, 100-1A, or 100-1C) and Estimate Reference Information (100-4A) located on the C sheets of the plan. Typical drawings detailing construction of the practices to be used on this project are referenced in the Standard Road Plans Tabulation.
    - b. Structural Practices
      - 1) Structural practices will be implemented to divert flows from exposed soils and detain or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Additionally, structural practices may include: silt basins that provide 3600 cubic feet of storage per acre drained or equivalent sediment controls, outlet structures that withdraw water from surface when discharging basins, and controls to direct storm water to vegetated areas.

### POLLUTION PREVENTION PLAN

2) Structural practices to be used for this project are located in the Estimated Project Quantities (100-0A, 100-1A, or 100-1C) and Estimate Reference Information (100-4A) located on the C sheets of the plan, as well as all other item specific Tabulations. Typical drawings detailing construction of the devices to be used on this project can be found on the B sheets of the plans or are referenced in the Standard Road Plans Tabulation.

- c. Storm Water Management
  - 1) Measures shall be installed during the construction process to control pollutants in storm water discharges that will occur after construction operations have been completed. The installation of these devices may be subject to Section 404 of the Clean Water Act.
- 2. OTHER CONTROLS
  - a. Contractor disposal of unused construction materials and construction material wastes shall comply with applicable state and local waste disposal, sanitary sewer, or septic system regulations. In the event of a conflict with other governmental laws, rules and regulations, the more restrictive laws, rules or regulations shall apply.
    - 1) Vehicle Entrances and Exits - Construct and maintain entrances and exits to prevent tracking of sediments onto roadways.
    - 2) Material Delivery, Storage and Use - Implement practices to prevent discharge of construction materials during delivery, storage, and use.
    - 3) Stockpile Management - Install controls to reduce or eliminate pollution of storm water from stockpiles of soil and paving.
    - 4) Waste Disposal - Do not discharge any materials, including building materials, into waters of the state, except as authorized by a Section 404 permit.
    - 5) Spill Prevention and Control - Implement procedures to contain and clean-up spills and prevent material discharges to the storm drain system and waters of the state.
    - 6) Concrete Residuals and Washout Wastes - Designate temporary concrete washout facilities for rinsing out concrete trucks. Provide directions to truck drivers where designated washout facilities are located. Designated washout areas should be located at least 50 feet away from storm drains, streams or other water bodies. Care should be taken to ensure these facilities do not overflow during storm events.
    - 7) Concrete Grooving/Grinding Slurry - Do not discharge slurry to a waterbody or storm drain. Slurry may be applied on foreslopes or removed from the project.
    - 8) Vehicle and Equipment Storage and Maintenance Areas - Perform on site fueling and maintenance in accordance with all environment laws such as proper storage of onsite fuels and proper disposal of used engine oil or other fluids on site. Employ washing practices that prevent contamination of surface and ground water from wash water.
    - 9) Litter Management - Ensure employees properly dispose of litter.
    - 10) Dewatering - Properly treat water to remove suspended sediment before it re-enters a waterbody or discharges off-site. Measures are also to be taken to prevent scour erosion at dewatering discharge point.
  - 3. APPROVED STATE OR LOCAL PLANS
 

During the course of this construction, it is possible that situations will arise where unknown materials will be encountered. When such situations are encountered, they will be handled according to all federal, state, and local regulations in effect at the time.

#### IV. MAINTENANCE PROCEDURES

The contractor is required to maintain all temporary erosion and sediment control measures in proper working order, including cleaning, repairing, or replacing them throughout the contract period. This shall begin when the features have lost 50% of their capacity.

#### V. INSPECTION REQUIREMENTS

- A. Inspections shall be made jointly by the contractor and the contracting authority at least once every seven calendar days. Storm water monitoring inspections will include:
  1. Date of the inspection.
  2. Summary of the scope of the inspection.
  3. Name and qualifications of the personnel making the inspection.
  5. Review erosion and sediment control measures within disturbed areas for the effectiveness in preventing impacts to receiving waters.
  6. Major observations related to the implementation of the PPP.
  7. Identify corrective actions required to maintain or modify erosion and sediment control measures.
- B. Include storm water monitoring inspection reports in the Amended PPP. Incorporate any additional erosion and sediment control measures determined as a result of the inspection. Immediately begin corrective actions on all deficiencies found within 3 calendar days of the inspection.

#### VI. NON-STORM WATER DISCHARGES

This includes subsurface drains (i.e. longitudinal and standard subdrains) and slope drains. The velocity of the discharge from these features may be controlled by the use of patio blocks, Class A stone, erosion stone or other appropriate materials. This also includes uncontaminated groundwater from dewatering operations, which will be controlled as discussed in Section III of the PPP.

#### VII. POTENTIAL SOURCES OF OFF RIGHT-OF-WAY (ROW) POLLUTION

Silts, sediment, and other forms of pollution may be transported onto highway right-of-way (ROW) as a result of a storm event. Potential sources of pollution located outside highway ROW are beyond the control of this PPP. Pollution within highway ROW will be conveyed and controlled per this PPP.

#### VIII. DEFINITIONS

- A. Base PPP - Initial Pollution Prevention Plan.
- B. Amended PPP - May include Plan Revisions or Contract Modifications for new items, storm water monitoring inspection reports, and fieldbook entries made by the inspector.
- C. IDR - Inspector's Daily Report - this contains the inspector's daily diary and bid item postings.
- D. Controls - Methods, practices, or measures to minimize or prevent erosion, control sedimentation, control storm water, or minimize contaminants from other types of waste or materials. Also called Best Management Practices (BMPs).
- E. Signature Authority - Representative from Designer, Contractor/Subcontractor, or RCE/Inspector authorized to sign various storm water documents.

#### CERTIFICATION STATEMENT

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Signature

PROJECT NO:	13J019-01	DESIGNED BY:	J.ROKKE
PROJECT DATE:	JUNE 2016	CHECKED BY:	E.MORITZ
CAD DATE:	7/29/2016 9:59:09 AM	DRAWN BY:	J.ROKKE
CAD FILE:	c:\gw_work\1919\1919\1919\1919-01_EC01_SHT.dwg		

NO	DATE	BY	REVISION DESCRIPTION

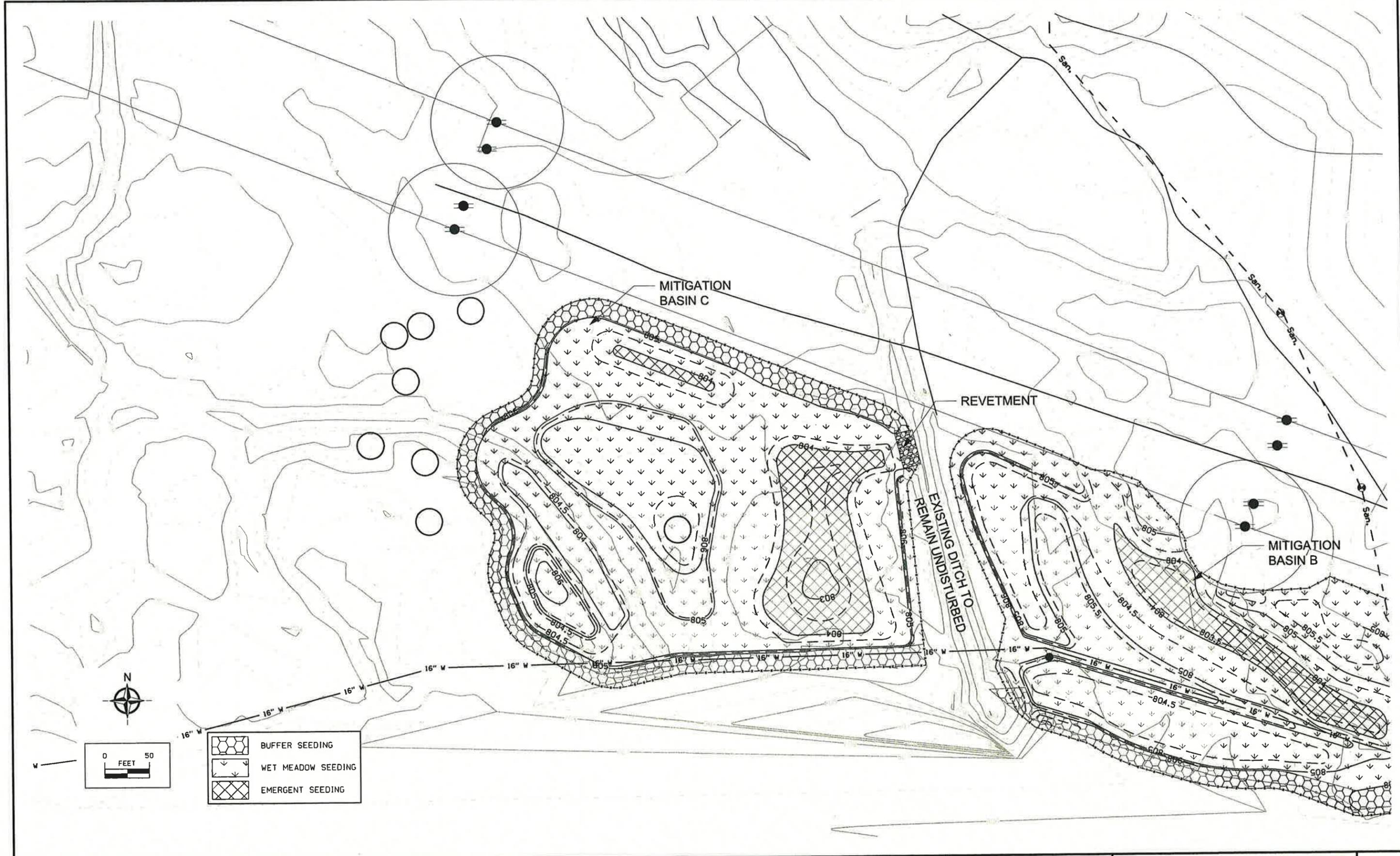


GREENWOOD HILLS GREENBELT  
WETLAND MITIGATION  
JOHNSTON, IA

GREENWOOD HILLS GREENBELT  
POLLUTION PREVENTION PLAN

SHEET NO.

EC.01



PROJECT NO: 13J019.01      DESIGNED BY: J.ROKKE  
 PROJECT DATE: 8/20/16      CHECKED BY: E.MORITZ  
 CAD DATE: 8/17/2016 2:11:58 PM      DRAWN BY: J.ROKKE  
 CAD FILE: c:\pworkdir\pwork\jpr3\vdms07578\13J019-01\_EC02.sht.dgn

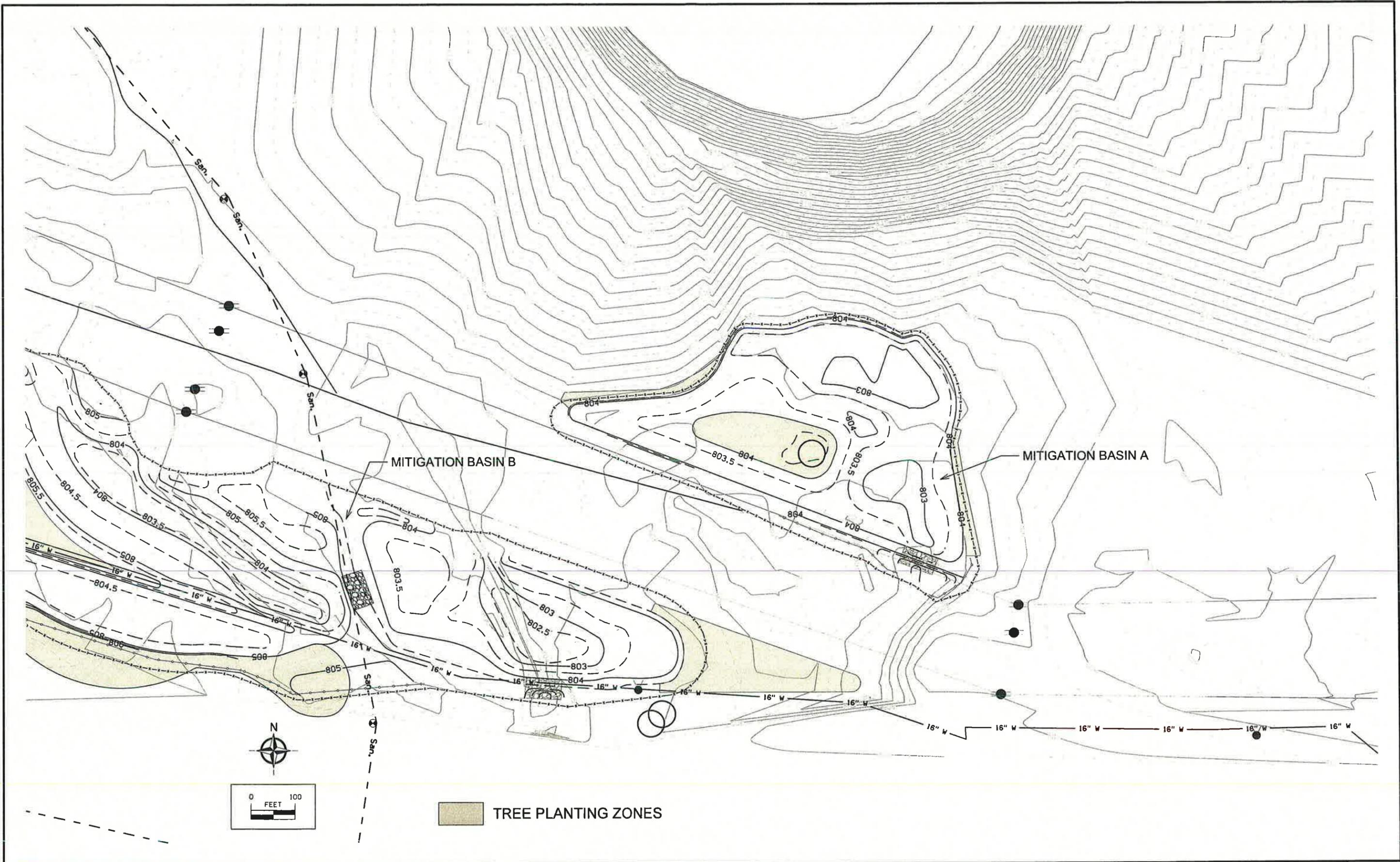
NO	DATE	BY	REVISION DESCRIPTION



**GREENWOOD HILLS GREENBELT  
 WETLAND MITIGATION**  
 JOHNSTON, IA

**PROPOSED WETLAND MITIGATION  
 SEEDING**

SHEET NO.  
**EC.02**



PROJECT NO: 13J019.01  
 PROJECT DATE: 8/20/16  
 CAD DATE: 8/17/2016 2:12:37 PM  
 CAD FILE: c:\pwworkdir\p\_w\_l\pr3\dms07578\13J019-01.LS02.sht

DESIGNED BY: J.ROKKE  
 CHECKED BY: E.MORITZ  
 DRAWN BY: J.ROKKE

NO	DATE	BY	REVISION DESCRIPTION



GREENWOOD HILLS GREENBELT  
 WETLAND MITIGATION  
 JOHNSTON, IA

PROPOSED WETLAND MITIGATION  
 TREE PLANTING PLAN

SHEET NO.  
 LS.02

1. CALL TO ORDER

Mayor Dierenfeld called the meeting to order at 6:02 p.m.

2. ROLL CALL

Present: Lindeman, Brown, Cope, Temple

Absent: Clabaugh

3. JOHNSTON PUBLIC LIBRARY ANNUAL REPORT FOR FISCAL YEAR 2016

Library Board President Kelly McAlister presented the Fiscal Year 2016, Johnston Public Library Annual Report. The report is available on the website. The report demonstrated a 51% increase over the past decade, along with 16 checkouts per citizen to name a few items included in the report. City Administrator James Sanders expressed some surprise that electronic materials only account for less than 5% overall of the items utilized by patrons in circulation, but that it does emphasize the value of libraries to communities when over 95% of materials are still hard copy circulation items. Councilmember Cope thanked the Board and Library Staff for their efforts.

4. DISCUSS MERLE HAY ROAD GATEWAY LANDSCAPE IMPROVEMENT PROJECT

Planning and Development Director David Wilwerding introduced the item: the subcommittee met and discussed a variety of items. The first item discussed was reducing the overall clearing area to approximately 4.7 acres, which would also reduce the overall project cost considerably. Another main point of discussion revolved around should we clear now not knowing what use may be there including the potential desire for a wooded landscape, or will we lose an opportunity by not having it cleared ahead of time. Foth can conduct a flyover with their drone and create some 3D imagery and work that would show what the area could look like. The committee recommended moving forward with the flyover and not proceeding with the clearing at this point. The cost of the video work will be approximately \$7,900 which can be absorbed through the project based on other efficiencies.

Sanders mentioned Des Moines Water Works will be conducting the main project at a later time and is off the table in the near immediate future. Councilmember Cope stated that as part of the Committee we are assuming the developer would like clear site lines, but a future developer may want to retain trees and therefore, this option Foth Engineering is providing is prudent at this time as it gives us the ability to aggressively market the location without any unnecessary clearing at this time. Councilmember Brown stated that he appreciated all the efforts especially reducing the clearing area.

Mayor Dierenfeld stated that the technology will provide some options and allow the City to conduct further due diligence. The Mayor also thanked Virginia and Rhonda for their comments and the balancing of the need to retain trees while seeing the area develop.

5. DISCUSS POTENTIAL SITE IMPROVEMENTS FOR 5015 JOHNSTON DRIVE

Planner Clayton Ender introduced this item: Ender stated that Tom Connolly is proposing some development on lots 1 and 2, with 3 and 4 being used for future development and that he would like to discuss in particular the 60 foot buffer requirement. Connolly would like to use some of the buffer area for outdoor storage and parking. Without that it greatly reduces the space and what can be done on this property. The powerlines already impedes the site to the north of the property and use of available space.

The homes directly to the north have horses and the properties are zoned for such. Staff are supportive of the buffer and Connolly is looking for feedback from the Council. The proposal is to reduce the buffer to 10 feet which will consist of landscaping and chain link fence.

Councilmember Cope stated that he was ok with it especially with the limitations of the power lines and the corner is ready for development, but had questions on the landscape requirements and what would be utilized on the reduced buffer area. Mayor Dierenfeld stated that the proposal makes sense.

As there was time remaining, the following items were moved from the regular agenda to the Worksession:

10. CITY ADMINISTRATOR COMMENTS

None

11. CITY COUNCIL COMMENTS

Temple stated that Fareway was receiving a lot of traffic and Mayor Dierenfeld mentioned a line at the door at 7:00 a.m. on the day of the ribbon cutting, including overflow parking at city hall. Cope said he spoke with reps who had all good things to say about City staff. Dierenfeld reminded homecoming is this week and that there will be the parade on Thursday. The Mayor also mentioned Art in the Barn this Friday from 5:30 – 8:30 p.m. and the Mayor’s Run for Trails on October 22<sup>nd</sup>.

Sanders suggested driving by Terra Lake to see the beautiful shelter. There was an update on the road projects.

Phil Dunshee with JEDCO mentioned the October 12<sup>th</sup> bust tours of the NW 62<sup>nd</sup> Avenue corridor, Terra Park, and Johnston High School

The meeting adjourned at 6:42 p.m.

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Paula S. Dierenfeld, Mayor

ATTEST:

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Cyndee Rhames, City Clerk

1. CALL TO ORDER

Mayor Dierenfeld called the meeting to order at 7:02 p.m.

2. ROLL CALL

Present: Lindeman, Brown, Cope, Temple  
Absent: Clabaugh

3. WELCOME

Mayor Dierenfeld welcomed residents and guests to the meeting.

4. PLEDGE OF ALLEGIANCE

The Johnston Little League All Stars who were the U.S. Midwest Region's representative at the International Little League World Series in Williamsport Pennsylvania, led the Pledge of Allegiance.

5. AGENDA APPROVAL

Motion Lindeman, which was seconded by Temple to approve the agenda.

ROLL CALL: Aye: Brown, Cope, Temple, Lindeman  
Nay: None  
Motion Approved: 4-0

6. PUBLIC COMMUNICATIONS

- a. Proclamation - Recognition of the Johnston Little League All Star Team for its Little League World Series Achievements
- b. Police Department Commendations: Officer Jeremy Christensen, Letter of Appreciation; Officer Adam Criswell, Meritorious Service Award; Officer Anthony Yeager, Letter of Appreciation; Sergeant Jessica Jensen, Life Saving Award  
Chief Dennis McDaniel provided some background on each of the incidents and summarized the officers' actions leading to the awards.
- c. Promotion and Oath of Office for Police Lieutenant Tyler Tompkins  
Chief Dennis McDaniel provided background on Lieutenant Tompkins career with the City. Mayor Dierenfeld swore in Lieutenant Tompkins by administering the Oath of Office and his family participated in the pinning.

7. PUBLIC HEARINGS

- a. Conduct a Public Hearing and Consider the Following Items related to the Proposed Rezoning of the Simpson Property Containing Approximately 63 Acres on the Southwest Corner of NW 70<sup>th</sup> Avenue and NW 86<sup>th</sup> Street:
  - i. Consider Resolution No. 16-195 – Approving a Development Agreement with Simpson Enterprises, Inc. (Pursuant to Chapter 414 of Iowa Code, Action on this Item must Occur Prior to Close of the Public Hearing);
  - ii. Consider Resolution No. 16-196 – Approving an Amendment to the Johnston 2030 Comprehensive Plan's Future Land Use Map;
  - iii. Consider First Reading of Ordinance 950 – Approving An Official Zoning Map Amendment from A-R Agriculture Reserve District to R-1(75) Single-Family Residential District, C-2 Community Retail Commercial District, PC Professional Commerce Park District, and R-3 Medium Density Multiple Family Residential District

The Public Hearing opened at 7:32 p.m.

Planner Clayton Ender introduced the item and provided background related to proposed rezoning. Ender stated that the request for rezoning was initiated by Simpson Enterprises. The proposal is

subject to a development agreement should the Council approve the request. An amendment to the Future Land Use Map would be required based on this request if approved. The proposed amendment would result in low density residential (LDR) being increased from under an acre to a little over five acres, with medium density residential (MDR), and Office being decreased and 18.74 acres of Commercial being added, along with some changes to water way and future roads. The site is zoned AR – Agriculture Reserved, which is designed to protect the land until it shall become developed.

Proper notices went out including signs and publication in DM Register, website, and individual mailings, in addition the applicant held a neighborhood meeting. Staff have not received any comments from the public to date. Planning and Zoning Commission have recommended approval as well.

Motion by Lindeman, which was seconded by Cope to approve Resolution No. 16-195.

ROLL CALL:                   Aye: Cope, Temple, Lindeman, Brown  
                                      Nay: None

Motion Approved:                   4-0

The Public Hearing closed at 7:40 p.m. with no public comment or any issues noted from the Council or Mayor.

Motion by Lindeman, which was seconded by Cope to approve Resolution No. 16-196.

ROLL CALL:                   Aye: Temple, Lindeman, Brown, Cope  
                                      Nay: None

Motion Approved:                   4-0

Motion by Cope, which was seconded by Lindeman to approve First Consideration of Ordinance No. 950.

ROLL CALL:                   Aye: Lindeman, Brown, Cope, Temple  
                                      Nay: None

Motion Approved:                   4-0

## 8. CONSENT AGENDA

- a. Consider Minutes of September 6, 2016, Worksession
- b. Consider Minutes of September 6, 2016, Council Meeting
- c. Authorization for the Police Chief to Accept Award, Terms and Conditions of a Traffic Safety Grant for Federal Fiscal Year 2017, from the Iowa Governor's Traffic Safety Bureau
- d. Authorization for Out-of-State Travel for Detective Ryan Hanssen to Attend Gracie Survival Tactics instructor certification course in Livingston, Michigan, October 31- November 4, 2016
- e. Consider Resolution No. 16-200 – Approving the Street Finance Report for Fiscal Year 2015/2016 for the City of Johnston
- f. Consider Amendment No. 1 to the Agreement for Professional Services with Foth Infrastructure and Environment for the Merle Hay Road Gateway Permitting Project
- g. Consider Approval of a Purchase Order to Kingston Services in the Amount of \$23,775 for Concrete for the Playground at Crosshaven Park
- h. Consider Resolution No. 16-198 – Approving Change Order No. 2 for Masonry Veneer Adjustments for the Terra Park Project, Phase 3
- i. Consider Amending the Agreement with Unite Private Networks (UPN) to Provide the City with Internet Services
- j. Consider Resolution No. 16-203 – Appointing James Clark as Fire Chief, and Establishing Annual Salary
- k. Consider Approval of Pay Request No. 12 to Manatt's Inc., in the Amount of \$616,934.47 for Work Completed as of September 12, 2016, on the NW 100<sup>th</sup> Street Reconstruction Project
- l. Consider Approval of Pay Request No. 9 to Rognes Corporation in the Amount of \$106,211.66 for Work Completed as of September 8, 2016, on E of Merle Hay Road NW 60h Ave Improvements Project – Phase 4A
- m. Consider Resolution No. 16-201 – A Resolution Approving Change Order No. 6 for the Johnston Community Fiber Optic Phase III Project



count the previous trees removed, but stated that the developer must meet the remediation plan. Ender also mentioned that boundaries are a civil issue to be worked out between the interested parties.

Brad Cooper of 475 South 50<sup>th</sup> in West Des Moines (Cooper Crawford Engineers) spoke and apologized for the confusion related to the area. Cooper stated that their grading plan maintains storm water detention and that they saved all the trees they could.

Mike Wakeman of 4844 Rose Circle was not as concerned with the trees as concern about the runoff going into the sewer system. He would also like notice when work begins in the area where he has constructed a fence in the easement area. Ender and the developer noted that neighbors would be notified.

Motion by Cope, which was seconded by Brown to approve Resolution No. 16-186.

ROLL CALL: Aye: Lindeman, Brown, Cope, Temple

Nay: None

Motion Approved: 4-0

- c. Consider approval of Claims in the amount of \$2,326,916.84

Motion by Cope, which was seconded by Temple to approve Claims as presented.

ROLL CALL: Aye: Brown, Cope, Temple, Lindeman

Nay: None

Motion Approved: 4-0

10. CITY ADMINISTRATOR/STAFF COMMENTS

Covered during the Worksession

11. CITY COUNCIL COMMENTS

Covered during the Worksession

12. UPCOMING MEETINGS

October 3, 2016	City Hall	Worksession 6:00 p.m. Meeting 7:00 p.m.
October 17, 2016	City Hall	Worksession 6:00 p.m. Meeting 7:00 p.m.

13. ADJOURNMENT

The meeting adjourned at 8:00 p.m.

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Paula S. Dierenfeld, Mayor

ATTEST:

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Cyndee Rhames, City Clerk

OFFICE OF THE CITY ADMINISTRATOR

Johnston, Iowa  
AGENDA COMMUNICATION  
October 3, 2016 Meeting

<b>SUBJECT:</b> Consider Resolution No. 16-209 - Approving Hiring of Youth Services Librarian and establishing wages at Johnston Public Library	<b>ACTION:</b> <input type="checkbox"/> Ordinance <input checked="" type="checkbox"/> Resolution <input type="checkbox"/> Motion <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
----------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

**SYNOPSIS:**

Kinney Carnahan, the current Youth Services Librarian at the Johnston Public Library will be retiring on October 7, 2016. In August 2016, a subcommittee of library staff was established to search for a new Youth Services Librarian. The library conducted a nationwide search to fill the position. Nine of forty-six applicants were invited for an interview. On September 9, 2016 the Director extended an offer to Megan Sockness, and she accepted on September 10, 2016. Megan is currently the Youth Services Librarian at Washington County Libraries in Minnesota.

Megan will become the full-time Youth Services Librarian effective October 24, 2016. Her wage will be \$31.75 hourly.

**FISCAL IMPACT:**

Wages will be paid from the library's budget.

**RECOMMENDATION:**

Approve Resolution 16-209

**RESOLUTION NO. 16-209**

**WHEREAS, the City of Johnston is hiring to fill a vacancy; now therefore**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that the following appointment is effective:**

**Library**

**Megan Sockness – Youth Services Librarian. \$31.75 per hour, effective October 24, 2016**

**Passed and approved this 3<sup>rd</sup> day of October, 2016.**

\_\_\_\_\_  
**Paula S. Dierenfeld, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Cyndee D. Rhames, City Clerk**

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
<b>Brown</b>	_____	_____	_____	_____
<b>Clabaugh</b>	_____	_____	_____	_____
<b>Cope</b>	_____	_____	_____	_____
<b>Lindeman</b>	_____	_____	_____	_____
<b>Temple</b>	_____	_____	_____	_____

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
AGENDA COMMUNICATION  
October 3, 2016  
Meeting

**SUBJECT:** Consider the renewal of a Class "C" Liquor License to include Sunday Sales and Outdoor Service for Hyperion Field Club, 7390 NW Beaver Drive.

**ACTION REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Review

**SYNOPSIS:**

Hyperion Field Club, 7390 NW Beaver Drive has requested approval of the following renewal application:

- Class "C" Liquor License – Allows on premise consumption of liquor, wine and beer to members and their guests
- Class "B" Wine Permit
- Sunday Sales
- Outdoor Service

The applicant has submitted the appropriate application, current Dram Shop and paid the fees required by the State.

The application was filed in a timely manner and has been reviewed and approved by the Chief of Police and the Building Official

**FISCAL IMPACT:**

None

**RECOMMENDATION:**

Approve renewal application as presented.



# LIQUOR LICENSE APPLICATION INSPECTION

Establishment Name: Hyperion Field Club

New  Existing

Address: 7390 NW Beaver Dr

Applicant Name: Hyperion Field Club

Date Application Received: 9/20/16

Council Deadline Date: 9/28/16

## Liquor License Privileges

B-wine permit

License Class: C(LC) Commercial

Outdoor Service

Sunday Sales

## Building Official Review

Date to Building Official: 9/28/16

Inspection Date: 9/28/16

Pass  Fail

Re-Inspect Date if Fail: \_\_\_\_\_ Pass  Fail

Reason for Fail: \_\_\_\_\_

Building Official Signature: (DTS) [Signature]

## Police Department Review

Date to Police Department: 9/20/16

Interview Required: Yes  No

DCI Background Received: Yes  No

Approve  Deny

*\* Pending Dregs DCI - spoke w/rep will drop off this week - (9/19)*

Chief of Police Signature: [Signature]

## City Clerk Review

City Council: Approve  Deny

Endorse Date: \_\_\_\_\_

City Clerk Signature: \_\_\_\_\_



**City:** West Des Moines      **State:** Iowa      **Zip:** 50265

**Position:** President

**% of Ownership:** 0.00%      **U.S. Citizen:** **Yes**

**Kerry Studer**

**First Name:** Kerry      **Last Name:** Studer

**City:** Johnston      **State:** Iowa      **Zip:** 50131

**Position:** Vice President

**% of Ownership:** 0.00%      **U.S. Citizen:** **Yes**

**Insurance Company Information**

<b>Insurance Company:</b> <u>Selective Insurance Company of America</u>	
<b>Policy Effective Date:</b>	<b>Policy Expiration</b>
<b>Bond Effective</b>	<b>Dram Cancel Date:</b>
<b>Outdoor Service Effective</b>	<b>Outdoor Service Expiration</b>
<b>Temp Transfer Effective</b>	<b>Temp Transfer Expiration Date:</b>



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
AGENDA COMMUNICATION  
October 3, 2016  
Meeting

<b>SUBJECT:</b> Consider the renewal of a Class C Liquor License (Commercial) for the Hy-Vee Market Cafe, 5750 Merle Hay Road	<b>ACTION REQUIRED:</b> <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
-------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

<b>SYNOPSIS:</b>	Hy-Vee Food Store, 5750 Merle Hay Road is requesting renewal of the following license: <ul style="list-style-type: none"><li>• Class C Liquor License (LC) Commercial</li><li>• Sunday Sales</li></ul> The applicant has submitted the appropriate application and paid the fees required by the City and State.  The application was filed in a timely manner and has been reviewed and approved by the City's Building Official and Chief of Police.
<b>FISCAL IMPACT:</b>	A portion of the application fee will be returned to the City.
<b>RECOMMENDATION:</b>	Approve application as presented



# LIQUOR LICENSE APPLICATION INSPECTION

Establishment Name: Hy-Vee Market Cafe

New  Existing

Address: 5750 Merle Hay Rd

Applicant Name: Hy-Vee, Inc.

Date Application Received:

Council Deadline Date: 9/28/16

## Liquor License Privileges

License Class: C(LC) Commercial

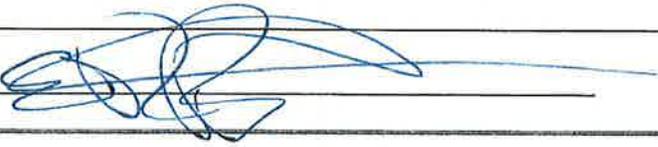
Outdoor Service   
Sunday Sales

## Building Official Review

Date to Building Official: 9/28/16 Inspection Date: 9/28/16

Pass  Fail  Re-Inspect Date if Fail: \_\_\_\_\_ Pass  Fail

Reason for Fail: \_\_\_\_\_

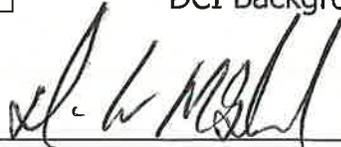
Building Official Signature: (BSS) 

## Police Department Review

Date to Police Department: 9/20/16

Interview Required: Yes  No  DCI Background Received: Yes  No

Approve:  Deny

Chief of Police Signature: 

## City Clerk Review

City Council: Approve  Deny

Endorse Date: \_\_\_\_\_

City Clerk Signature: \_\_\_\_\_

**Applicant License Application ( LC0041285 )**

<b>Name of Applicant:</b>	<u>Hy-Vee, Inc.</u>		
<b>Name of Business (DBA):</b>	<u>Hy-Vee Market Cafe</u>		
<b>Address of Premises:</b>	<u>5750 Merle Hay Rd.</u>		
<b>City</b>	<u>Johnston</u>	<b>County:</b>	<u>Polk</u> <b>Zip:</b> <u>50131</u>
<b>Business</b>	<u>(515) 270-9045</u>		
<b>Mailing</b>	<u>5820 Westown Pkwy</u>		
<b>City</b>	<u>West Des Moines</u>	<b>State</b>	<u>IA</u> <b>Zip:</b> <u>50266</u>

**Contact Person**

<b>Name</b>	<u>Denae Elgin</u>		
<b>Phone:</b>	<u>(515) 267-2874</u>	<b>Email</b>	<u>delgin@hy-vee.com</u>

**Classification** Class C Liquor License (LC) (Commercial)

**Term:** 12 months

**Effective Date:** 11/04/2016

**Expiration Date:** 11/03/2017

**Privileges:**

Class C Liquor License (LC) (Commercial)

Sunday Sales

**Status of Business**

<b>BusinessType:</b>	<u>Privately Held Corporation</u>		
<b>Corporate ID Number:</b>	<u>19862</u>	<b>Federal Employer ID</b>	<u>42-0325638</u>

**Ownership**

**Michael Jurgens**

**First Name:** Michael **Last Name:** Jurgens  
**City:** Des Moines **State:** Iowa **Zip:** 50312  
**Position:** Vice President, Secretary  
**% of Ownership:** 0.00% **U.S. Citizen:** **Yes**

**Randy Edeker**

**First Name:** Randy **Last Name:** Edeker  
**City:** Urbandale **State:** Iowa **Zip:** 50322  
**Position:** CEO, President  
**% of Ownership:** 0.00% **U.S. Citizen:** **Yes**

**Michael Skokan**

**First Name:** Michael **Last Name:** Skokan  
**City:** Waukee **State:** Iowa **Zip:** 50263  
**Position:** CFO, Treasurer

**% of Ownership:** 0.00%

**U.S. Citizen:** Yes

**Jeffrey Pierce**

**First Name:** Jeffrey

**Last Name:** Pierce

**City:** Waukee

**State:** Iowa

**Zip:** 50263

**Position:** Ass't Treasurer, Financial

**% of Ownership:** 0.00%

**U.S. Citizen:** Yes

**Insurance Company Information**

<b>Insurance Company:</b> <u>DAKOTA FIRE INSURANCE COMPANY</u>	
<b>Policy Effective Date:</b> <u>11/04/2016</u>	<b>Policy Expiration</b> <u>11/04/2017</u>
<b>Bond Effective</b>	<b>Dram Cancel Date:</b>
<b>Outdoor Service Effective</b>	<b>Outdoor Service Expiration</b>
<b>Temp Transfer Effective</b>	<b>Temp Transfer Expiration Date:</b>



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

October 3, 2016

**SUBJECT:** Approve and Authorize the Chief of Police to sign a 28E Agreement for Tobacco Enforcement with the Iowa Alcoholic Beverage Division.

**ACTION REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Review

**SYNOPSIS:**

For the past several years the City of Johnston has participated in the Iowa Pledge Program through a 28E Agreement with the Iowa Alcoholic Beverage Division (ABD). This program provides for training and enforcement activities regarding Iowa Code Section 453A.2 pertaining to the sale of tobacco to minors.

Under the terms of the agreement, the Johnston Police Department, with the aid of a 16 or 17-year-old minor, will conduct one (1) compliance check of each tobacco, alternative nicotine and vapor permit holder within the city of Johnston during the contract year. A store clerk that fails a compliance check is ticketed criminally by police and the city attorney initiates a civil proceeding against the permit holder. A follow-up compliance check is then conducted on businesses found to be non-compliant during the first check.

**FISCAL IMPACT:**

The ABD will reimburse the department \$ 75.00 for each compliance check. The supervised minor(s) used to do the compliance checks receive \$10.00 per purchase attempt.

**RECOMMENDATION:**

Approve and Authorize the Chief of Police to sign the 28E agreement.

Attachment: 28E Agreement for Tobacco, Alternative Nicotine and Vapor Product Enforcement



ALCOHOLIC  
BEVERAGES  
DIVISION  
State of Iowa

Terry E. Branstad *Governor of Iowa*  
Kim Reynolds *Lieutenant Governor*  
Stephen Larson *Administrator ABD*

September 7, 2016

Dear I-pledge Partner,

The Iowa Alcoholic Beverages Division (ABD) invites your department to participate in the **I-pledge** program for fiscal year 2017 (July 1, 2016 – June 30, 2017). The benefit of a partnership between ABD and law enforcement agencies is evidenced by the **91%** statewide compliance rate obtained by tobacco retailers in FY2016.

In order to be an **I-pledge** partner in fiscal year 2017, you must sign and return the enclosed 28E Agreement. After reviewing the agreement and verifying the contact information for your department, please sign the agreement with a witness on the last page and return it in the self-addressed envelope provided. A copy of the executed agreement will be returned to your office.

It is important to remember that ABD is required to conduct **one (1) compliance check** of each tobacco, alternative nicotine and vapor product retailer during FY2017, **with a repeat check of any business that fails the first compliance check**. Section 5.1.2 of the 28E Agreement details the dates by which compliance checks need to be performed.

Keep in mind that alternative nicotine and vapor products are age-restricted according to Iowa Code § 453A.2, and therefore included as part of the I-pledge program. Attempts to purchase alternative nicotine and vapor products may be conducted at any retailer that sells these products. Details and examples of these age-restricted products will be included in the enforcement handbook.

The necessary materials to carry out the agreement will be sent to the contact person specified in Section 13.10 of the 28E Agreement. In the meantime, contact Investigator Bill Missman at 515.314.3654 or myself at 515.281.7434, with questions regarding the enclosed agreement. If you prefer, you may also email [iapledge@iowaabd.com](mailto:iapledge@iowaabd.com).

Sincerely,

Jessica Ekman  
Tobacco Program Coordinator

**28E AGREEMENT FOR  
TOBACCO, ALTERNATIVE NICOTINE AND  
VAPOR PRODUCT ENFORCEMENT**

**SCHEDULE 1**

**THIS AGREEMENT** is made and entered into on this \_\_\_\_ day of \_\_\_\_\_, 2016 by and between the Iowa Alcoholic Beverages Division ("ABD"), and the Johnston Police Department (The "Department"). The parties agree as follows:

**SECTION 1. IDENTITY OF THE PARTIES.**

1.1 **Iowa ABD.** The ABD is authorized pursuant to Iowa Code Chapter 142A and a Memorandum of Understanding with the Iowa Department of Public Health to provide enforcement for Iowa's tobacco, alternative nicotine and vapor product laws. The ABD's address is: 1918 SE Hulsizer Road, Ankeny, Iowa 50021.

1.2 **Department.** The Department operates a duly recognized Iowa law enforcement agency. The Department's address is:

Johnston Police Department  
P.O. Box 410, Johnston, IA 50131

**SECTION 2. PURPOSE.** The parties have entered into this Agreement for the purpose of providing and funding tobacco, alternative nicotine and vapor product enforcement activities in compliance with Iowa Code § 453A.2.

**SECTION 3. TERM.** The term of the Agreement shall be from the aforementioned date through June 30, 2017, unless earlier terminated in accordance with the terms of the Agreement.

**SECTION 4. FILING.** Pursuant to Iowa Code § 28E.8, the ABD shall electronically file the Agreement with the Iowa Secretary of State, after the parties have executed the agreement.

**SECTION 5. RESPONSIBILITIES OF THE PARTIES.**

5.1 **Responsibilities of the Department.**

5.1.1 **Local Tobacco, Alternative Nicotine and Vapor Product Enforcement.** The Department shall provide tobacco, alternative nicotine and vapor product enforcement of Iowa Code Chapter 453A.

5.1.2 **Compliance Checks.** "Compliance checks" mean activity to enforce Iowa Code § 453A.2 within the jurisdiction of the Department. Compliance checks also may include enforcement of § 453A.2 within additional jurisdictions upon agreement of the Parties. ABD shall make available to the Department the location of each

tobacco, alternative nicotine and vapor product permit holder subject to a compliance check by the Department at <https://tobacco.iowaabd.com/>.

**The Department shall perform one (1) compliance check of each tobacco, alternative nicotine and vapor product permit holder within the jurisdiction of the Department during the term of the Agreement. Please note that alternative nicotine and vapor products are age-restricted pursuant to Iowa Code § 453A.2, and are therefore included in the I-PLEDGE program. Attempts to purchase alternative nicotine and vapor products may be conducted at any retailer that sells these products.**

**The Department shall not begin to conduct any retailer compliance checks until October 1, 2016.**

The compliance check shall be completed and submitted for reimbursement to ABD by **December 15, 2016**. The Department should try to complete a compliance check of all seasonal businesses such as golf courses, marinas and bait shops before the businesses close for the 2016 business year, but not before October 1, 2016.

The Department shall conduct a second compliance check on any retailer that is found to be non-compliant during the first inspection. The second compliance check on the non-compliant retailer shall be completed and entered no later than **March 15, 2017**.

Clerks that fail compliance checks shall be ticketed criminally.

The Department shall, within seven (7) business days, notify the retail owner or manager of any violation. Within seventy-two (72) hours of the Department issuing a citation for a violation of Iowa Code § 453A.2(1) to a permit-holder or employee of a permit-holder, the Department must notify the local permit-issuing authority that issued the tobacco, alternative nicotine and vapor product permit to the retailer where the offense was committed.

If the Department fails to complete and submit reimbursement for compliance checks to ABD by **December 15, 2016**, ABD will consult with the Department to establish a plan for completing the remaining compliance checks. In the event that the Department fails to execute the agreed upon plan, the Department agrees that ABD may authorize the Iowa State Patrol or other law enforcement agency to conduct any remaining compliance checks.

- 5.1.3 Youth Volunteers.** Utilization of youth volunteers is strongly encouraged where feasible. The Department may compensate the youth involved in the compliance checks in a manner consistent with Section 6. Keep in mind that the federal government (SYNAR) ***will not allow minors under the age of sixteen (16)*** to be used to conduct compliance checks. Please ensure that the officers assigned to conduct the compliance checks do not work with a youth younger than age 16.

- 5.1.4 Routine Enforcement.** In addition to conducting compliance checks, the Department agrees to regularly enforce youth tobacco, alternative nicotine and vapor product laws by ticketing youth offenders.
- 5.1.5 Civil Proceedings.** The Department shall cooperate with city, county and state prosecutors if civil permit proceedings are initiated against a tobacco, alternative nicotine and vapor product permit holder. The Department shall also cooperate in proceedings against cited clerks and minors. Cooperation shall include, but not be limited to, sharing investigative reports and copies of issued citations, as well as providing witness statements and testimony.
- 5.1.6 Compliance Reports.** The Department shall provide monthly reports to the ABD in the manner prescribed by the ABD.
- 5.1.7 Miscellaneous.** The Department shall be responsible for the day-to-day administration of its tobacco, alternative nicotine and vapor product enforcement activities. The Department shall provide all office space, equipment and personnel necessary to conduct tobacco, alternative nicotine and vapor product enforcement activities under the Agreement. The Department is solely responsible for the selection, hiring, disciplining, firing and compensation of its officers.

**5.2 Responsibilities of the ABD.**

- 5.2.1 Enforcement Guidance.** The ABD shall provide guidance on tobacco, alternative nicotine and vapor product enforcement to the Department, if needed, and cooperate with the Department in the performance of the Agreement.
- 5.2.4 Payment.** The ABD shall pay the Department in the manner described in Section 6.
- 5.2.5 Cooperation.** If ABD believes that any officer of the Department fails to perform duties in a manner that is consistent with the Agreement, the ABD shall notify the Department. The Department shall then take such action as necessary to investigate and, if appropriate, discipline or reassign the officer away from tobacco, alternative nicotine and vapor product enforcement activities. The ABD shall have no authority to discipline or reassign an officer, except that the ABD shall have the authority to stipulate that a particular officer not be assigned to provide services under the Agreement.
- 5.2.6 Insurance, Benefits and Compensation.** The ABD shall not provide for, nor pay, any employment costs of the Department's officers including, but not limited to, worker's compensation, unemployment insurance, health insurance, life insurance and any other benefits or compensation, nor make any payroll payments with respect to the Department's officers. The ABD shall have no liability whatsoever for all such employment costs or other expenses relating to, or for the benefit of, the Department's officers.

**SECTION 6. PAYMENT TO DEPARTMENT.**

- 6.1 Method of Payment.** In consideration for providing the services required by the Agreement, the Department shall be paid on a flat fee basis of seventy-five dollars (\$75) per reported compliance check. The flat fee payment for each compliance check constitutes the full and exclusive remuneration for the compliance checks. For example, compensation of youth participants is the sole responsibility of the Department and is to be paid from the flat fee payment.
- 6.2 Eligible Claims.** Compliance checks that are conducted on or after **October 1, 2016** are eligible for payment provided that the results are reported in accordance with Section 5. Any compliance checks that were funded by a non-departmental entity are not eligible for payment.
- 6.3 Allocations.** The costs of the services referred to in Section 6.1 shall be allocated as follows:
- 6.3.1 Sole Activity.** Money paid to the Department, pursuant to the Agreement, shall be used to fund overtime of full- or part-time peace officer positions solely for tobacco, alternative nicotine and vapor product enforcement activities described in the Agreement. Money also shall be used for compensation, if any, of youth participants. In addition, the Department may use money paid pursuant to the Agreement for reasonable Department expenditures, including, but not limited to, officer training and equipment, provided that such expenditures do not impair the Department's ability to perform tobacco, alternative nicotine and vapor product enforcement activities.
- 6.3.2 Payment in Arrears.** The ABD may pay all approved invoices in arrears and in conformance with Iowa Code § 8A.514. The ABD, consistent with Iowa Code § 8A.514, may pay in less than the specified time period. Payment by the ABD in fewer than sixty (60) days, however, does not constitute an implied waiver of that Code section.

**SECTION 7. ADMINISTRATION OF AGREEMENT.** The ABD and the Department shall jointly administer the Agreement.

**SECTION 8. NO SEPARATE ADMINISTRATIVE ENTITY.** No new or separate legal or administrative entity is created by the Agreement.

**SECTION 9. NO PROPERTY ACQUIRED.** The ABD and the Department, in connection with the performance of the Agreement, shall acquire no real or personal property.

## **SECTION 10. TERMINATION.**

- 10.1 Termination For Convenience.** Following thirty (30) days written notice, either party may terminate the Agreement, in whole or in part, for convenience without the payment of any penalty or incurring any further obligation to the non-terminating party. Following termination for convenience, the non-terminating party shall be entitled to compensation, upon submission of invoices and proper proof of claim, for services provided under the Agreement to the terminating party up to and including the date of termination.
- 10.2 Termination for Cause.** The occurrence of any one or more of the following events shall constitute cause for any party to declare another party in default of its obligations under the Agreement:
- 10.2.1** Failure to observe and perform any covenant, condition or obligation created by the Agreement;
  - 10.2.2** Failure to make substantial and timely progress toward performance of the Agreement;
  - 10.2.3** Failure of the party's work product and services to conform with any specifications noted herein;
  - 10.2.4** Infringement of any patent, trademark, copyright, trade dress or any other intellectual property right.
- 10.3 Notice of Default.** If there occurs a default event under Section 10.2, the non-defaulting party shall provide written notice to the defaulting party requesting that the breach or noncompliance be immediately remedied. In the event that the breach or noncompliance continues to be evidenced ten days beyond the date specified in the written notice, the non-defaulting party may either:
- 10.3.1** Immediately terminate the Agreement without additional written notice; or,
  - 10.3.2** Enforce the terms and conditions of the Agreement and seek any available legal or equitable remedies.

In either event, the non-defaulting party may seek damages as a result of the breach or failure to comply with the terms of the Agreement.

## **SECTION 11. INDEMNIFICATION.**

- 11.1 By ABD.** Consistent with Article VII, Section 1 of the Iowa Constitution and Iowa Code Chapter 669, ABD agrees to defend and indemnify the Department and hold it harmless against any and all liabilities, damages, settlements, judgments, costs and expenses, including reasonable attorney's fees of counsel required to defend the Department,

related to or arising out of ABD's negligent or wrongful acts or omissions in the performance of the Agreement.

- 11.2 By the Department.** Consistent with Article VII, Section 1 of the Iowa Constitution and Iowa Code Chapter 670, the Department agrees to defend and indemnify and hold the State of Iowa and ABD harmless from any and all liabilities, damages, settlements, judgments, costs and expenses, including reasonable governmental attorney's fees and the costs and expenses of attorney fees of other counsel required to defend the ABD, related to or arising from any negligent or wrongful acts or omissions of the Department in the performance of this Agreement.

## **SECTION 12. CONTACT PERSON.**

- 12.1 Contact Person.** At the time of execution of the Agreement, each party shall designate, in writing, a Contact Person to serve until the expiration of the Agreement or the designation of a substitute Contact Person. During the term of the Agreement, each Contact Person shall be available to meet, as otherwise mutually agreed, to plan the services being provided under the Agreement.

## **SECTION 13. CONTRACT ADMINISTRATION.**

- 13.1 Amendments.** The Agreement may be amended in writing from time to time by mutual consent of the parties. All amendments to the Agreement must be fully executed by the parties.
- 13.2 Third Party Beneficiaries.** There are no third party beneficiaries to the Agreement. The Agreement is intended only to benefit ABD and the Department.
- 13.3 Choice of Law and Forum.** The terms and provisions of the Agreement shall be construed in accordance with the laws of the State of Iowa. Any and all litigation or actions commenced in connection with the Agreement shall be brought in Des Moines, Iowa, in Polk County District Court for the State of Iowa. This provision shall not be construed as waiving any immunity to suit or liability that may be available to the State of Iowa, ABD or the Department.
- 13.4 Assignment and Delegation.** The Agreement may not be assigned, transferred or conveyed in whole or in part without the prior written consent of the other party.
- 13.5 Integration.** The Agreement represents the entire Agreement between the parties and neither party is relying on any representation that may have been made which is not included in the Agreement.
- 13.6 Headings or Captions.** The paragraph headings or captions are for identification purposes only and do not limit nor construe the contents of the paragraphs.

- 13.7 **Not a Joint Venture.** Nothing in the Agreement shall be construed as creating or constituting the relationship of a partnership, joint venture, association of any kind or agent and principal relationship between the parties. Each party shall be deemed an independent contractor acting toward the expected mutual benefits. No party, unless otherwise specifically provided for herein, has the authority to enter into any contract or create an obligation or liability on behalf of, in the name of, or binding upon the other party to the Agreement.
- 13.8 **Supersedes Former Agreements.** The Agreement supersedes all prior Agreements between ABD and the Department for the services provided in connection with the Agreement.
- 13.9 **Waiver.** Except as specifically provided for in a waiver signed by duly authorized representatives of ABD and the Department, failure by any party at any time to require performance by the other party or to claim a breach of any provision of the Agreement shall not be construed as affecting any subsequent breach or the right to require performance with respect thereto or to claim a breach with respect thereto.
- 13.10 **Notices.** Notices under the Agreement shall be in writing and delivered to the representative of the party to receive notice (identified below) at the address of the party to receive notice as it appears below or as otherwise provided for by proper notice here under. This person shall be the Contact Person. The effective date for any notice under the Agreement shall be the date of delivery of such notice (not the date of mailing) which may be effected by certified U.S. Mail return receipt requested with postage prepaid thereon or by recognized overnight delivery service, such as Federal Express or UPS. Failure to accept "receipt" shall constitute delivery.

If to ABD:

Jessica Ekman  
Tobacco Program Coordinator  
Iowa Alcoholic Beverages Division  
1918 SE Hulsizer Road  
Ankeny, Iowa 50021  
515-281-7434  
Email: Ekman@IowaABD.com

If to Department:

Chief Dennis McDaniel  
Johnston Police Department  
P.O. Box 410  
Johnston, Iowa 50131  
Email:

- 13.11 **Cumulative Rights.** The various rights, powers, options, elections and remedies of any party provided in the Agreement, shall be construed as cumulative and not one of them is exclusive of the others or exclusive of any rights, remedies or priorities allowed

any party by law, and shall in no way affect or impair the right of any party to pursue any other equitable or legal remedy to which any party may be entitled as long as any default remains in any way un-remedied, unsatisfied or un-discharged.

- 13.12 **Severability.** If any provision of the Agreement is determined by a court of competent jurisdiction to be invalid or unenforceable, such determination shall not affect the validity or enforceability of any other part or provision of the Agreement.
- 13.13 **Time is of the Essence.** Time is of the essence with respect to the performance of the terms of the Agreement.
- 13.14 **Authorization.** Each party to the Agreement represents and warrants to the other that:
- 13.14.1 It has the right, power and authority to enter into and perform its obligations under the Agreement.
  - 13.14.2 It has taken all requisite action (corporate, statutory or otherwise) to approve execution, delivery and performance of the Agreement, and the Agreement constitutes a legal, valid and binding obligation upon itself in accordance with its terms.
- 13.15 **Successors in Interest.** All the terms, provisions and conditions of the Agreement shall be binding upon and inure to the benefit of the parties hereto and their respective successors, assigns and legal representatives.
- 13.16 **Record Retention and Access.** The Department shall maintain books, records and documents which sufficiently and properly document and calculate all charges billed to ABD throughout the term of the Agreement for a period of at least three (3) years following the date of final payment or completion of any required audit, whichever is later. The Department shall permit the Auditor of the State of Iowa or any authorized representative of the State and where federal funds are involved, the Comptroller General of the United States or any other authorized representative of the United States government, to access and examine, audit, excerpt and transcribe any directly pertinent books, documents, papers, electronic or optically stored and created records or other records of the Department relating to orders, invoices, or payments or any other documentation or materials pertaining to the Agreement. The Department shall not impose a charge for audit or examination of the books and records.
- 13.17 **Additional Provisions.** The parties agree that any Addendum, Rider or Exhibit, attached hereto by the parties, shall be deemed incorporated herein by reference.
- 13.18 **Further Assurances and Corrective Instruments.** The parties agree that they shall, from time to time, execute, acknowledge and deliver, or cause to be executed, acknowledged and delivered, such supplements hereto and such further instruments as may reasonably be required for carrying out the expressed intention of the Agreement.

**SECTION 14. EXECUTION.**

**IN WITNESS WHEREOF**, in consideration of the mutual covenants set forth above and for other good and valuable consideration, the receipt, adequacy and legal sufficiency of which are hereby acknowledged, the parties have entered into the Agreement and have caused their duly authorized representatives to execute the Agreement.

**By Alcoholic Beverages Division**

\_\_\_\_\_  
**Stephen Larson, Administrator**

\_\_\_\_\_  
**Date**

**By Law Enforcement Agency**

\_\_\_\_\_  
**Department Official**

\_\_\_\_\_  
**Date**

\_\_\_\_\_  
**Department Witness**

\_\_\_\_\_  
**Date**



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 October 3<sup>rd</sup>, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Partial Pay Request Number 5 to Kingston Services in the amount of \$150,884.70 for construction for Terra Lake Park Improvements Phase 2.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
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**SYNOPSIS:**

This invoice is for payment of partial Pay Request number 5 for Earthwork, Sub-grading, and construction for the Terra Lake Park Improvements Phase 2.

**FISCAL IMPACT**

Funds are available in the Terra Lake Improvements Fund Line 340.5.764.67616.

**RECOMMENDATION:**

Staff is recommending approval of this payment of Pay Request No.5 to Kingston Services.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve partial Pay Request No.5 in the amount of \$150,884.70 to Kingston Services for work performed for the Terra Lake Park Improvements Phase 2.

<b>ROLL CALL VOTE:</b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

## APPLICATION FOR PARTIAL PAYMENT NO. 5

PROJECT: Terra Lake Park Improvements Phase 2  
OWNER: City of Johnston  
CONTRACTOR: Kingston Services  
ADDRESS: 1510 Ohlo Street  
Des Moines, IA 50314  
DATE: September 23, 2016

S&A PROJECT NO.: 115.0890

PAYMENT PERIOD: 07/01/2016-09/18/2016

### 1. CONTRACT SUMMARY:

Original Contract Amount:	\$ 1,853,724.00	<b>CONTRACT PERIOD: WORKING DAYS</b>
Net Change by Change Order:	<u>\$77,000.00</u>	Original Contract Date: December 22, 2015
Contract Amount to Date:	\$1,930,724.00	Substantial Completion:

### 2. WORK SUMMARY:

Total Work Performed to Date:	\$ 1,674,441.00	Final Completion: December 1, 2016
Retainage: 5%	\$83,722.05	Added by Change Order: 0
Total Earned Less Retainage:	\$1,590,718.95	Contract Time to Date: 0
Total Previous Payments	\$271,455.85 Pay App 1	
	\$538,435.30 Pay App 2	
	\$432,960.60 Pay App 3	
	\$196,982.50 Pay App 4	
AMOUNT DUE THIS APPLICATION:	<u>\$150,884.70</u>	

### 3. CONTRACTOR'S CERTIFICATION:

The undersigned CONTRACTOR certifies that:

- (1) all previous progress payments received from OWNER on account of Work done under the Contract referred to above have been applied to discharge in full all obligations of CONTRACTOR incurred in connection with the Work covered by prior Applications for
- (2) title to all materials and equipment incorporated in said Work or otherwise listed in or covered by this application for Payment are free and clear of all liens, claims, security interests and encumbrances.

Kingston Services  
CONTRACTOR

By \_\_\_\_\_ DATE: \_\_\_\_\_

### 4. ENGINEER'S APPROVAL:

Payment of the above AMOUNT DUE THIS APPLICATION is recommended:

Snyder & Associates, Inc.

ENGINEER

By \_\_\_\_\_

DATE: 9/23/16

### 5. OWNER'S APPROVAL

City of Johnston  
OWNER

By \_\_\_\_\_ DATE: \_\_\_\_\_

6. DETAILED ESTIMATE OF WORK COMPLETED:

NO.	DESCRIPTION	CONTRACT ITEMS				COMPLETED WORK		
		QUANTITY	UNIT	UNIT COST	TOTAL COST	QTY COMP.	% COMPLETE	AMOUNT COMP.
<b>ORIGINAL CONTRACT</b>								
<b>PARKING AREAS</b>								
1.1	Mobilization	1	LS	\$ 98,000.00	\$ 98,000.00	1	100%	\$ 98,000.00
1.2	Perimeter Construction Fencing, 4'	3,800	LF	\$ 4.60	\$ 17,100.00	3,800	100%	\$ 17,100.00
1.3	Traffic Control	1	LS	\$ 9,200.00	\$ 9,200.00	1	100%	\$ 9,200.00
2.1	Remove and Dispose Pavement	6,870	SY	\$ 8.00	\$ 54,960.00	6,870	100%	\$ 54,960.00
2.2	Remove Lighting and Electrical Service	1	LS	\$ 8,200.00	\$ 8,200.00	1	100%	\$ 8,200.00
2.3	Clear & Grub Woody Plant Material	1	LS	\$ 10,000.00	\$ 10,000.00	1	100%	\$ 10,000.00
2.4	Remove Traffic Sign	4	EA	\$ 400.00	\$ 1,600.00	4	100%	\$ 1,600.00
3.1	Strip/Stockpile Topsoil	4,000	CY	\$ 6.00	\$ 24,000.00	4,000	100%	\$ 24,000.00
3.2	Earthwork	1	LS	\$ 62,000.00	\$ 62,000.00	1	100%	\$ 62,000.00
3.3	Respread Topsoil	2,660	CY	\$ 4.00	\$ 10,640.00	2,660	100%	\$ 10,640.00
3.4	Erosion Control	1	LS	\$ 36,000.00	\$ 36,000.00	1	100%	\$ 36,000.00
4.2	4" Perforated PE Drain Tile	2,170	LF	\$ 13.00	\$ 28,210.00	2,200	101%	\$ 28,600.00
4.3	6" Perforated HDPE Drain Tile	660	LF	\$ 17.00	\$ 11,220.00	710	108%	\$ 12,070.00
4.4	12" HDPE	30	LF	\$ 70.00	\$ 2,100.00	30	100%	\$ 2,100.00
4.5	18" HDPE	290	LF	\$ 75.00	\$ 21,750.00	290	100%	\$ 21,750.00
4.6	18" RCP Flared End Section with Footing and Apron Guard	1	EA	\$ 2,500.00	\$ 2,500.00	1	100%	\$ 2,500.00
4.7	12" Nyloplast Intake with Beehive Grate	2	EA	\$ 2,500.00	\$ 5,000.00	2	100%	\$ 5,000.00
4.8	SW 511 Storm Intake	2	EA	\$ 3,500.00	\$ 7,000.00	4	200%	\$ 14,000.00
4.9	SW 501 Storm Intake	1	EA	\$ 4,000.00	\$ 4,000.00	1	100%	\$ 4,000.00
4.10	SW 401 Storm Manhole	1	EA	\$ 5,000.00	\$ 5,000.00	1	100%	\$ 5,000.00
4.11	6" PVC Water Service Line	200	LF	\$ 84.00	\$ 16,800.00	200	100%	\$ 16,800.00
4.12	4" PVC Water Service Line	460	LF	\$ 42.00	\$ 19,320.00	460	100%	\$ 19,320.00
4.13	6" Water Valve	2	EA	\$ 900.00	\$ 1,800.00	2	100%	\$ 1,800.00
4.14	4" Water Valve	1	EA	\$ 800.00	\$ 800.00	1	100%	\$ 800.00
4.15	6" Sanitary Sewer Line	475	LF	\$ 72.00	\$ 34,200.00	475	100%	\$ 34,200.00
4.16	Sanitary Sewer Clean-Out	5	EA	\$ 800.00	\$ 4,000.00	5	100%	\$ 4,000.00
4.17	Sanitary Manhole	1	EA	\$ 4,800.00	\$ 4,800.00	1	100%	\$ 4,800.00
4.18	Parking Lot and Trall Lighting	1	LS	\$ 71,500.00	\$ 71,500.00	1	100%	\$ 71,500.00
5.1	Demolish Existing Pump House and Picnic Shelter	1	LS	\$ 12,000.00	\$ 12,000.00	1	100%	\$ 12,000.00
5.2	Trash Enclosure	1	LS	\$ 25,000.00	\$ 25,000.00	0.90	90%	\$ 22,500.00
6.1	6" Depth PCC	2,150	SY	\$ 34.00	\$ 73,100.00	2,313	108%	\$ 78,642.00
6.2	8" Depth HMA	7,125	SY	\$ 36.00	\$ 256,500.00			
6.3	7" Depth HMA	3,785	SY	\$ 36.00	\$ 136,260.00			
6.4	24" PCC Curb and Gutter	2,285	LF	\$ 79.00	\$ 180,405.00			
6.5	24" Concrete Header	675	LF	\$ 26.00	\$ 17,550.00			
6.6	Concrete Permeable Pavers on 24" Granular Base	2,500	SF	\$ 25.00	\$ 62,500.00	2,500	100%	\$ 62,500.00
6.7	8" Depth Subgrade Preparation	1,990	SY	\$ 3.00	\$ 5,970.00	2,205	111%	\$ 6,615.00
6.8	12" Depth Subgrade Preparation	11,895	SY	\$ 5.00	\$ 58,475.00	11,895	100%	\$ 58,475.00
6.9	6" Depth Granular Base	3,500	TON	\$ 21.00	\$ 73,500.00	3,500	100%	\$ 73,500.00
6.10	Pavement Markings	1	LS	\$ 8,000.00	\$ 8,000.00	1.00	100%	\$ 8,000.00
7.1	Traffic Sign	20	EA	\$ 400.00	\$ 8,000.00	20	100%	\$ 8,000.00
7.2	Bioretention Cells	1	LS	\$ 40,000.00	\$ 40,000.00	1.0	100%	\$ 40,000.00
7.3	Seeding - Native Seed Mix	1	LS	\$ 5,400.00	\$ 5,400.00	0	0%	\$ -
7.4	Seeding - Lawn Seed Mix	3.5	AC	\$ 2,800.00	\$ 9,800.00	0	0%	\$ -
<b>REGIONAL TRAILS</b>								
1.1	Mobilization	1	LS	\$ 12,000.00	\$ 12,000.00	1	100%	\$ 12,000.00
1.2	Traffic Control	1	LS	\$ 2,100.00	\$ 2,100.00	1	100%	\$ 2,100.00
2.1	Remove and Dispose Pavement	3,100	SY	\$ 8.00	\$ 24,800.00	3,100	100%	\$ 24,800.00
2.2	Remove Storm Sewer	12	LF	\$ 14.00	\$ 168.00	12	100%	\$ 168.00
2.3	Remove Field Fence	350	LF	\$ 4.00	\$ 1,400.00	350	100%	\$ 1,400.00
2.4	Protect Selected Trees	1	LS	\$ 5,000.00	\$ 5,000.00	1	100%	\$ 5,000.00
2.5	Clear & Grub Woody Plant Material	1	LS	\$ 5,000.00	\$ 5,000.00	1	100%	\$ 5,000.00
3.1	Earthwork	1	LS	\$ 18,000.00	\$ 18,000.00	0.75	75%	\$ 13,500.00
3.2	Erosion Control	1	LS	\$ 6,000.00	\$ 6,000.00	0.75	75%	\$ 4,500.00
3.3	Seeding - Lawn Seed Mix	0.8	AC	\$ 2,800.00	\$ 2,240.00	0	0%	\$ -
4.1	15" CMP Culvert	40	LF	\$ 38.00	\$ 1,520.00	40	100%	\$ 1,520.00
4.2	18" CMP Culvert	50	LF	\$ 46.00	\$ 2,300.00	50	100%	\$ 2,300.00
4.3	15" CMP Flared End Section and Apron Guard	2	EA	\$ 600.00	\$ 1,200.00	2	100%	\$ 1,200.00
4.4	18" CMP Flared End Section and Apron Guard	2	EA	\$ 700.00	\$ 1,400.00	2	100%	\$ 1,400.00
5.1	6" Depth HMA	3,962	SY	\$ 36.00	\$ 142,632.00	1,157	29%	\$ 41,856.00
5.2	12" Subgrade Preparation	4,160	SY	\$ 5.00	\$ 20,800.00	1,215	29%	\$ 6,075.00
<b>WEST TRAIL</b>								
1.1	Mobilization	1	LS	\$ 18,000.00	\$ 18,000.00	1	100%	\$ 18,000.00
1.2	Traffic Control	1	LS	\$ 2,100.00	\$ 2,100.00	1	100%	\$ 2,100.00
2.1	Remove Pavement	350	SY	\$ 8.00	\$ 2,800.00	350	100%	\$ 2,800.00
2.2	Strip Vegetation	810	SY	\$ 10.00	\$ 8,100.00	810	100%	\$ 8,100.00
3.1	Strip/Stockpile Topsoil	3,000	CY	\$ 6.00	\$ 18,000.00	3,000	100%	\$ 18,000.00

3.2	Earthwork and Import	1	LS	\$ 40,000.00	\$ 40,000.00	1	100%	\$ 40,000.00
3.3	Respread Topsoil	2,500	CY	\$ 4.00	\$ 10,000.00	0	0%	\$ -
3.4	Erosion Control	1	LS	\$ 6,000.00	\$ 6,000.00	0.8	75%	\$ 4,500.00
3.5	Seeding - Lawn Seed Mix	0.8	AC	\$ 2,800.00	\$ 1,680.00	0	0%	\$ -
4.1	18" CMP Culvert	160.0	LF	\$ 70.00	\$ 11,200.00	160	100%	\$ 11,200.00
4.2	18" CMP Flared End Section and Apron Guard	4	EA	\$ 1,400.00	\$ 5,600.00	4	100%	\$ 5,600.00
6.1	6" Depth HMA	2,150	SY	\$ 38.00	\$ 81,700.00	0	0%	\$ -
6.2	12" Subgrade Preparation	2,600	SY	\$ 5.00	\$ 13,000.00	2,600	100%	\$ 13,000.00
<b>ALTERNATE BID ITEM 1: PCC INLIEU OF HMA AT CROWN POINT</b>								
*1.1	DEDUCT 6" Depth HMA	3,600	SY	\$ (36.00)	\$ (129,600.00)			
*1.2	DEDUCT 7" Depth HMA	3,800	SY	\$ (38.00)	\$ (144,400.00)			
*2.1	DEDUCT 24" RCC Curb & Gutter	1,980	LF	\$ (19.00)	\$ (37,810.00)			
*2.2	DEDUCT 24" Concrete Header	520	LF	\$ (20.00)	\$ (10,400.00)			
3.1	ADD 6" Depth PCC	3,725	SY	\$ 36.00	\$ 134,100.00	3,725	100%	\$ 134,100.00
3.2	ADD 7" Depth PCC	4,135	SY	\$ 38.00	\$ 157,130.00	4,135	100%	\$ 157,130.00
<b>ALTERNATE BID ITEM 2: PCC INLIEU OF HMA AT NORTH PARKING</b>								
*1.1	DEDUCT 6" Depth HMA	3,460	SY	\$ (36.00)	\$ (124,560.00)			
*2.1	DEDUCT 24" RCC Curb & Gutter	300	LF	\$ (19.00)	\$ (5,700.00)			
*2.2	DEDUCT 24" Concrete Header	155	LF	\$ (20.00)	\$ (3,100.00)			
3.1	ADD 6" Depth PCC	3,460	SY	\$ 36.00	\$ 124,560.00	3,460	100%	\$ 124,560.00
<b>TOTAL ORIGINAL CONTRACT:</b>					\$ 1,853,724.00			\$ 1,612,191.00
*Bid Items 6.2-6.5 omitted in lieu of Alternate Bid Items 1 and 2								

<b>Change Order No. 1- North Parking Burled Concrete Footing</b>								
Project Coordination, Excavation/Exploration and Import Fill								
		1	LS	\$ 18,000.00	\$ 18,000.00	1	100%	\$ 18,000.00
<b>Change Order No. 2- Add Granular Base to 800' West Trail</b>								
Asphalt Millings w Placement, West Trail								
		1	LS	\$ 29,500.00	\$ 29,500.00	1	100%	\$ 29,500.00
<b>Change Order No. 3- Add Granular Base 800' Regional Trail</b>								
Asphalt Millings w Placement, Regional Trail								
		1	LS	\$ 29,500.00	\$ 29,500.00	0.5	100%	\$ 14,750.00
<b>Total Revised Contract:</b>					\$ 1,930,724.00			\$ 1,674,441.00



**OFFICE OF THE CITY ADMINISTRATOR**  
 Johnston, Iowa  
 AGENDA COMMUNICATION  
 October 3<sup>rd</sup>, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Partial Pay Request Number 6 to Rochon Corporation of Iowa, Inc. in the amount of \$558,952.80 for Terra Lake Park Improvements Phase 3.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
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<p><b>SYNOPSIS:</b></p>	<p>This invoice is for partial Pay Request number 6 for concrete and foundation work, grading, utility installations and structural steel installations at Terra Lake Park.</p>
<p><b>FISCAL IMPACT</b></p>	<p>Funds are available in the Terra Lake Improvements Fund Line: 340.5.764.67616.</p>
<p><b>RECOMMENDATION:</b></p>	<p>Staff is recommending approval of this payment of partial Pay Request No.6 to Rochon Corporation of Iowa, Inc.</p>

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve Partial Pay Request No.6 in the amount of \$558,952.80 to Rochon Corporation of Iowa, Inc. for work performed for the Terra Lake Park Improvements Phase 3.

<b>ROLL CALL VOTE:</b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

**APPLICATION FOR PARTIAL PAYMENT NO. 6**

PROJECT: Terra Lake Park Improvements Phase 3  
OWNER: City of Johnston  
CONTRACTOR: Rochon Corporation of Iowa, Inc.  
ADDRESS: 3401 106th Circle  
Urbandale, IA 50322  
DATE: September 23, 2016

S&A PROJECT NO.: 115.0890

PAYMENT PERIOD: 09/01/16-09/23/2016

**1. CONTRACT SUMMARY:**

Original Contract Amount:	\$ 2,068,205.00	<b>CONTRACT PERIOD: WORKING DAYS</b>
Net Change by Change Order:	<u>\$8,560.00</u>	Original Contract Date: March 7, 2016
Contract Amount to Date:	\$ 2,076,765.00	Substantial Completion:

**2. WORK SUMMARY:**

Total Work Performed to Date:	\$ 1,472,230.00	Final Completion: December 1, 2016
Retainage: 5%	\$73,611.50	Added by Change Order: 0
Total Earned Less Retainage:	\$ 1,398,618.50	Contract Time to Date: 0
Total Previous Payments	\$217,784.23 Pay App 1	
	\$237,276.22 Pay App 2	
	\$0.00 Pay App 3	
	\$180,448.70 Pay App 4	
	\$204,156.55 Pay App 5	

AMOUNT DUE THIS APPLICATION: \$ 558,952.80

**3. CONTRACTOR'S CERTIFICATION:**

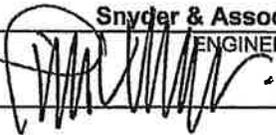
The undersigned CONTRACTOR certifies that:  
(1) all previous progress payments received from OWNER on account of Work done under the Contract referred to above have been applied to discharge in full all obligations of CONTRACTOR incurred in connection with the Work covered by prior Applications for  
(2) title to all materials and equipment incorporated in said Work or otherwise listed in or covered by this application for Payment are free and clear of all liens, claims, security interests and encumbrances.

Rochon Corporation of Iowa, Inc.  
CONTRACTOR

By \_\_\_\_\_ DATE: \_\_\_\_\_

**4. ENGINEER'S APPROVAL:**

Payment of the above AMOUNT DUE THIS APPLICATION is recommended:

Snyder & Associates, Inc.  
ENGINEER  
By  \_\_\_\_\_

DATE: 9/23/16.

**5. OWNER'S APPROVAL**

City of Johnston  
OWNER

By \_\_\_\_\_ DATE: \_\_\_\_\_

**6. DETAILED ESTIMATE OF WORK COMPLETED:**

CODE	DESCRIPTION	M/L	SCHEDULED VALUE	TOTAL TO DATE	% COMPLETE	BALANCE TO FINISH
<b>ORIGINAL CONTRACT</b>						
<b>GENERAL CONDITIONS</b>						
	General Conditions		\$ 102,820.00	\$ 73,000.00	71%	\$ 29,820.00
	Bond		\$ 16,000.00	\$ 16,000.00	100%	\$ -
	Overhead and Fee		\$ 69,000.00	\$ 49,050.00	71%	\$ 19,950.00
<b>CONCRETE</b>						
33000	Footings	L	\$ 119,588.00	\$ 119,588.00	100%	\$ -
33000	Footings	M	\$ 79,856.00	\$ 79,856.00	100%	\$ -
33000	Rebar	M	\$ 14,230.00	\$ 14,230.00	100%	\$ -
33000	Slab on Grade	L	\$ 7,240.00	\$ 7,240.00	100%	\$ -
33000	Slab on Grade	M	\$ 4,760.00	\$ 4,760.00	100%	\$ -
33000	Sidewalks and Patios	L	\$ 69,155.00	\$ -	0%	\$ 69,155.00
33000	Sidewalks and Patios	M	\$ 64,605.00	\$ -	0%	\$ 64,605.00
<b>MASONRY</b>						
42200	Mobilization/Submittals	L	\$ 13,000.00	\$ 13,000.00	100%	\$ -
42200	CMU	L	\$ 19,916.00	\$ 19,916.00	100%	\$ -
42200	CMU	M	\$ 27,504.00	\$ 27,504.00	100%	\$ -
44313	Stone Veneer	L	\$ 118,999.00	\$ 107,500.00	90%	\$ 11,499.00
44313	Stone Veneer	M	\$ 184,331.00	\$ 165,000.00	90%	\$ 19,331.00
<b>METALS</b>						
5000	Drafting	L	\$ 4,200.00	\$ 4,200.00	100%	\$ -
5000	Freight	L	\$ 1,300.00	\$ 1,300.00	100%	\$ -
51200	Structural Steel	L	\$ 20,000.00	\$ 10,000.00	50%	\$ 10,000.00
51200	Structural Steel	M	\$ 44,275.00	\$ 44,275.00	100%	\$ -
55000	Metal Fabrication	M	\$ 26,425.00	\$ 6,500.00	25%	\$ 19,925.00
<b>WOOD AND PLASTICS</b>						
61000	Rough Carpentry	L	\$ 47,000.00	\$ 23,500.00	50%	\$ 23,500.00
61000	Rough Carpentry	M	\$ 14,200.00	\$ 14,200.00	100%	\$ -
61800	Glued-Laminated Beams and Decking	M	\$ 73,632.00	\$ 73,632.00	100%	\$ -
64023	Finish Carpentry	L	\$ 3,000.00	\$ -	0%	\$ 3,000.00
<b>THERMAL AND MOISTURE</b>						
71900	Water Repellents	L	\$ 2,200.00	\$ -	0%	\$ 2,200.00
71900	Water Repellents	M	\$ 1,680.00	\$ -	0%	\$ 1,680.00
74113	Metal Roof/Soffit	L	\$ 40,925.00	\$ 2,000.00	5%	\$ 38,925.00
74113	Metal Roof/Soffit	M	\$ 19,705.00	\$ 1,000.00	5%	\$ 18,705.00
74646	Fiber Cement Siding	L	\$ 5,820.00	\$ -	0%	\$ 5,820.00
74646	Fiber Cement Siding	M	\$ 2,180.00	\$ 2,180.00	100%	\$ -
79200	Caulking	L	\$ 7,000.00	\$ -	0%	\$ 7,000.00
79200	Caulking	M	\$ 3,000.00	\$ -	0%	\$ 3,000.00
<b>DOORS AND WINDOWS</b>						
801113	HM Frames	M	\$ 2,240.00	\$ 2,240.00	100%	\$ -
801113	HM Doors	M	\$ 2,276.00	\$ 2,276.00	100%	\$ -
84500	Translucent Panel Wall Cladding Assemblies	L	\$ 3,053.00	\$ 677.00	22%	\$ 2,376.00
84500	Translucent Panel Wall Cladding Assemblies	M	\$ 6,624.00	\$ 6,354.00	96%	\$ 270.00
87100	Hardware	M	\$ 4,712.00	\$ 4,712.00	100%	\$ -
<b>FINISHES</b>						
99123	Painting	L	\$ 7,350.00	\$ -	0%	\$ 7,350.00
99123	Painting	M	\$ 3,150.00	\$ -	0%	\$ 3,150.00
96600	High Performance Coatings	L	\$ 2,420.00	\$ -	0%	\$ 2,420.00
96600	High Performance Coatings	M	\$ 2,080.00	\$ -	0%	\$ 2,080.00
<b>SPECIALTIES</b>						
101400	Signage	M	\$ 1,700.00	\$ -	0%	\$ 1,700.00
102800	Accessories	M	\$ 789.00	\$ 789.00	100%	\$ -
<b>FURNISHINGS</b>						
123613	Concrete Countertops		\$ 3,360.00	\$ -	0%	\$ 3,360.00
<b>MECHANICAL</b>						
220500	Common Plumbing	L	\$ 3,000.00	\$ 3,000.00	100%	\$ -
220719	Plumbing Insulation	L	\$ 1,140.00	\$ 500.00	44%	\$ 640.00
220719	Plumbing Insulation	M	\$ 1,620.00	\$ 500.00	31%	\$ 1,120.00
221005	Plumbing Piping	L	\$ 13,130.00	\$ 12,630.00	96%	\$ 500.00
221005	Plumbing Piping	M	\$ 11,406.00	\$ 10,906.00	96%	\$ 500.00

223000	Plumbing Equipment	L	\$ 1,350.00	\$ -	0%	\$ 1,350.00
223000	Plumbing Equipment	M	\$ 3,290.00	\$ -	0%	\$ 3,290.00
224000	Plumbing Fixtures	L	\$ 5,290.00	\$ -	0%	\$ 5,290.00
224000	Plumbing Fixtures	M	\$ 4,240.00	\$ -	0%	\$ 4,240.00
233100	Ductwork	L	\$ 2,445.00	\$ -	0%	\$ 2,445.00
233100	Ductwork	M	\$ 2,310.00	\$ -	0%	\$ 2,310.00
233423	Power Ventilators	L	\$ 800.00	\$ -	0%	\$ 800.00
233423	Power Ventilators	M	\$ 1,630.00	\$ -	0%	\$ 1,630.00
233700	Air Outlets and Inlets	L	\$ 640.00	\$ -	0%	\$ 640.00
233700	Air Outlets and Inlets	M	\$ 745.00	\$ -	0%	\$ 745.00
ELECTRICAL						
260534	Conduit RoughIn	L	\$ 21,422.00	\$ 5,100.00	24%	\$ 16,322.00
260534	Conduit RoughIn	M	\$ 5,528.00	\$ 1,300.00	24%	\$ 4,228.00
262726	Wire	L	\$ 6,451.00	\$ -	0%	\$ 6,451.00
262726	Wire	M	\$ 21,301.00	\$ -	0%	\$ 21,301.00
262716	Gear	L	\$ 1,191.00	\$ -	0%	\$ 1,191.00
262716	Gear	M	\$ 6,000.00	\$ -	0%	\$ 6,000.00
265100	Lights	L	\$ 8,466.00	\$ -	0%	\$ 8,466.00
265100	Lights	M	\$ 29,556.00	\$ -	0%	\$ 29,556.00
SITE WORK						
328400	Irrigation System	L	\$ 21,814.00	\$ -	0%	\$ 21,814.00
328400	Irrigation System	M	\$ 27,762.00	\$ -	0%	\$ 27,762.00
	Strip and Spread Topsoil	L	\$ 16,400.00	\$ 12,250.00	75%	\$ 4,150.00
	Grading	L	\$ 137,050.00	\$ 137,050.00	100%	\$ -
	Overexcavation	L	\$ 35,000.00	\$ 35,000.00	100%	\$ -
	Overexcavation	M	\$ 34,000.00	\$ 34,000.00	100%	\$ -
	Subgrade Prep	L	\$ 13,500.00	\$ 4,000.00	30%	\$ 9,500.00
	Granular Fill	L	\$ 2,000.00	\$ 2,000.00	100%	\$ -
	Granular Fill	M	\$ 4,500.00	\$ 4,500.00	100%	\$ -
	Wet Well	L	\$ 20,000.00	\$ 18,000.00	90%	\$ 2,000.00
	Wet Well	M	\$ 56,855.00	\$ 56,855.00	100%	\$ -
	Storm Sewer	L	\$ 29,256.00	\$ 29,256.00	100%	\$ -
	Storm Sewer	M	\$ 34,344.00	\$ 34,344.00	100%	\$ -
	Water Line	L	\$ 2,000.00	\$ 2,000.00	100%	\$ -
	Water Line	M	\$ 2,000.00	\$ 2,000.00	100%	\$ -
	Hardscape	L	\$ 94,880.00	\$ 76,000.00	80%	\$ 18,880.00
	Hardscape	M	\$ 106,993.00	\$ 86,000.00	80%	\$ 20,993.00
	Seeding		\$ 9,600.00	\$ -	0%	\$ 9,600.00
GRAND TOTAL			\$ 2,068,205.00	\$ 1,463,670.00		\$ 604,535.00

Change Order No. 1- Interior Door Frame and Erosion Control Stone

Provide and install deeper interior door frame. Add erosion control stone to lakeside pump intake area. \$2,620.00 \$ 2,620.00 100%

Change Order No. 2- Masonry Veneer Adjustments

Add CMU block to column bases and Amphitheatre. Extend stone veneer and ledge around 3 exterior doors. \$5,940.00 \$ 5,940.00 100%

Total Revised Contract: \$ 2,076,765.00 \$ 1,472,230.00



**APPLICATION FOR PARTIAL PAYMENT OF CONTRACT**

Prepared by  
Nilles Associates, Inc.

**Project Title:** Greenwood Hills Greenbelt - Phase 3 Landscaping  
**Owner:** City of Johnston  
**Contractor:** Applied Ecological Services  
**Address:** 17921 W. Smith Road, Broadhead, WI 53520  
**Original Contract Date:** January 26, 2015

**Payment Request No:** 6

**Payment Time Period:** 8/1/2016 through 9/2/2016

**Contract Summary**

Original Contract Amount:	\$ 114,994.00
Net change by Change Orders:	\$ 1,417.00
Contract Amount to Date:	\$ 116,411.00
Total completed and stored to date:	\$ 105,352.00
Less Retainage: <u>5%</u>	\$ 5,267.60
Total Earned less Retainage:	\$ 100,084.40
Less previous applications for payment:	\$ 98,521.65
<b>SUBTOTAL:</b>	<b>\$ 1,562.75</b>
Other charges (See attached itemized list):	

<b>CURRENT PAYMENT DUE</b>	<b>\$ 1,562.75</b>
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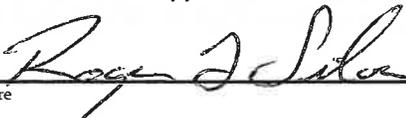
Balance to finish, including retainage: \$ 16,326.60

**Contractor Approval:** Applied Ecological Services  
Firm Name

  
Signature

9/8/16  
Date

**Nilles Associates, Inc Approval:**

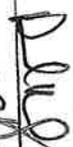
  
Signature

9-14-16  
Date

**Owner Approval:** City of Johnston  
Owner

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

APPROVED FOR PAYMENT  
 BY   
 DATE 9/2/16  
 ITEM GWH Phase 3  
 ACCT # 342.5.770.67650  
 PO # \_\_\_\_\_



**APPLICATION FOR PARTIAL PAYMENT OF CONTRACT**

**Previous Applications for Payment**

#	Date	Amount
1	6/30/2015	\$ 32,300.95
2	8/28/2015	\$ 46,347.18
3	11/25/2015	\$ 8,749.02
4	6/22/2016	\$ 8,896.75
5	7/31/2016	\$ 2,227.75
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
	<b>TOTAL</b>	<b>\$ 98,521.65</b>

**Record of Change Orders**

#	Date	Amount
1	6/30/2015	\$ (1,268.00)
2	8/28/2015	\$ 2,685.00
3		\$ -
4		\$ -
5		\$ --
6		
7		
8		
9		
10		
11		
12		
	<b>TOTAL</b>	<b>\$ 1,417.00</b>

**Contract Time Remaining:**

Contract Period	Completion Date
Original Contract Date:	January 26, 2015
Original Completion Date:	
Change Order:	
Revised Completion Date:	



Motion by \_\_\_\_, seconded by \_\_\_\_\_ to approve the license agreement with Xceligent and authorize the Mayor to execute the agreement on the City's behalf.

# Subscriber Agreement



Application Date	Xceligent Rep	Metro / Service Area	Term (12 mo. Minimum)
Sept. 28 2016	Rico Starling	Greater Iowa	12

**BILLING START DATE** Unless otherwise stated in a supplemental addendum, billing start date will be based on Xceligent's acceptance/execution of this agreement.

SUBSCRIBER CONTACT INFORMATION		BILLING CONTACT INFORMATION	
Company Name:	City of Johnston	Company Name:	City of Johnston
Email Address:	aplagge@cityofjohnston.com	Billing Contact:	
Web Address:	www.cityofjohnston.com	Billing Email:	
Street Address:	6221 Merle Hay Rd., PO Box 410	Street Address:	6221 Merle Hay Rd., PO Box 410
City, State, Zip:	Johnston, IA 50131	City, State, Zip:	Johnston, IA 50131
Phone:	515.278.2344	Phone:	515.278.2344
Fax:		Fax:	
Contact Person:	Adam Plagge	This space intentionally left blank.	
Contact Phone:	515.727.7774		
Contact Email:	aplagge@cityofjohnston.com		

PRODUCTS	SERVICE ACTIVATION FEE
<input checked="" type="checkbox"/> CDX Pro	CDX Pro: \$100.00
<input type="checkbox"/> Xceligent Direct	Xceligent Direct:
<input checked="" type="checkbox"/> Data Feed	Data Feed: \$100.00
Third Party Viewer: <input type="checkbox"/> Atlas InSite <input type="checkbox"/> GIS Planning <input checked="" type="checkbox"/> LOIS <input type="checkbox"/> Other (Specify):	

PRICING					
No. Users	Monthly Price/User	Extended Price/User	Subscriber Type	Number	Monthly Amount
1	\$375.00	\$275.00	Users	1	\$275.00
			Admin		
			Xceligent Direct		
			Spaceful		
<b>Total Monthly Rate&gt;&gt;</b>					<b>\$275.00</b>
<input type="checkbox"/> An addendum has been made part of this agreement.					
<input checked="" type="checkbox"/> Third Party Data Feed Addendum has been made a part of this agreement.					

SUBSCRIBER PAYMENT METHOD					
<b>Credit Card</b>		<b>ACH (Bank Draft)</b>		<b>Invoice:</b>	
<input type="checkbox"/> Monthly	<input type="checkbox"/> Quarterly	<input type="checkbox"/> Monthly	<input type="checkbox"/> Quarterly	<input type="checkbox"/> Semi-Annual	If a member opts to pay for service via invoice, only semi-annual and annual options are available. Note that payment must be received before system access will be provided.
<input type="checkbox"/> Semi-Annual	<input type="checkbox"/> Annual	<input type="checkbox"/> Semi-Annual	<input type="checkbox"/> Annual	<input type="checkbox"/> Annual	
Credit Card/Bank info on separate page.					

**IDENTIFICATION INFORMATION:** At least one form of ID info required prior to service activation

Federal Tax ID: 42-6151614	Drivers License #:	State: IA
----------------------------	--------------------	-----------

Other terms and conditions of the CDX Service are set forth on the following pages of this Agreement. If the Subscriber is an entity, the undersigned represents that he or she is a duly authorized representative of the entity.

**SUBSCRIBER**

Signature

Name (Print): \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

**XCELIGENT, Inc.**, 103 SE Magellan Dr, Blue Springs, MO 64014

Signature: \_\_\_\_\_

Name (Print): \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

If signing on behalf of an entity, I represent that I am a duly authorized representative of the entity shown under "Company Name." If I am representing a corporation, I acknowledge that the execution of this Agreement has been authorized by all necessary corporate actions.

1.1 **TERMS AND CONDITIONS** –The Terms and Conditions are incorporated herein, and Subscriber acknowledges that Subscriber has been given the opportunity to read, understand and agree to the Terms and Conditions and agree to be bound by such Terms and Conditions.

1.2 This Agreement may be executed in one or more counterparts, and by the different parties hereto in separate counterparts, each of which when executed will be deemed to be an original but all of which taken together will constitute one and the same agreement. Delivery of an executed counterpart of a signature page to this Agreement by facsimile or other electronic delivery will be effective as delivery of a manually executed counterpart of this Agreement.

## 2. DEFINITIONS

- 2.1 **Access Code:** The log in code and password combination assigned to each User allowing access to the CDX Service.
- 2.2 **CDX (Commercial Data Exchange):** The CDX Application and the Database Content that is available as part of the CDX Service.
- 2.3 **CDX Application:** Xceligent's proprietary software application used to provide the CDX Service.
- 2.4 **CDX Service:** Xceligent's standard web-based commercial real estate service offered by Xceligent that provides subscribers a means to profile commercial real estate property, listing and transaction information and exchange such information with other subscribers.
- 2.5 **Database Content:** Any commercial real estate property listings, including but not limited to, transaction information, attachments, and images entered into the CDX by Subscriber, Subscriber's Users and/or Xceligent.
- 2.6 **Derivative Works:** Reports or any other products produced utilizing or derived from Database Content.
- 2.7 **Users:** Those designees of Subscriber with Access Codes registered to access the CDX.

## 3. FEES AND PAYMENT

- 3.1 To the extent that the Subscription Fees for the CDX Service are quoted as a monthly rate, Subscriber will be invoiced in advance for such Subscription Fees. All fees are non-refundable.
- 3.2 If Xceligent terminates this Agreement pursuant to Section 4.2 or 4.3 of this Agreement, all fees due by Subscriber through the end of the current term are accelerated and immediately due and payable.
- 3.3 The Monthly Subscription Rate for any Renewal Term may be changed by Xceligent by providing Subscriber with written notice of such change at least ninety (90) days prior to the end of the then current Term. Xceligent will directly bill Subscriber for all of its Users.
- 3.4 Subscriber shall, in addition to paying its Subscription Fees, pay all sales taxes, use fees, excise fees, tariffs and any other charges by governments related to its use of the CDX Service, excluding those based upon Xceligent's net income.
- 3.5 Late payments will accrue interest at 1½% per month (or, if lesser, the maximum rate permissible by law) measured from the date the amount was due until the date such amount is paid by Subscriber. If Xceligent commences collection proceedings to recover past due amounts, Subscriber shall pay all reasonable collection costs incurred, including reasonable attorney's fees.
- 3.6 Subscriber may request Users to have access to the CDX Service in addition to the number of Users set forth on page 1 of this Agreement, on the terms described herein. Upon enabling the additional Users requested by Subscriber, no further documentation will be required between Subscriber and Xceligent. Xceligent will automatically incrementally bill Subscriber at the then applicable monthly rate per User per additional User on the next applicable invoice. It is understood and agreed that the number of Users may be increased during the term of this Agreement, but may not be decreased without the prior written consent of Xceligent. Upon any renewal of the term of this Agreement, with respect to each additional User who was added during the immediately preceding term, Subscriber will continue to be billed by Xceligent for such additional User at the then applicable monthly rate per User.
- 3.7 If Subscriber's account is thirty (30) days or more overdue then, in addition to any of its other rights or remedies, Xceligent reserves the right to suspend Subscriber's access to the CDX Service, without liability to Subscriber, until such amounts are paid in full.

## 4. TERM AND TERMINATION

- 4.1 The Term of this Agreement shall commence on the execution date by Xceligent and shall remain in effect for a period no less than stated on page 1 of this Agreement (the "Initial Term"). **IF NOT OTHERWISE TERMINATED AS HEREIN PROVIDED, THIS AGREEMENT SHALL AUTOMATICALLY RENEW FOR SUCCESSIVE ONE-YEAR PERIODS FOLLOWING THE END OF THE INITIAL TERM (EACH, A "RENEWAL TERM, AND TOGETHER WITH THE INITIAL TERM, THE "TERM"). EITHER PARTY MAY TERMINATE THIS AGREEMENT WITH WRITTEN NOTICE SIXTY (60) DAYS PRIOR TO THE END OF THE CURRENT TERM.**
- 4.2 Either party may provide notice of termination of this Agreement and exercise its rights and remedies provided in this Agreement and by law in the event of a material breach by the other party which remains uncured after 30 days written notice of such breach. The cure period will not apply to any breach by Subscriber of Sections 5.1, 5.2 or 7.1 of this Agreement. Additionally, Subscriber shall not have more than two (2) notice and cure opportunities in any twelve month period.
- 4.3 Either party may terminate this Agreement if any of the following occurs: (a) the other party becomes insolvent, (b) voluntary or involuntary proceedings by or against the other party are instituted in bankruptcy or under any insolvency law, (c) a receiver or custodian or similar agent is appointed for the other party, (d) proceedings are instituted by or against the other party for corporate reorganization or the dissolution of such party, which proceedings, if involuntary, shall not have been dismissed within 30 days after the date of filing, (e) the other party makes an assignment for the benefit of creditors, (f) all or substantially all of the assets of the other party are seized or attached and not released within 30 days thereafter, or (g) the other party has ceased its on-going business operations.
- 4.4 Except as specifically provided herein, termination of this Agreement shall be without prejudice to any right of the party seeking termination to also sue for damages resulting from any breach of this Agreement.
- 4.5 Upon the expiration or termination of this Agreement: (a) all rights granted to Subscriber under this Agreement will cease, except the following Sections of this Agreement will survive: 2, 3.1, 3.2, 3.7, 4.5, 7, 8, 9, 10 and 11, (b) Subscriber shall immediately pay all amounts owed under this Agreement, and (c) Subscriber shall and shall cause all of its User's to cease using the CDX Service and no longer utilize and promptly destroy all Database Content not entered into by Subscriber or Subscriber's Users received hereunder.

Initials:

## 5. CDX SERVICE

- 5.1 Xceligent will give an Access Code to each User. It is understood and agreed that in order to receive an Access Code, a User must accept Xceligent's terms and conditions on the CDX web site.
- 5.2 Subscriber and/or Subscriber's User's shall comply with all Xceligent's security procedures to maximize the security of the CDX Service, including prevention of sharing Access Codes and unauthorized access to the CDX Service. Each Access Code is personal to the User and such User is obligated to keep the Access Code confidential and may not share the Access Code with any other employee of Subscriber or any third party. Subscriber shall be responsible for any breach of such obligations by any of its Users. Subscriber shall immediately notify Xceligent if any third party gains or has the potential to gain access to any of Subscriber's User's Access Codes, and shall be fully responsible for any and all activities that occur under any Access Code, whether conducted by a User or a third party.
- 5.3 Xceligent may from time to time change, update or enhance the CDX Service, by posting a notice of the change on the CDX web site.
- 5.4 Subscriber is solely responsible for acquiring and installing all equipment, hardware, software (including web browser software), telecommunications lines, Internet access connections and other items (the "Access Systems") necessary to use the CDX Service.

## 6. NON-COMPETE AND COMMITMENTS

- 6.1 During the Term, Subscriber agrees not to compete with Xceligent in the development and marketing of a software or database application that will offer a computerized data service for commercial real estate.
- 6.2 Xceligent represents and warrants that the up-time for User's access to the CDX Service will be 99.7% measured on a monthly basis for all Users accessing the CDX Service in the preceding calendar month. The up-time computation under this Section 6.2 shall exclude: (i) down-time resulting from factors beyond the reasonable control of Xceligent, including but not limited to actions or inactions of any User or any third parties not affiliated with Xceligent or failures that resulted from any User's equipment and/or third party equipment; and (ii) down-time resulting from scheduled maintenance or upgrades. Subscriber's sole remedy for service outages for the CDX Service will be a prorated credit on the next invoice. Any unused credits at the end of the Term shall extend the Term until such unused credits are reduced to zero (by applying such credits against the then applicable monthly rate).
- 6.3 No more than twice in any 12 month consecutive period, Xceligent may audit Subscriber during normal business hours for the purpose of ensuring Subscriber's compliance with the terms and conditions of this Agreement, upon at least ten days prior written notice; provided, however, that the limit on the number of audits per year shall not apply if an audit indicates any Subscriber non-compliance under this Agreement. If the audit indicates there is a breach in Subscriber's compliance with this Agreement: (i) Xceligent may, if the breach is not curable, immediately terminate this Agreement and pursue its legal remedies or if the breach is curable, terminate this Agreement and pursue its legal remedies if such breach is not cured within 15 days or such additional time as mutually agreed upon by the parties if such breach is not curable in fifteen 15 days.

## 7. CONTENT AND PROPRIETARY RIGHTS

- 7.1 Subscriber may not submit any image to the CDX if Subscriber has granted exclusive rights to the image to a third party, nor may Subscriber submit any image to the CDX and thereafter grant exclusive rights to the image to a third party. Subscriber may not submit any image obtained from the CDX to a third party if a requirement of submitting the image is the granting of exclusive rights to the image. Xceligent may reject or refuse to use, distribute or display any Database Content that it considers to be defective, libelous, inaccurate, incomplete or that violates, misappropriates or infringes any rights of any third party. Neither Subscriber nor any User may submit any property descriptions, photographs, images, financial, transactional, tenant, contact or other information to the CDX unless Subscriber has legal rights to publish, advertise and distribute that information.
- 7.2 Subscriber hereby grants to Xceligent a non-exclusive license to develop, use, display, distribute, exploit and sell Derivative Works utilizing Database Content entered into the CDX by or on behalf of Subscriber and Subscriber's Users.

- 7.3 If an error in the Database Content or in any information contained in the CDX is caused by Xceligent, Subscriber's sole remedy will be the correction of the error after notice to Xceligent.
- 7.4 Xceligent may modify or suspend access to the CDX Services (a) as necessary to comply with any law or regulation as reasonably determined by Xceligent, (b) to comply with any court order or instruction or (c) if deemed reasonably necessary by Xceligent to prevent substantial harm to Xceligent or their businesses.
- 7.5 Xceligent shall retain all right, title and propriety interest (including without limitation all copyrights, trademarks, patents, and trade secrets) in and to the CDX Service (other than Subscriber's Database Content), CDX Application and CDX including the designs, user interfaces, protocols, the "look and feel" of all screens and the organization and presentation of any of its components and Subscriber shall not acquire any proprietary rights thereto. Subscriber acknowledges that the development of the CDX Service, CDX Application and CDX involved the expenditure of substantial time and money. Except as expressly provided herein, Xceligent does not grant any rights to Subscriber or any Users under any patents, copyrights, trademarks or trade secret information. Subscriber shall not alter or remove Xceligent's name, trademarks, copyright notices, disclaimers or other restrictive legends on the CDX Service, CDX Application and CDX, any component thereof.
- 7.6 Without limiting any other provision in this Agreement, Xceligent grants Subscriber a limited, non-exclusive, non-transferable, non-assignable, revocable license to use the CDX Service (and the Database Content not entered into by Subscriber or Subscriber's Users) solely for internal use including the provision of services to its clients or marketing its services to prospective clients in accordance with the terms, restrictions and limitations set forth herein (including without limitation, the prohibitions set forth in Section 7.7).
- 7.7 Subscriber acknowledges that the following are strictly prohibited: (i) the license, grant, transfer, sale, assignment, and distribution of the CDX Service (and the Database Content not entered into by Subscriber or Subscriber's Users) or otherwise making the CDX Service (and the Database Content not entered into by Subscriber or Subscriber's Users) available to, or utilizing for, any third party; (ii) redistribution to any third party any Database Content not entered into by Subscriber or Subscriber's Users; and (iii) developing a competitive product or service or building a product using the same features and functions of the CDX Service or similar ideas, features, functions, or graphics.

## **8. WARRANTIES**

- 8.1 Subscriber represents, warrants and covenants that, and Subscriber will comply with all applicable laws, rules and regulations. Subscriber represents, warrants and covenants that (i) neither the execution of this Agreement by Subscriber nor its performance of its obligations hereunder violates any agreement to which it is a party or by which it is bound, (ii) it has the right to enter into this Agreement and perform its obligations hereunder and to grant to Xceligent the rights set forth in this Agreement and the rights in the Database Content submitted by Subscriber and its Users, (iii) no submission of Database Content will violate the rights of any third party, whether those rights arise by contract or otherwise, and (iv) Subscriber will comply with all applicable laws, rules and regulations with regard to the performance of its obligations hereunder and the use of the CDX Service.
- 8.2 **EXCEPT AS OTHERWISE EXPRESSLY PROVIDED IN THIS AGREEMENT, XCELIGENT DISCLAIMS ALL WARRANTIES OR REPRESENTATIONS WITH RESPECT TO THE SERVICES PROVIDED, WHETHER EXPRESSED OR IMPLIED, ARISING BY LAW, CUSTOM, ORAL OR WRITTEN STATEMENTS OR OTHERWISE, INCLUDING BUT NOT LIMITED TO WARRANTIES OF NON-INFRINGEMENT, FREEDOM OF INTERFERENCE WITH ENJOYMENT, MERCHANTABILITY, QUALITY, ACCURACY, COMPLETENESS, FITNESS OF RESULTING WORK PRODUCT AND FITNESS FOR A PARTICULAR PURPOSE OR THAT THE CDX APPLICATION OR THE CDX WILL GENERATE CERTAIN RESULTS, WORK IN COMBINATION WITH OTHER COMPONENTS OR AS AN INTEGRATED SYSTEM OR WILL FULFILL ANY SUBSCRIBER'S PARTICULAR NEEDS.**
- 8.3 Access by Subscriber and Users to Database Content and modifications or additions thereto and related documentation, regardless of form, is provided "as is" and with all faults and the entire risk as to satisfactory quality, performance, accuracy and effort is with Subscriber.

## **9. INDEMNITIES**

- 9.1 Subscriber shall indemnify Xceligent and its directors, officers, employees and affiliates (collectively, the "Covered Entities") and defend and hold harmless the Covered Entities from and against any and all losses, damages, expenses and liabilities suffered by any of them or to which any of them become subject, resulting from, arising out of or relating to: (1) any claim, action or demand with respect to the business, resources, technology or services of Subscriber (including the Database Content of Subscriber) for: (a) infringement or misappropriation of any intellectual property rights; (b) defamation, libel, slander, obscenity, pornography or violation of the rights of privacy or publicity; or (c) spamming or any other offensive, harassing or illegal conduct or violation of the acceptable use guidelines of the CDX; or (2) the business, resources or services of Subscriber (including the Database Content of Subscriber). Subscriber shall not enter into any settlement that adversely affects Xceligent's rights or interests without first obtaining the prior written consent of Xceligent, as applicable.
- 9.2 Xceligent shall defend, indemnify and hold Subscriber harmless Subscriber from and against any and all losses, damages, expenses and liabilities suffered by Subscriber or to which Subscriber become subjects, resulting from, arising out of or relating to any completed third party claim, demand or action that the CDX Service (excluding the Database Content and any information or technology provided by any Subscriber and excluding any combination of Database Content with other products or information not a part of the CDX) infringes the United States patents, trademarks, copyrights, trade secrets or other intellectual property rights of any third party. In no event will the obligations of Xceligent under this Section 9.2 apply to any claim which arose from (i) a use of the CDX Service by Subscriber or any of its Users which was not in accordance with the terms of this Agreement, or (ii) a modification to the CDX Service not consented to in writing by Xceligent. Without limiting the generality of the foregoing, should the CDX Service or any part thereof become, or in Xceligent's opinion be likely to become, the subject of a claim of infringement or the like, Xceligent may, in its sole discretion procure for Subscriber the right to continue using the CDX Service, or replace or modify the CDX Service without changing its functional capabilities, so that the CDX Service becomes non-infringing. If Xceligent determines in its discretion that the foregoing are not reasonable, Xceligent may terminate this Agreement and refund to Subscriber the entire fees paid to Xceligent by Subscriber prorated to reflect use of the CDX Service by Subscriber prior to commencement of the claim or proceeding described herein.

## **10. LIMITATIONS OF LIABILITY**

- 10.1 **XCELIGENT'S LIABILITY UNDER THIS AGREEMENT WILL NOT EXCEED, IN THE AGGREGATE, THE AMOUNT OF SUBSCRIPTION FEES PAID BY SUBSCRIBER PURSUANT TO THIS AGREEMENT FOR THE TWELVE MONTH PERIOD PRECEDING THE DATE OF THE ACTION OR OMISSION GIVING RISE TO SUBSCRIBER'S CLAIM.**
- 10.2 Xceligent will not be liable for any indirect damages, consequential damages, damages for loss of profits or revenues, lost data, business interruption or loss of business information arising in connection with this Agreement, even if informed of the possibility of such damages by the Subscriber.

## **11. GENERAL**

- 11.1 Subscriber may not assign this Agreement or any of Subscriber's rights or obligations hereunder without Xceligent's prior written consent.
- 11.2 This Agreement may not be amended or modified except in a written document signed by an authorized representative of both parties.
- 11.3 Subscriber agrees to allow Xceligent to use Subscriber's name and logo for the purpose of indicating Subscriber is a client of Xceligent without indicating any endorsement of any services provided.
- 11.4 Subscriber acknowledges that a violation of this Agreement by it may cause substantial and irreparable injury to Xceligent for which Xceligent's remedies at law may not be adequate. Accordingly, Subscriber agrees that Xceligent shall be entitled to seek injunctive relief with respect to any breach, or threatened breach, of this Agreement, and that such right shall be in addition to, and not in limitation of, any other rights or remedies to which Xceligent may be entitled at law or in equity. The rights and remedies provided for in this Agreement are cumulative and shall be in addition to any other rights and remedies provided by law or in equity.
- 11.5 All notices relating to this Agreement must be in writing and either delivered personally, mailed (first class mail, postage paid) certified mail, return receipt requested), by overnight courier or transmitted by facsimile to the addresses set forth herein or to such other address as any party may substitute by written notice to the other.
- 11.6 This Agreement and all of the transactions contemplated hereby will be governed by and construed in accordance with the laws of the state of Missouri, without regard to any conflict or choice of law principles. The parties expressly agree to submit all disputes concerning this Agreement to the exclusive personal jurisdiction and venue of the federal and state courts sitting in Kansas City, Missouri.
- 11.7 If any provision of this Agreement is for any reason held unenforceable or invalid, then this Agreement shall be construed as if such provision were not contained herein.
- 11.8 The parties to this Agreement are independent contractors. No party has any right or authority to act on behalf of any other party.
- 11.9 This Agreement constitutes the entire agreement, and supersedes all prior agreements, between the parties with respect to the subject matter hereof. In the event of a conflict between the terms of this Agreement and any other source, the provisions of this Agreement shall control.
- 11.10 Neither Xceligent nor Subscriber will be liable for delays or failure in performance where the delay or failure is due to an event beyond either's control, including acts of God, war, terrorism, civil disturbance or otherwise.
- 11.11 Neither party may disclose the terms and conditions of this Agreement to any third party.

# Subscriber Agreement



<b>Company Name:</b> City of Johnston	
<b>Contact:</b> Adam Plagge	
<b>Metro:</b> Greater Iowa (Des Moines)	
SUBSCRIBER PAYMENT METHOD	
Credit Card	
<input type="checkbox"/> Monthly <input type="checkbox"/> Quarterly	<input type="checkbox"/> Semi-Annual <input checked="" type="checkbox"/> Annual
<input type="checkbox"/> VISA <input type="checkbox"/> Master Card <input type="checkbox"/> AMEX	
ACH (Bank Draft)	
<input type="checkbox"/> Monthly <input type="checkbox"/> Quarterly	<input type="checkbox"/> Semi-Annual <input type="checkbox"/> Annual
<b>Cardholder's Name:</b>	<b>Name of Financial Institution:</b>
<b>Card Billing Address:</b>	<b>FI – Account Number:</b>
<b>Card Billing City/ST/Zip:</b>	<b>FI – ABA / Routing Number:</b>
<b>Account #:</b>	(Voided check required.)
<b>Exp Date:</b>	<b>CCV:</b>

I authorize Xceligent, Inc. to process payment for services based on the information I have provided above.

Signature: 

Name (Print): \_\_\_\_\_

Date: \_\_\_\_\_





**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 October 3, 2016

**SUBJECT:**

Consider Resolution 16-208, initiating an official zoning map amendment to rezone approximately 5.51 acres and adjoining right-of-way from Planned Unit Development (PUD) allowing limited Community Retail Commercial District uses to PUD allowing limited Community Retail Commercial District uses in addition to those of the R-4, High Density Residential District by referring to the Planning and Zoning Commission for review and recommendation. The subject property is located west of NW 86<sup>th</sup> Street and south of NW 54<sup>th</sup> Avenue.

**ACTION REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Review

AW

**SYNOPSIS:**

The property owner has requested a rezoning of their property to PUD allowing High Density Residential Uses in addition to those of the C-2, Community Retail Commercial District.

Chapter 166.15 of the City of Johnston Code of Ordinances allows the City Council to initiate a zoning map amendment upon written request of the property owner. This resolution initiates said request by referring to the Planning Commission for review and recommendation.

**RECOMMENDATION:**

Accept the petition/owner's request and initiate an official zoning map amendment by referring this request to the Planning and Zoning Commission for review and recommendation.

**Attachments:**

- Rezoning Petition/written request of property owner;
- Vicinity Map;

**RESOLUTION 16-208**

**A RESOLUTION INITIATING AN OFFICIAL ZONING MAP AMENDMENT FOR APPROXIMATELY 5.51 ACRES AND ADJOINING RIGHT-OF-WAY FROM PUD ALLOWING LIMITED C-2, COMMUNITY RETAIL COMMERCIAL DISTRICT USES TO PUD ALLOWING LIMITED C-2 DISTRICT USES AND USES OF THE R-4, HIGH DENSITY RESIDENTIAL DISTRICT TO BE KNOWN AS THE ROUGHWOOD PUD, LOCATED WEST OF NW 86<sup>TH</sup> STREET AND SOUTH OF NW 54<sup>TH</sup> AVENUE.**

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that:**

The City Council hereby initiates an official zoning map amendment and refers the case to the Planning and Zoning Commission for recommendation.

**PASSED AND APPROVED** this 3<sup>rd</sup> day of October, 2016.

\_\_\_\_\_  
PAULA DIERENFELD, MAYOR

ATTEST:

\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

# Rezoning Area Vicinity Map



PETITION FOR CHANGE IN ZONING CLASSIFICATION

To: Honorable Mayor and City Council  
Johnston City Hall  
6221 Merle Hay Road  
P.O. Box 410  
Johnston, IA 50131-0410

CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.  
DATE REC'D: 09/08/2016  
CASE NO.: PZ 110-31

Date: SEPT. 7, 2016

We, the owners of property located at 8626 - 8684 NW 53<sup>RD</sup> PL.; 5310 NW 86<sup>TH</sup> ST.  
respectfully petition you to amend the Johnston Zoning Ordinance by rezoning the following legally  
described property:

SAME AS ABOVE

from the PUD District to the PUD + MULTIFAMILY District.  
(Present Zoning) (Proposed Zoning)

Provided herewith on the attached pages are the signatures of the owners of at least fifty percent (50%) of  
the property within 250 feet of the petitioned area, all as property owners consenting to this petitioned  
rezoning.

Signature of Petitioner  
3737 WOODLAND AVE. SUITE 100  
Address WEST DES MOINES, IA 50266  
515-778-7268  
Phone Number

Attachments

\*\*\*\*\*

FOR OFFICE USE ONLY

Petition Received By: \_\_\_\_\_ Date: \_\_\_\_\_

Petition Filed: \_\_\_\_\_ Fee Paid: \_\_\_\_\_ Receipt Number: \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Johnston, Iowa

Submission Date: 9/9/2016

Fee Amount: \_\_\_\_\_

No application will be accepted unless it complies with all the submittal requirements. Incomplete application will be returned to the applicant without further review.

**TYPE OF REQUEST:**

- Zoning Map Amendment
- Site Plan Review
- Planned Unit Development
- Grading Permit
- Administrative Approval
- Auditor's Plat
- Plat of Survey
- Minor Subdivision
- Preliminary Plat
- Final Plat

**PROJECT NAME:**

GATEWAY PLAZA (WORKING NAME)

**PROJECT LOCATION:**

SW CORNER OF 86<sup>th</sup> & 54<sup>th</sup>  
(Street Address or Project Location)

**PROPERTY OWNER:**

LS JT OF IOWA

Name

3137 WOODLAND AVE., SUITE 100

Address

WEST DES MOINES IA

50266

City

515-778-7268

State

Zip

SScott@NAIOPTIMUM.COM

Phone

Fax

Email Address

**APPLICANT:**

STEVE SCOTT

Name

SAME AS ABOVE

Address

City

State

Zip

Phone

Fax

Email Address

**CONSULTANT:**  
(Architect, Engineer, etc.)

G T G COMPANIES

Name

6505 MERLE HAY ROAD

Address

JOHNSTON IA

50131

City

515-528-8178

State

Zip

Phone

Fax

Email Address

**PERSON TO BE BILLED:**

STEVE SCOTT

Name

SAME AS ABOVE

Address

City

State

Zip

Phone

Fax

Email Address

DESCRIBE SCOPE OF PROJECT:

MIXED-USE COMMERCIAL DEVELOPMENT WITH  
85 APARTMENTS, 26,000 SF RETAIL, AND  
STRUCTURED PARKING ON 4.25 ACRE SITE

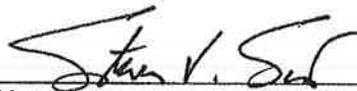
LEGAL DESCRIPTION:

MULTIPLE ASSEMBLED PARCELS

(May be attached separately)

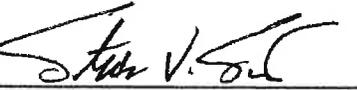
OWNER AND APPLICANT SIGNATURE AND CONSENT:

I/we hereby submit and consent to the development application in the City of Johnston. I/we acknowledge that I/we may be responsible for additional costs for plan review by a consulting engineer and/or attorney. I/we certify that I/we am/are familiar with applicable state and local codes and ordinances, the procedural requirements of the City of Johnston, and have submitted ALL required information.

  
Signature Property Owner

9/16/2016  
Date

STEVEN V. SCOTT  
Property Owner (Please Print)

  
Signature of Applicant

9/16/2016  
Date

STEVEN V. SCOTT  
Applicant (Please Print)

**NOTE: ALL APPLICATIONS MUST HAVE THE CURRENT PROPERTY OWNER'S SIGNATURE(S), OR THE PERSONS WITH THE PROPER POWER OF ATTORNEY.**

For questions concerning this Development Application please contact:

Johnston Community Development Department:  
6221 Merle Hay Road  
P.O. Box 410  
Johnston, IA 50131  
Phone (515) 278-2344  
Fax (515) 727-7776  
www.cityofjohnston.com



**OFFICE OF THE CITY ADMINISTRATOR**  
Johnston, Iowa  
AGENDA COMMUNICATION  
October 3, 2016 Meeting

<b>SUBJECT:</b> Consideration of Resolution No.16-210 A resolution approving change order No. 4 for the NW 70 <sup>th</sup> Avenue Improvements 98 <sup>th</sup> Street to West City limits.	<b>ACTION REQUIRED:</b> <input type="checkbox"/> Ordinance <input checked="" type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

<b>SYNOPSIS:</b>	Alliance Construction Group has submitted a change order on the NW 70 <sup>th</sup> Avenue Improvements 98 <sup>th</sup> Street to West City limits.  Change order no. 4 is to add the following to the contract: <ul style="list-style-type: none"> <li>• New completion date for the project is May 15, 2017</li> </ul>
<b>FISCAL IMPACT</b>	Change order amount <span style="float: right;">\$0</span>
<b>RECOMMENDATION:</b>	Approval

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Consideration of Resolution No. 16-210-A Resolution approving Change Order No. 4 for the NW 70<sup>th</sup> Avenue Improvements 98<sup>th</sup> Street to West City limits.

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Brown	_____	_____	_____	_____
Temple	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____



Department of Public Works  
 6221 Merle Hay Road  
 Johnston, IA 50131  
 (515) 278-2344 Fax (515) 278-2033

**CHANGE ORDER 04**

Distribution:  
 Owner - Finance \_\_\_\_\_  
 Owner - Public Works \_\_\_\_\_  
 Engineer \_\_\_\_\_  
 Contractor \_\_\_\_\_

Contractor: **Alliance Construction Group**  
**3000 SE Grimes Blvd. Ste. 800**  
**Grimes, IA 50111**

Project Title	<b>NW 70th Avenue Improvements 98th Street to West City Limits</b>	
Johnston Project File Number		
Folth Project File Number	<b>13J020.03</b>	
Orig. Contract Amount & Date	<b>\$7,361,434.50</b>	<b>December 21, 2015</b>
Change Order Number	<b>4</b>	
Date	<b>September 29, 2016</b>	

**THE CONTRACT IS CHANGED AS FOLLOWS: Contract Completion Date Extension**

Item No.	Item Code	Description	Unit	Unit Price	Quantity Adjustment	Value Adjustment
		The private utility company Century Link delayed the Contractor from having full access to the project site from March 2016 through the middle of June 2016. The Contractor completed as many work tasks as possible working around the private utility conflicts at a decreased production rate. The original contract completion date is scheduled for October 14, 2016. The Contractor is scheduled to open one lane of traffic in each direction on NW 70th Avenue by October 7, 2016. The Contractor is requesting a Completion Date extension to open all lanes on NW 70th Avenue and NW 100th Street to <b>December 16, 2016</b> barring significant weather delays beyond their control. Sidewalk, trail and final surface restoration will be completed no later than <b>May 15, 2017</b> .	EA	\$0.00	6	\$0.00
						<b>\$0.00</b>

**CHANGE ORDER SUMMARY**

The Original Contract Sum was	\$7,361,434.50
Net Change by previously authorized Change Orders	\$80,778.50
The Contract Sum prior to This Change Order was	\$7,442,213.00
The Contract Sum will be increased by this Change Order in the amount of	\$0.00
<b>The new Contract Sum including this Change Order will be</b>	<b>\$7,442,213.00</b>
The Contract Time will be changed by	213 Days

**NOT VALID UNTIL SIGNED BY THE CONTRACTOR, OWNER'S REPRESENTATIVE (if applicable) AND OWNER**

<b>Prepared By:</b> Foth Infrastructure & Environment, LLC	<b>Recommended By:</b> Alliance Construction Group	<b>Checked By:</b> City of Johnston
Signature:	Signature:	Signature:
Name: Patrick Kueter	Name: Jason DeGraff	Name:
Title: Project Engineer	Title: Project Manager	Title:
Date:	Date:	Date:

<b>Owner:</b>	<b>City of Johnston</b>
<input type="checkbox"/> ≤	\$500 Department Director X _____ Date _____
<input type="checkbox"/>	\$501 to \$2,500 City Administrator X _____ Date _____
<input type="checkbox"/>	Date _____
<input type="checkbox"/> >	\$2,501 City Council approved or ratified at Council meeting on Date _____

**RESOLUTION NO. 16-210**

A RESOLUTION APPROVING CHANGE ORDER NO. 4 FOR THE NW 70<sup>TH</sup> AVENUE IMPROVEMENTS 98<sup>TH</sup> STREET TO WEST CITY LIMITS.

WHEREAS, Patrick Kueter, Project Engineer, for Foth Infrastructure & Environment, LLC, has reviewed the quantities for the projects construction and recommends modifications, now therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that:

Change Order No. 4 is to extend the completion date of the project to May 15, 2017.

PASSED AND APPROVED this 3rd day of October, 2016.

\_\_\_\_\_  
Paula Dierenfeld, Mayor

ATTEST:

\_\_\_\_\_  
Cyndee Rhames, City Clerk

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Brown	_____	_____	_____	_____
Temple	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 October 3<sup>rd</sup>, 2016

<p><b>SUBJECT:</b> Consider approval of the Construction Plans for Canterbury Woods Plat 2. The property is located east of NW 107<sup>th</sup> Street and south of NW 74<sup>th</sup> Place; Resolution 16-211.</p>	<p><b>ACTION REQUIRED:</b>  <input type="checkbox"/> Ordinance  <input checked="" type="checkbox"/> Resolution  <input type="checkbox"/> Approval  <input type="checkbox"/> Receive/File  <input type="checkbox"/> Attorney Review</p> <p style="text-align: right;"><i>AW</i></p>
<p><b>SYNOPSIS:</b></p>	<p>The applicant, The applicant, Canterbury Woods, L.L.C., wishes to construct the public improvements for Canterbury Woods Plat 2. Foth Infrastructure and Environment and City Staff have reviewed the construction plans and found them to be in conformance with the Statewide Urban Standards and Specifications (SUDAS) and City Standards.</p>
<p><b>FISCAL IMPACT:</b></p>	<p>The City would assume maintenance upon acceptance of the improvements and expiration of the 4-year maintenance bond.</p>
<p><b>RECOMMENDATION:</b></p>	<p>Staff recommends approval of Resolution 16-211.</p>

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve Resolution No. 16-211,  
 A resolution approving the construction plans for Canterbury Woods Plat 2.

**Attachments:** Construction Plans Sheet 3, prepared by ABACI Consulting, Inc., and dated August 24, 2016

**RESOLUTION 16-211**

**A RESOLUTION APPROVING THE CONSTRUCTION PLANS FOR CANTERBURY WOODS PLAT 2**

**WHEREAS**, the Construction Plans for Canterbury Woods Plat 2 as prepared by ABACI Consulting, Inc. dated August 24, 2016, have been reviewed by Foth Infrastructure and Environment and City staff, and

**WHEREAS**, said plans conform to the City's Subdivision Regulations, Design Standards and Specifications.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that,**

The Construction Plans for Canterbury Woods Plat 2, prepared by ABACI Consulting, Inc., dated August 24, 2016 are hereby approved.

**PASSED AND APPROVED** this 3<sup>rd</sup> Day of October, 2016.

\_\_\_\_\_  
PAULA DIERENFELD, MAYOR

**ATTEST:**

\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

# Canterbury Woods Plat 2 Vicinity Map



# CONSTRUCTION PLANS CANTERBURY WOODS PLAT 2

JOHNSTON, IOWA

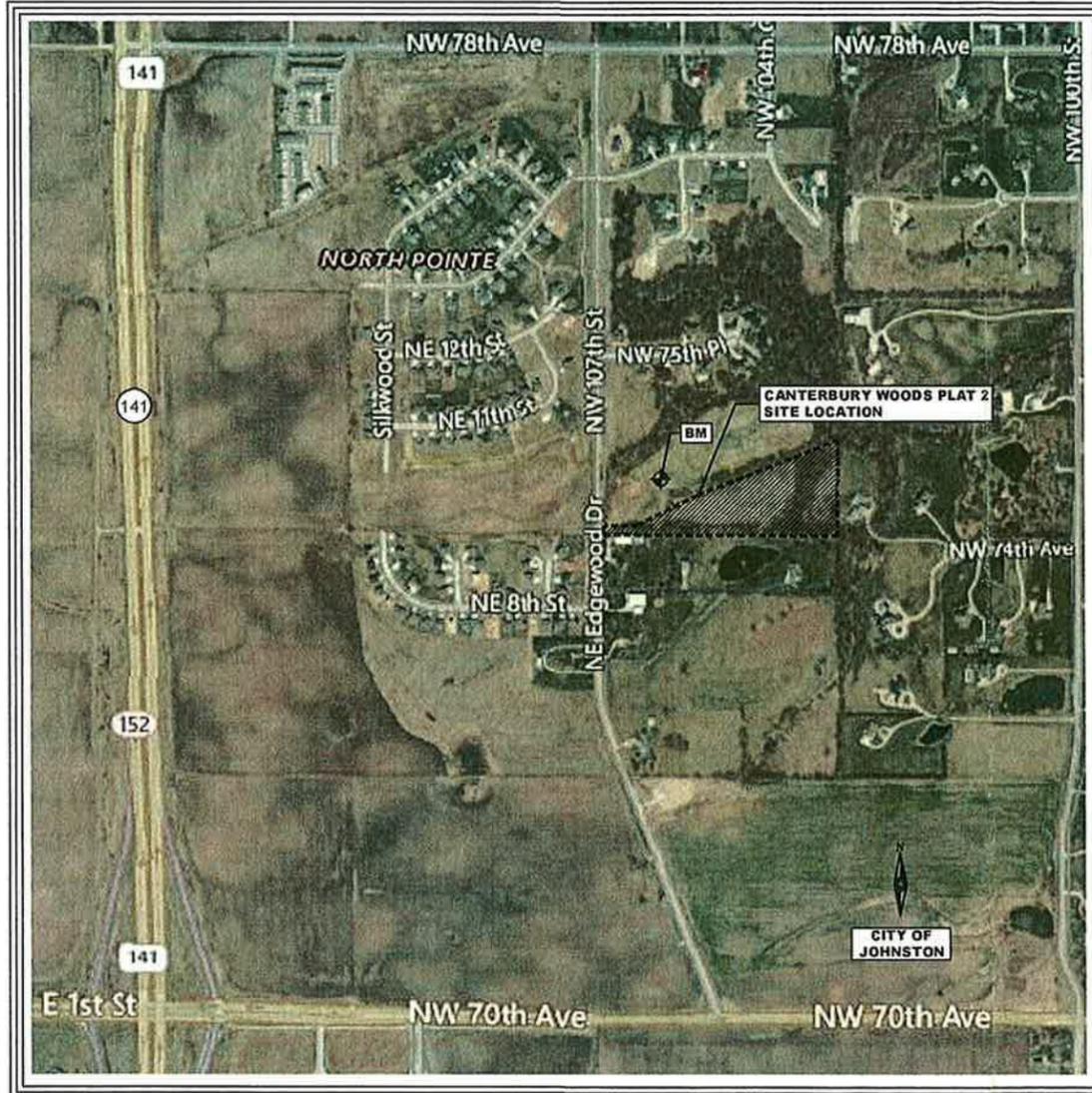
JOB NO: 15063 DRAWING FILE NO: 16-00963

**ABACI CONSULTING, INC.**  
 CIVIL ENGINEERING - LAND SURVEYING  
 101 NE CIRCLE DRIVE, GRIMES, IOWA 50111  
 PH: (515) 986-5048 FAX: (515) 986-0588

### STANDARD SYMBOLS LEGEND:

		<b>LEGEND</b>
		SECTION CORNER (CORNERS SET W/ 1/2" DIA I.R. w/ YW CAP #15982)
		PROPERTY CORNER
		CENTER LINE OF ROAD
		SECTION LINE
		PLAT BOUNDARY LINE
		PLAT LOT LINE
		PROPERTY LINE
		RIGHT OF WAY (ROW)
		BLDG. SETBACK LINE (BSB)
		PUBLIC UTILITY EASEMENT (PUE)
		GAS ASEMENT
		EASEMENT LINE
		SILT FENCE
		6" WATTLE
		EX. FENCE LINE
		WATER MAIN
		SANITARY SEWER PIPE
		STORM SEWER PIPE
		EX. UNDERGROUND ELECTRIC
		EX. UNDERGROUND FIBER OPTICS
		EX. UNDERGROUND TELEPHONE
		EX. UNDERGROUND TV
		EX. UNDERGROUND GAS MAIN
		EX. OVERHEAD ELECTRIC
		MAJOR CONTOUR W/ ELEV.
		MINOR CONTOUR W/ ELEV.
		STORM SEWER MANHOLE
		FLARED END SECTION (FES)
		CLEAN OUT
		SANITARY SEWER MANHOLE
		WATER MAIN GATE VALVE
		WATER SHUTOFF
		FIRE HYDRANT
		SIGN
		GAS VALVE
		POWER POLE W/ LIGHT
		POWER POLE
		MAIL BOX
		FLAG POLE
		ELECTRICAL PEDESTAL/BOX
		TELEPHONE PEDESTAL
		TELEVISION PEDESTAL
		BOLLARD
		SURVEY CONTROL POINT
		BENCH MARK
		PROPOSED GRADE SPOT ELEVATION

### VICINITY SKETCH



SCALE: 1" = 1000'



### JURISDICTIONAL SPECIFIC NOTES:

- J1) All construction shall be in accordance with the 2014 edition Iowa Statewide Urban Standard Specifications for Public Improvements (SUDAS) and any City of Johnston Supplemental Specifications except where explicitly indicated otherwise.
- J2) Obtain permit or written approval from the City (County or State) prior to commencing work within the right-of-ways. The contractor is responsible for any and all traffic control which shall be in accordance with the "Manual of Uniform Traffic Control Devices."

### STORM WATER & GRADING NOTES:

- 1) The contractor is responsible for the protection of all utilities. Call Iowa One Call before digging 1-800-292-8989.
- 2) Strip topsoil in excavated and fill areas. Remove all vegetation and organic materials prior to placing and compacting the fill.
- 3) All cut and fill areas shall be maintained for proper drainage at all times.
- 4) All fill shall be placed in lifts no greater than 8 inches and compacted to a minimum of 95% of Standard Proctor unless otherwise specified in the construction plans. Obtain required compaction within a soil moisture content range of optimum moisture to 4 percentage points above optimum moisture.
- 5) All grading shall be in accordance with the the 2014 Statewide Urban Design Standards (SUDAS) and City of Johnston Erosion and Sediment Control Ordinance.
- 6) Curb backfill shall be compacted and sloped to provide adequate drainage and prevent water from ponding and infiltrating beneath the pavement.
- 7) Disturb as little area as practical during grading procedures.
- 8) Stockpile all stripped topsoil and all excess cut in the area shown on this plan (or in a suitable location). Strip a minimum of 6" of topsoil, respread over all disturbed areas after final grades are reached (except under pavement).
- 9) See the existing Storm Water Pollution Prevention Plan (SWPPP) for erosion control measures.
- 10) This site is in Zone "X" per FEMA FIRM map community panel no. 190901-0085 D with a revision date of 7-19-2000.
- 11) Post development runoff will not adversely effect downstream properties or facilities.
- 12) It shall be the developer's responsibility to apply for and obtain any storm water discharge permits from the Iowa Department of Natural Resources.
- 13) The contractor and subcontractors must maintain proper erosion control throughout the entire project.
- 14) Site soil material must be retained on site by preventing erosion. This includes soil excavations for foundations on each respective lot.
- 15) Any dirt or debris spilled onto adjacent properties or right-of-way shall be cleaned up promptly.
- 16) The last 3 joints, prior to the Flared End Section, of all RCP storm sewer shall be tied. The joints shall be wrapped with engineering fabric.
- 17) All flared end sections shall have a footing as per SUDAS.

### DRAWING INDEX

1	TITLE SHEET
2	GRADING PLAN
3	CANTERBURY PL PLAN & PROFILE
4	CANTERBURY PL ST PLAN & PROFILE
5	DETAILS
6	CUL-DE-SAC DETAILS

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

**PRELIMINARY**

SIGNATURE: MARK A. McMURPHY DATE: \_\_\_\_\_

PRINTED OR TYPED NAME: MARK A. McMURPHY  
 IOWA LIC. NO. 14674  
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016.

PAGES COVERED BY THIS SEAL: SHEETS 1 THROUGH



### ABRIVIATIONS

R	RECORDED BEARING AND DISTANCE
M	MEASURED BEARING AND DISTANCE
C	CALCULATED BEARING AND DISTANCE
T/S	TOP OF SLAB
B/C	BACK OF CURB
NAG	NORTH AMERICAN GREEN (TRM)
FL	FLOW LINE
FG	FORM GRADE
INV	INVERT OF PIPE
TOB	TOP OF BERM
BOC	BEGINNING OF CURVE
EOC	END OF CURVE

### PROJECT INDEX:

**OWNER/DEVELOPER:**  
 ATTN: JOHN LARSON  
 CANTERBURY WOODS, LLC  
 PO BOX 267  
 JOHNSTON, IOWA 50131  
 Ph: 515-491-4090  
 Fx: 515-276-4156  
 e-mail: johnlarson89@gmail.com

**MANAGING OFFICE:**  
**GRIMES OFFICE**  
 101 NE CIRCLE DRIVE  
 GRIMES, IOWA 50111  
 PH: (515) 986-5048  
 FAX: (515) 986-0588

**PROJECT ENGINEER:** MARK McMURPHY  
 EMAIL: mark@abaciconsulting.com

**PROJECT LEGAL DESCRIPTION:**  
 OUTLOT ZZ, CANTERBURY WOODS, OFFICIAL PLAT,  
 JOHNSTON, POLK COUNTY, IOWA  
 CONTAINING 7.644 ACRES.

### PROJECT BULK REGULATIONS:

BULK REGULATIONS	REQD.	PROVIDED
FRONT BSB	35'	35'
SIDE BSB	9'/19' SUM	9'/19' SUM
REAR BSB	35'	35'
LOT AREA	12,500 SQ FT	12,500 SQ FT MIN
LOT WIDTH	87'	87'

### REFERENCE STATEMENT:

THIS SURVEY/ENGINEERING DOCUMENT WAS PREPARED FOR USE ON THIS PROJECT IN ACCORDANCE WITH THE CLIENT'S SCOPE OF WORK REQUIREMENTS. ABACI CONSULTING, INC. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THIS DRAWING (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID SCOPE OF WORK REQUIREMENTS. UTILITIES SHOWN FOR REFERENCE ONLY. IOWA LAW REQUIRES AT LEAST 48 HOURS ADVANCE NOTICE BEFORE EXCAVATION BEGINS. NOTIFY IOWA ONE-CALL SERVICE PHONE 1-800-292-8989. ADDITIONALLY, THE CONTRACTOR SHALL ALSO NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION AND HAVE ANY AND ALL PRIVATE UTILITIES LOCATED.

### PROJECT DATUM:

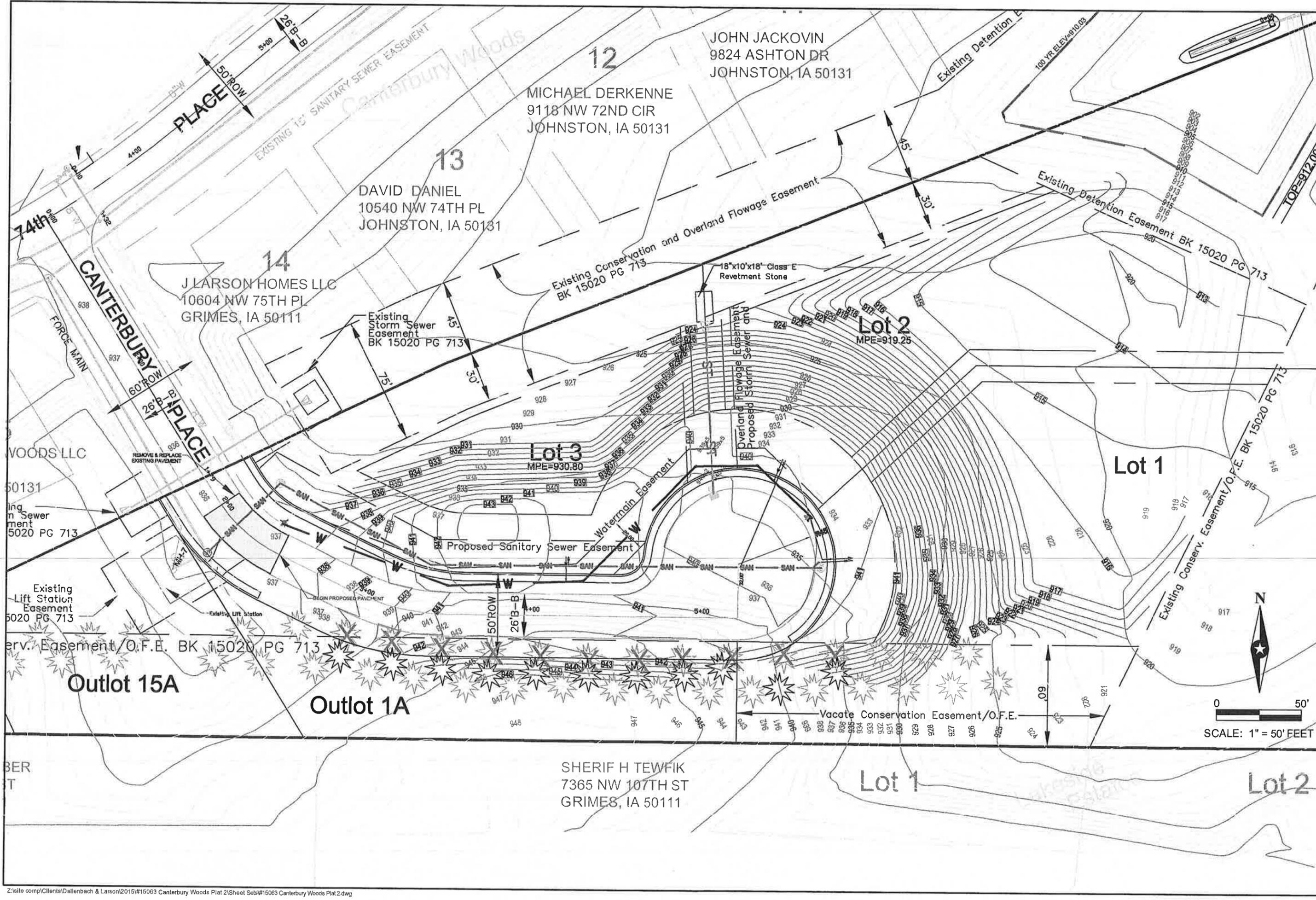
**CITY OF JOHNSTON  
 COMMUNITY DEV. DEPT.**

DATE REC'D: 08/24/2016  
 CASE NO.: PZ 110-75

**BM ELEV = 941.13**  
 BURY BOLT ON HYDRANT AT NE  
 QUADRANT NW 74TH PL & CANTERBURY PL

PROJECT NO: 15063  
 DRAWING FILE NO: 16-00963  
 DRAWN BY: JRS  
 DESIGNED/REVIEWED BY: MAM  
 ISSUE DATE: 8/22/2016  
 1. 8-23-2016 FIRST SUBMITTAL

CONSTRUCTION PLANS  
 JOHNSTON, IOWA  
**CANTERBURY WOODS PLAT 2**



**ABACI CONSULTING, INC.**  
 CIVIL ENGINEERING - LAND SURVEYING  
 101 NE CIRCLE DRIVE, GRIMES, IOWA 50111  
 PH: (515) 986-5048 FAX: (515) 986-0588

PROJECT NO:	15063
DRAWING FILE NO:	16-00963
DRAWN BY:	JJS
DESIGNED/REVIEWED BY:	MAM
ISSUE DATE:	8/22/2016

**CONSTRUCTION PLANS**  
 CANTERBURY WOODS PLAT 2, JOHNSTON, IOWA  
**GRADING PLAN**

Z:\site\comp\Clients\Dallenbach & Larson\2015\15063 Canterbury Woods Plat 2\Sheet Sets\15063 Canterbury Woods Plat 2.dwg



OFFICE OF THE CITY ADMINISTRATOR
Johnston, Iowa
AGENDA COMMUNICATION
October 3, 2016 Meeting

Table with 2 columns: SUBJECT: Approval of Pay Request No. 14 to Alliance Construction Group... and ACTION REQUIRED: Ordinance, Resolution, Approval (checked), Receive/File, Attorney Review

SYNOPSIS:

Attached is Pay Request No 14 in the amount of \$219,476.83 for work completed as of September 23, 2016 on the NW 70th Avenue Improvements 98th Street to West City limits.

\$269,250.60 of the value of completed work has been retained so far.

The Project Engineer, Patrick Kueter with Foth, has determined that work has been performed by the contractor in accordance with the approved plans and specifications, the quantities have been checked and he is recommending payment as provided by the projects contract.

A copy of Pay Estimate No. 14 is attached.

FISCAL IMPACT

The funds for this payment will come from account 346

RECOMMENDATION:

Staff is recommending approval of Pay Estimate No. 14

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Approval of Pay Request No.14 to Alliance Construction Group for work completed as of September 23, 2016 on the NW 70th Avenue Improvements 98th Street to West City limits.

ROLL CALL VOTE table with columns: AYE, NAY, ABSENT, ABSTAIN and rows for Brown, Clabaugh, Cope, Lindeman, Temple



Department of Public Works  
 6221 Merle Hay Road  
 Johnston, IA 50131  
 Phone (515) 278-2344  
 Fax (515) 278-2033

**PAY REQUEST 14**

**Contractor:** Alliance Construction Group  
 3000 SE Grimes Blvd, #800  
 Grimes, IA 50111

**Division 1** City of Johnston

**Division 2** City of Grimes

<b>Project Title:</b> NW 70th Avenue Improvements 98th Street to West City Limits	
<b>Project File Number:</b>	<b>Project Number:</b> 13J020.02
<b>Purchase Order Number:</b>	
<b>Original Contract Amount &amp; Date</b>	\$7,361,434.50 12/21/2015
<b>Notice to Proceed Date</b> 2/29/2016	
<b>Estimated Completion Date</b> 10/14/2016	
<b>Pay Period</b> 9/4/2016	to 9/17/2016
<b>Pay Request Number</b> 14	
<b>Date</b> 9/23/2016	
<b>Contract ID</b>	

**BID ITEMS**

Item No.	Fund.Dept.Object No.	Item Code	Description	Unit	Div. 1 Qty.	Div. 2 Qty.	Unit Price	Div. 1 Cost	Div. 2 Cost	Div. 1 Qty. Completed	Div. 2 Qty. Completed	Div. 1 Val. Completed	Div. 2 Val. Completed	Total Value Completed
<b>DIVISION 2 - EARTHWORK, SUBGRADE AND SUBBASE</b>														
2.1	5.700.67170	2010-C-1000	CLEARING & GRUBBING	LS	0.586	0.414	\$20,000.00	\$11,720.00	\$8,280.00	0.51	0.36	\$10,200.00	\$7,200.00	\$17,400.00
2.2	5.700.67170	2010-D-1000	TOPSOIL, ON SITE	CY	10,284	965	\$16.00	\$164,544.00	\$15,440.00	4501.00	0.00	\$72,016.00	\$0.00	\$72,016.00
2.3	5.700.67810	2010-E-1010	EXCAVATION, CLASS 10, ROADWAY & BORROW	CY	47,462	2,331	\$8.00	\$379,936.00	\$18,648.00	34492.00	2331.00	\$275,936.00	\$18,648.00	\$294,584.00
2.4	5.700.67610	2010-G-1012	SUBGRADE PREPARATION, 12 IN.	SY	9,853	3,244	\$5.00	\$49,265.00	\$16,220.00	15787.95	3244.00	\$78,939.74	\$16,219.98	\$95,159.72
2.5	5.700.67610	2010-G-1018	SUBGRADE PREPARATION, 18 IN.	SY	26,182	0	\$3.50	\$91,637.00	\$0.00	9483.06	0.00	\$33,190.71	\$0.00	\$33,190.71
2.6	5.700.67810	2010-I-1000	MODIFIED SUBBASE	CY	7,264	1,081	\$54.00	\$392,256.00	\$58,374.00	5624.24	1081.00	\$303,708.96	\$58,374.00	\$362,082.96
2.7	5.700.67616	2010-J-1100	REMOVALS, AS PER PLAN	LS	1	0	\$3,200.00	\$3,200.00	\$0.00	1.00	0.00	\$3,200.00	\$0.00	\$3,200.00
2.8	5.700.67170	2010-J-1120	RELOCATION OF MAILBOXES	EA	5	0	\$200.00	\$1,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
2.9	5.760.67650	2010-J-2200	REMOVAL OF CULVERT LESS THAN OR EQUAL TO 36 IN.	LF	35	0	\$30.00	\$1,050.00	\$0.00	35.00	0.00	\$1,050.00	\$0.00	\$1,050.00
2.10	5.766.67800	2010-J-3000	REMOVAL OF WATER MAIN	LF	119	0	\$57.00	\$6,783.00	\$0.00	272.00	0.00	\$15,504.00	\$0.00	\$15,504.00
2.11	5.766.67800	2010-K-1008	FILLING & CAPPING OF PIPE, WATER MAIN, 8 IN.	LF	84	0	\$31.00	\$2,604.00	\$0.00	84.00	0.00	\$2,604.00	\$0.00	\$2,604.00
2.12	5.766.67800	2010-K-1012	FILLING & CAPPING OF PIPE, WATER MAIN, 12 IN.	LF	1,274	0	\$25.00	\$31,850.00	\$0.00	1274.00	0.00	\$31,850.00	\$0.00	\$31,850.00
2.13	5.766.67800	2010-K-1016	FILLING & CAPPING OF PIPE, WATER MAIN, 16 IN.	LF	178	0	\$35.00	\$6,230.00	\$0.00	178.00	0.00	\$6,230.00	\$0.00	\$6,230.00
<b>DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION</b>														
3.1	5.700.67616	3010-C-1000	TRENCH FOUNDATION	TON	500	500	\$32.00	\$16,000.00	\$16,000.00	0.00	0.00	\$0.00	\$0.00	\$0.00

DIVISION 4 - SEWERS AND DRAINS														
4.1	5.766.67670	4010-A-1008	SANITARY SEWER GRAVITY MAIN, TRENCHED, 8 IN.	LF	568	0	\$110.00	\$62,460.00	\$0.00	474.00	0.00	\$52,140.00	\$0.00	\$52,140.00
4.2	5.766.67670	4010-E-1004	SANITARY SEWER SERVICE STUB, TRENCHED, 4 IN.	LF	129	0	\$175.00	\$22,575.00	\$0.00	163.00	0.00	\$28,525.00	\$0.00	\$28,525.00
4.3	5.760.67650	4020-A-1324	STORM SEWER, TRENCHED, RCP, CLASS III, 24 IN.	LF	374	175	\$125.00	\$46,750.00	\$21,875.00	302.75	164.25	\$49,093.75	\$20,531.25	\$69,625.00
4.4	5.760.67650	4020-A-1330	STORM SEWER, TRENCHED, RCP, CLASS III, 30 IN.	LF	166	128	\$250.00	\$41,500.00	\$32,000.00	168.50	130.50	\$42,125.00	\$32,625.00	\$74,750.00
4.5	5.760.67650	4020-A-1336	STORM SEWER, TRENCHED, RCP, CLASS III, 36 IN.	LF	382	208	\$220.00	\$84,040.00	\$45,760.00	267.50	192.50	\$58,850.00	\$42,350.00	\$101,200.00
4.6	5.760.67650	4020-A-1342	STORM SEWER, TRENCHED, RCP, CLASS III, 42 IN.	LF	809	0	\$360.00	\$291,240.00	\$0.00	809.00	0.00	\$291,240.00	\$0.00	\$291,240.00
4.7	5.760.67650	4020-A-1348	STORM SEWER, TRENCHED, RCP, CLASS III, 48 IN.	LF	968	0	\$340.00	\$329,120.00	\$0.00	968.00	0.00	\$329,120.00	\$0.00	\$329,120.00
4.8	5.760.67650	4020-A-1354	STORM SEWER, TRENCHED, RCP, CLASS IV, 54 IN.	LF	623	0	\$285.00	\$177,555.00	\$0.00	623.00	0.00	\$177,555.00	\$0.00	\$177,555.00
4.9	5.760.67650	4020-A-1515	STORM SEWER, TRENCHED, RCP, CLASS V, 15 IN.	LF	2,126	149	\$105.00	\$223,230.00	\$15,645.00	1623.25	200.75	\$170,441.25	\$21,078.75	\$191,520.00
4.10	5.760.67650	4020-A-1518	STORM SEWER, TRENCHED, RCP, CLASS V, 18 IN.	LF	38	22	\$125.00	\$4,750.00	\$2,750.00	92.00	22.00	\$11,500.00	\$2,750.00	\$14,250.00
4.11	5.760.67650	SPECIAL	STORM SEWER, TRENCHED, DIP, 24 IN.	LF	12	0	\$700.00	\$8,400.00	\$0.00	12.00	0.00	\$8,400.00	\$0.00	\$8,400.00
4.12	5.760.67650	4020-C-1000	REMOVAL OF STORM SEWER LESS THAN OR EQUAL TO 36 IN.	LF	552	0	\$50.00	\$27,600.00	\$0.00	751.00	0.00	\$37,550.00	\$0.00	\$37,550.00
4.13	5.760.67650	4020-C-2000	REMOVAL OF STORM SEWER GREATER THAN 36 IN.	LF	517	0	\$75.00	\$38,775.00	\$0.00	547.00	0.00	\$41,025.00	\$0.00	\$41,025.00
4.14	5.760.67650	4030-A-1000	PIPE CULVERT, TRENCHED, CMP, 42 IN.	LF	10	0	\$400.00	\$4,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
4.15	5.760.67650	4030-B-1315	PIPE APRON, CONCRETE, 15 IN.	EA	4	1	\$1,500.00	\$5,250.00	\$750.00	3.50	0.50	\$5,250.00	\$750.00	\$6,000.00
4.16	5.760.67650	4030-B-1354	PIPE APRON, CONCRETE, 54 IN.	EA	2	0	\$5,000.00	\$10,000.00	\$0.00	2.00	0.00	\$10,000.00	\$0.00	\$10,000.00
4.17	5.760.67650	4040-A-1006	SUBDRAIN, PVC, CASE A, 6 IN.	LF	5,539	508	\$13.00	\$72,007.00	\$6,604.00	2711.00	503.00	\$35,243.00	\$6,539.00	\$14,782.00
4.18	5.760.67650	4040-A-2006	SUBDRAIN, HDPE, CASE A, 6 IN.	LF	431	65	\$13.00	\$5,603.00	\$845.00	609.00	65.00	\$7,917.00	\$845.00	\$8,762.00
4.19	5.760.67650	4040-A-3006	SUBDRAIN, PVC, BACKSLOPE, 6 IN.	LF	1,000	0	\$22.00	\$22,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
4.20	5.760.67650	4040-C-1000	SUBDRAIN CLEANOUT, TYPE A-1	EA	14.50	2.50	\$500.00	\$7,250.00	\$1,250.00	8.50	2.50	\$4,250.00	\$1,250.00	\$5,500.00
4.21	5.760.67650	4040-C-1020	SUBDRAIN CLEANOUT, TYPE B	EA	1.75	0.25	\$900.00	\$1,575.00	\$225.00	0.75	0.25	\$675.00	\$225.00	\$900.00
4.22	5.760.67650	4040-D-1010	SUBDRAIN, CONNECTION TO INTAKE OR STORM SEWER	EA	52.25	4.75	\$350.00	\$18,287.50	\$1,662.50	2.75	0.25	\$962.50	\$87.50	\$1,050.00
4.23	5.760.67650	SPECIAL	FIELD TILE, PVC, UNSPECIFIED DIA.	LF	250	250	\$20.00	\$5,000.00	\$5,000.00	98.50	0.00	\$1,970.00	\$0.00	\$1,970.00
4.24	5.760.67650	4080-B-1000	VIDEO INSPECTION OF STORM SEWER	LS	0.566	0.414	\$16,000.00	\$9,376.00	\$6,624.00	0.48	0.34	\$7,680.00	\$5,440.00	\$13,120.00
DIVISION 5 - WATER MAIN AND APPURTENANCES														
5.1	5.766.67800	5010-A-1012	WATER MAIN, TRENCHED, PVC C900, DR18, 12 IN.	LF	663	0	\$45.00	\$29,835.00	\$0.00	663.00	0.00	\$29,835.00	\$0.00	\$29,835.00
5.2	5.766.67800	5010-A-1016	WATER MAIN, TRENCHED, PVC C905, DR18, 16 IN.	LF	214	0	\$70.00	\$14,980.00	\$0.00	214.00	0.00	\$14,980.00	\$0.00	\$14,980.00
5.3	5.766.67800	5010-A-1108	WATER MAIN, TRENCHED, RESTRAINED JOINT, PVC C905, DR18, 8 IN.	LF	40	0	\$85.00	\$3,400.00	\$0.00	40.00	0.00	\$3,400.00	\$0.00	\$3,400.00
5.4	5.766.67800	5010-A-1112	WATER MAIN, TRENCHED, RESTRAINED JOINT, PVC C905, DR18, 12 IN.	LF	337	0	\$80.00	\$26,960.00	\$0.00	337.00	0.00	\$26,960.00	\$0.00	\$26,960.00
5.5	5.766.67800	5010-A-1116	WATER MAIN, TRENCHED, RESTRAINED JOINT, PVC C905, DR18, 16 IN.	LF	257	0	\$150.00	\$38,550.00	\$0.00	257.00	0.00	\$38,550.00	\$0.00	\$38,550.00
5.6	5.766.67800	5010-B-1016	WATER MAIN WITH CASING PIPE, TRENCHED, RESTRAINED JOINT, PVC C905, DR18, 16 IN.	LF	288	0	\$300.00	\$86,400.00	\$0.00	288.00	0.00	\$86,400.00	\$0.00	\$86,400.00
5.7	5.766.67800	5010-C-2000	WATER MAIN FITTINGS	LB	4,314	0	\$7.00	\$30,198.00	\$0.00	4974.00	0.00	\$34,818.00	\$0.00	\$34,818.00
5.8	5.766.67800	5010-D-1002	WATER SERVICE STUB, COPPER, 1 IN.	EA	4	0	\$4,600.00	\$18,400.00	\$0.00	3.00	0.00	\$13,800.00	\$0.00	\$13,800.00
5.9	5.766.67800	SPECIAL	YARD HYDRANT ASSEMBLY	EA	2	0	\$2,000.00	\$4,000.00	\$0.00	2.00	0.00	\$4,000.00	\$0.00	\$4,000.00
5.10	5.766.67800	5020-A-1008	VALVE, GATE, 8 IN.	EA	1	0	\$1,500.00	\$1,500.00	\$0.00	1.00	0.00	\$1,500.00	\$0.00	\$1,500.00
5.11	5.766.67800	5020-A-1012	VALVE, GATE, 12 IN.	EA	5	0	\$2,500.00	\$12,500.00	\$0.00	6.00	0.00	\$15,000.00	\$0.00	\$15,000.00
5.12	5.766.67800	5020-A-1016	VALVE, GATE, 16 IN.	EA	2	0	\$6,500.00	\$13,000.00	\$0.00	2.00	0.00	\$13,000.00	\$0.00	\$13,000.00
5.13	5.766.67800	SPECIAL	REMOVAL OF FIRE HYDRANT ASSEMBLY	EA	5	0	\$2,500.00	\$12,500.00	\$0.00	5.00	0.00	\$12,500.00	\$0.00	\$12,500.00
5.14	5.766.67800	5020-C-1000	FIRE HYDRANT ASSEMBLY	EA	7	0	\$5,000.00	\$35,000.00	\$0.00	7.00	0.00	\$35,000.00	\$0.00	\$35,000.00
5.15	5.766.67800	5020-C-1050	RELOCATE OF FIRE HYDRANT ASSEMBLY	EA	5	1	\$3,500.00	\$17,500.00	\$3,500.00	5.00	1.00	\$17,500.00	\$3,500.00	\$21,000.00
5.16	5.766.67800	5020-F-1000	VALVE BOX EXTENSION	EA	1	0	\$300.00	\$300.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
5.17	5.766.67800	5020-H-1000	FIRE HYDRANT ADJUSTMENT	EA	1	0	\$1,000.00	\$1,000.00	\$0.00	1.00	0.00	\$1,000.00	\$0.00	\$1,000.00
5.18	5.766.67800	SPECIAL	RELOCATION OF WATER MAIN	EA	5	1	\$11,000.00	\$55,000.00	\$11,000.00	1.00	0.00	\$11,000.00	\$0.00	\$11,000.00

**DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWER**

6.1	5.768.67670	8010-A-1048	MANHOLE, SANITARY SEWER, SW-301, 48 IN.	EA	3	0	\$5,500.00	\$16,500.00	\$0.00	3.00	0.00	\$16,500.00	\$0.00	\$16,500.00
6.2	5.760.67350	6010-A-1548	MANHOLE, STORM SEWER, SW-401, 48 IN.	EA	2.75	0.25	\$3,500.00	\$9,825.00	\$875.00	2.00	0.25	\$7,000.00	\$875.00	\$7,875.00
6.3	5.760.67650	6010-A-1560	MANHOLE, STORM SEWER, SW-401, 60 IN.	EA	1.25	0.75	\$5,000.00	\$6,250.00	\$3,750.00	1.25	0.75	\$6,250.00	\$3,750.00	\$10,000.00
6.4	5.760.67650	6010-A-1572	MANHOLE, STORM SEWER, SW-401, 72 IN.	EA	0.75	0.25	\$7,000.00	\$5,250.00	\$1,750.00	0.75	0.25	\$5,250.00	\$1,750.00	\$7,000.00
6.5	5.760.67650	6010-A-1596	MANHOLE, STORM SEWER, SW-401, 96 IN.	EA	2	0	\$30,000.00	\$60,000.00	\$0.00	2.00	0.00	\$60,000.00	\$0.00	\$60,000.00
6.6	5.760.67650	6010-B-1501	INTAKE, SINGLE GRATE, SW-501	EA	9.5	0.5	\$2,500.00	\$23,750.00	\$1,250.00	8.00	1.00	\$20,000.00	\$2,500.00	\$22,500.00
6.7	5.760.67650	6010-B-1501	INTAKE, SINGLE GRATE, SW-501, MOD. 1	EA	1	0	\$3,500.00	\$3,500.00	\$0.00	1.00	0.00	\$3,500.00	\$0.00	\$3,500.00
6.8	5.760.67650	6010-B-1502	INTAKE, SW-502, 48 IN.	EA	3.75	0.25	\$3,500.00	\$13,125.00	\$875.00	3.75	0.25	\$13,125.00	\$875.00	\$14,000.00
6.9	5.760.67650	6010-B-1503	INTAKE, SINGLE GRATE WITH MANHOLE, SW-503	EA	4.50	1.50	\$3,800.00	\$17,100.00	\$5,700.00	5.00	1.00	\$19,000.00	\$3,800.00	\$22,800.00
6.10	5.760.67650	6010-B-1503	INTAKE, SINGLE GRATE WITH MANHOLE, SW-503, MOD. 1	EA	4	0	\$8,000.00	\$32,000.00	\$0.00	1.75	0.00	\$14,000.00	\$0.00	\$14,000.00
6.11	5.760.67650	6010-B-1503	INTAKE, SINGLE GRATE WITH MANHOLE, SW-503, MOD. 2	EA	5	0	\$8,000.00	\$40,000.00	\$0.00	5.00	0.00	\$40,000.00	\$0.00	\$40,000.00
6.12	5.760.67650	6010-B-1505	INTAKE, DOUBLE GRATE, SW-505	EA	3	0	\$3,500.00	\$10,500.00	\$0.00	1.50	0.50	\$5,250.00	\$1,750.00	\$7,000.00
6.13	5.760.67650	6010-B-1506	INTAKE, DOUBLE GRATE WITH MANHOLE, SW-506	EA	5	2	\$8,000.00	\$30,000.00	\$12,000.00	2.00	1.00	\$12,000.00	\$6,000.00	\$18,000.00
6.14	5.760.67650	6010-B-1506	INTAKE, DOUBLE GRATE WITH MANHOLE, SW-506, MOD. 1	EA	1	0	\$13,000.00	\$13,000.00	\$0.00	1.00	0.00	\$13,000.00	\$0.00	\$13,000.00
6.15	5.760.67650	6010-B-1506	INTAKE, DOUBLE GRATE WITH MANHOLE, SW-506, MOD. 2	EA	3	0	\$13,000.00	\$39,000.00	\$0.00	3.00	0.00	\$39,000.00	\$0.00	\$39,000.00
6.16	5.760.67650	6010-B-1513	INTAKE, OPEN-SIDED AREA, SW-513, 4' x 4'	EA	2.50	1.50	\$4,000.00	\$10,000.00	\$6,000.00	2.50	1.50	\$10,000.00	\$6,000.00	\$16,000.00
6.17	5.760.67650	6010-B-1513	INTAKE, OPEN-SIDED AREA, SW-513, 4' x 4', MOD. 1	EA	1	0	\$5,000.00	\$5,000.00	\$0.00	1.00	0.00	\$5,000.00	\$0.00	\$5,000.00
6.18	5.760.67650	6010-B-1513	INTAKE, OPEN-SIDED AREA, SW-513, 6' x 6', MOD. 1	EA	1	0	\$7,500.00	\$7,500.00	\$0.00	1.00	0.00	\$7,500.00	\$0.00	\$7,500.00
6.19	5.760.67650	6010-F-1000	MANHOLE ADJUSTMENT, MAJOR	EA	6	0	\$3,000.00	\$18,000.00	\$0.00	1.00	0.00	\$3,000.00	\$0.00	\$3,000.00
6.20	5.760.67650	6010-G-2000	CONNECTION TO EXISTING SANITARY MANHOLE	EA	3	0	\$4,000.00	\$12,000.00	\$0.00	3.00	0.00	\$12,000.00	\$0.00	\$12,000.00
6.21	5.760.67650	6010-H-1000	REMOVE MANHOLE OR INTAKE	EA	15.50	1.50	\$700.00	\$10,850.00	\$1,050.00	14.50	1.50	\$10,150.00	\$1,050.00	\$11,200.00

**DIVISION 7 - STREETS & RELATED WORK**

7.1	5.760.67610	7010-A-1090	PAVEMENT, PCC, CLASS C-QMC, 9 IN.	SY	27,762	2,567	\$64.20	\$1,782,320.40	\$164,801.40	17420.35	2396.21	\$1,118,386.47	\$153,836.68	\$1,272,223.15
7.2	5.760.67610	SPECIAL	COLORED PAVEMENT, PCC, CLASS C, 9 IN.	SY	755	38	\$135.00	\$101,925.00	\$5,130.00	313.01	104.33	\$42,256.35	\$14,084.55	\$56,340.90
7.3	5.760.67610	7010-G-1000	CONCRETE MEDIAN, PAVED, 6 IN.	SY	258.9	0.0	\$85.00	\$22,006.50	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.4	5.760.67610	7010-G-2000	CONCRETE MEDIAN, DOWELLED	SY	29.1	2.4	\$135.00	\$3,928.50	\$324.00	7.60	2.40	\$1,026.00	\$324.00	\$1,350.00
7.5	5.760.67610	7010-G-1000	PCC PAVEMENT SAMPLES AND TESTING	LS	0.586	0.414	\$15,000.00	\$8,790.00	\$6,210.00	0.37	0.39	\$5,550.00	\$5,850.00	\$11,400.00
7.6	5.760.67610	7010-J-1000	GRANULAR SURFACING	TON	65	0	\$40.00	\$2,600.00	\$0.00	107.27	0.00	\$4,290.80	\$0.00	\$4,290.80
7.7	5.760.67612	7030-A-1000	REMOVAL OF SIDEWALK	SY	15	35	\$30.00	\$450.00	\$1,050.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.8	5.760.67610	7030-A-3000	REMOVAL OF PAVED DRIVEWAY	SY	176	0	\$25.00	\$4,400.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.9	5.760.67612	7030-C-1005	SHARED USE PATH, PCC, 5 IN.	SY	4,209	379	\$32.00	\$134,688.00	\$12,128.00	563.01	379.00	\$18,016.32	\$12,128.00	\$30,144.32
7.10	5.760.67612	7030-E-1004	SIDEWALK, PCC, 4 IN.	SY	352	14	\$32.00	\$11,264.00	\$448.00	38.18	12.72	\$1,221.76	\$407.04	\$1,628.80
7.11	5.760.67612	7030-E-1006	SIDEWALK, PCC, 6 IN.	SY	367	75	\$45.00	\$16,515.00	\$3,375.00	143.76	48.05	\$6,469.20	\$2,072.25	\$8,541.45
7.12	5.760.67612	7030-G-1000	DETECTABLE WARNINGS	SF	400	80	\$45.00	\$18,000.00	\$3,800.00	121.50	40.00	\$5,467.50	\$1,800.00	\$7,267.50
7.13	5.760.67610	7030-H-1060	DRIVEWAY, PAVED, PCC, 6 IN.	SY	415	0	\$60.00	\$24,900.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.14	5.760.67610	7030-H-2000	GRANULAR SURFACING FOR DRIVEWAYS	TON	517	0	\$35.00	\$18,095.00	\$0.00	31.51	0.00	\$1,102.85	\$0.00	\$1,102.85
7.15	5.760.67610	7040-H-1000	PAVEMENT REMOVAL	SY	23,124	1,455	\$10.00	\$231,240.00	\$14,550.00	22192.65	1455.00	\$221,926.50	\$14,550.00	\$236,476.50
7.16	5.760.67610	SPECIAL	TEMPORARY PAVEMENT, 6 IN.	SY	4,020	0	\$42.00	\$168,840.00	\$0.00	2181.10	0.00	\$92,026.20	\$0.00	\$92,026.20
7.17	5.760.67610	SPECIAL	TRANSITION PAVEMENT	SY	1,069	0	\$50.00	\$53,450.00	\$0.00	398.52	0.00	\$19,926.00	\$0.00	\$19,926.00

DIVISION 8 - TRAFFIC SIGNALS AND TRAFFIC CONTROL														
8.1	5.760.67611	8010-B-2000	POSTS FOR SIGNS, STEEL	LF	883	82	\$10.00	\$8,830.00	\$820.00	81.00	45.00	\$810.00	\$450.00	\$1,260.00
8.2	5.760.67611	8010-B-4000	TYPE A SIGNS	SF	380.70	31.80	\$25.00	\$9,517.50	\$795.00	33.40	21.40	\$835.00	\$535.00	\$1,370.00
8.3	5.760.67611	8010-C-1000	PAINTED PAVEMENT MARKINGS, WATERBORNE/SOLVENT	STA	108.71	1.89	\$80.00	\$8,696.80	\$151.20	89.02	1.89	\$5,521.60	\$151.20	\$5,672.80
8.4	5.760.67611	8010-C-1010	PAINTED PAVEMENT MARKINGS, DURABLE	STA	96.58	13.83	\$125.00	\$12,070.00	\$1,728.75	20.83	13.23	\$2,578.75	\$1,653.75	\$4,232.50
8.5	5.760.67611	8010-C-1060	REMOVABLE TAPE MARKINGS	STA	26.14	0	\$125.00	\$3,267.50	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.6	5.760.67611	8010-C-1070	GROOVES CUT FOR PAVEMENT MARKINGS	STA	96.56	13.83	\$75.00	\$7,242.00	\$1,037.25	20.83	13.23	\$1,547.25	\$982.25	\$2,539.50
8.7	5.760.67611	8010-C-1080	PAVEMENT MARKINGS REMOVED	STA	20.12	4.25	\$60.00	\$1,207.20	\$255.00	19.35	0.00	\$1,161.00	\$0.00	\$1,161.00
8.8	5.760.67611	8010-C-2010	PAINTED SYMBOLS & LEGENDS, DURABLE	EA	30	3	\$200.00	\$6,000.00	\$800.00	8.00	3.00	\$1,200.00	\$800.00	\$1,800.00
8.9	5.760.67611	8010-C-2070	GROOVES CUT FOR SYMBOLS & LEGENDS	EA	30	3	\$125.00	\$3,750.00	\$375.00	6.00	3.00	\$750.00	\$375.00	\$1,125.00
8.10	5.760.67611	8010-C-2080	SYMBOLS & LEGENDS REMOVED	EA	3	0	\$125.00	\$375.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.11	5.760.67615	8010-D-1000	TRAFFIC CONTROL	LS	0.586	0.414	\$310,000.00	\$181,680.00	\$128,340.00	0.50	0.35	\$155,000.00	\$108,500.00	\$263,500.00
8.12	5.760.67615	SPECIAL	PORTABLE DYNAMIC MESSAGE SIGN	CDAY	30	10	\$75.00	\$2,250.00	\$750.00	25.00	8.00	\$1,875.00	\$800.00	\$2,475.00
8.13	5.760.67611	SPECIAL	CONDUIT, HDPE, 2 IN.	LF	9,855	0	\$8.00	\$78,840.00	\$0.00	8980.00	0.00	\$71,840.00	\$0.00	\$71,840.00
8.14	5.760.67611	SPECIAL	HANDHOLE, TYPE I, FURNISH AND INSTALL	EA	5	0	\$1,000.00	\$5,000.00	\$0.00	4.00	0.00	\$4,000.00	\$0.00	\$4,000.00
8.15	5.760.67611	SPECIAL	HANDHOLE, TYPE III, FURNISH AND INSTALL	EA	13	0	\$1,700.00	\$22,100.00	\$0.00	5.00	0.00	\$8,500.00	\$0.00	\$8,500.00
8.16	5.760.67611	SPECIAL	POWER CABLE WIRE - 1C #4	LF	20	0	\$6.00	\$120.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.17	5.760.67611	SPECIAL	STREET LIGHT CABLE - 1C #10	LF	360	0	\$1.50	\$540.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.18	5.760.67611	SPECIAL	NEUTRAL WIRE - 1C #4	LF	20	0	\$8.00	\$120.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.19	5.760.67611	SPECIAL	GROUND WIRE	LF	180	0	\$2.00	\$360.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.20	5.760.67611	SPECIAL	TRACER WIRE - 1C #10	LF	10,350	0	\$0.75	\$7,762.50	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.21	5.760.67611	SPECIAL	PULL ROPE	LF	10,350	0	\$0.50	\$5,175.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.22	5.760.67611	SPECIAL	POLE FOOTING	EA	1	0	\$1,500.00	\$1,500.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.23	5.760.67611	SPECIAL	LIGHT POLE, INSTALL ONLY	EA	1	0	\$700.00	\$700.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.24	5.760.67611	SPECIAL	POLE MOUNTED CABINET, INSTALL ONLY	EA	1	0	\$500.00	\$500.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.25	5.760.67611	SPECIAL	MONUMENT SIGN LIGHTING	LS	1	0	\$2,000.00	\$2,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
DIVISION 9 - SITEWORK AND LANDSCAPING														
9.1	5.760.67170	9010-B-1100	HYDRAULIC SEED, FERT. & MULCH, TYPE 1 (PERMANENT LAWN MIX)	AC	10	1	\$2,750.00	\$27,500.00	\$2,750.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.2	5.760.67170	9010-B-1200	HYDRAULIC SEED, FERT. & MULCH, TYPE 2 (PERMANENT COOL-SEASON MIX FOR SLOPES A)	AC	2	0.5	\$2,000.00	\$4,000.00	\$1,000.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.3	5.760.67170	9010-B-1400	HYDRAULIC SEED, FERT. & MULCH, TYPE 4 (URBAN TEMPORARY EROSION CONTROL MIX)	AC	12	1.5	\$1,500.00	\$18,000.00	\$2,250.00	0.81	0.00	\$915.00	\$0.00	\$915.00
9.4	5.760.67170	9010-D-1000	WATERING	MGAL	1,046	131	\$40.00	\$41,840.00	\$5,240.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.5	5.760.67170	9010-E-1000	WARRANTY	LS	0.586	0.414	\$6,500.00	\$3,809.00	\$2,691.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.6	5.760.67170	9040-A-2000	STORMWATER POLLUTION PREVENTION PLAN (SWPPP), MANAGEMENT	LS	0.586	0.414	\$4,000.00	\$2,344.00	\$1,656.00	0.47	0.33	\$1,880.00	\$1,320.00	\$3,200.00
9.7	5.760.67170	9040-D-1012	FILTER SOCKS, 12 IN., INSTALLATION	LF	600	0	\$3.00	\$1,800.00	\$0.00	1490.00	0.00	\$4,470.00	\$0.00	\$4,470.00
9.8	5.760.67170	9040-D-2012	FILTER SOCKS, 12 IN., MAINTENANCE AND REMOVAL	LF	600	0	\$1.00	\$600.00	\$0.00	170.00	0.00	\$170.00	\$0.00	\$170.00
9.9	5.760.67170	9040-J-5000	RIP RAP, CLASS E	TON	50	0	\$70.00	\$3,500.00	\$0.00	64.97	0.00	\$4,547.90	\$0.00	\$4,547.90
9.10	5.760.67170	9040-N-1000	SILT FENCE, INSTALLATION	LF	6,992	1,029	\$2.00	\$13,984.00	\$2,058.00	1670.00	0.00	\$3,340.00	\$0.00	\$3,340.00
9.11	5.760.67170	9040-N-3000	SILT FENCE, REMOVAL	LF	5,127	761	\$0.50	\$2,563.50	\$380.50	0.00	0.00	\$0.00	\$0.00	\$0.00
9.12	5.760.67170	9040-Q-1000	EROSION CONTROL MULCHING, CONVENTIONAL MULCHING	AC	12.0	1.5	\$400.00	\$4,800.00	\$600.00	0.30	0.00	\$120.00	\$0.00	\$120.00
9.13	5.760.67170	9040-T-1000	INLET PROTECTION DEVICE, INSTALLATION	EA	45	7	\$150.00	\$6,750.00	\$1,050.00	21.00	7.00	\$3,150.00	\$1,050.00	\$4,200.00
9.14	5.760.67170	9060-A-1000	CHAIN LINK FENCE, 60 IN.	LF	484	0	\$20.00	\$9,680.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.15	5.760.67170	SPECIAL	FIELD FENCE	LF	354	0	\$15.00	\$5,310.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.16	5.760.67170	SPECIAL	MONUMENT SIGN	LS	1	0	\$48,000.00	\$48,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.17	5.760.67170	SPECIAL	GRANULAR BACKFILL	TON	1,700	0	\$25.00	\$42,500.00	\$0.00	611.56	0.00	\$15,289.00	\$0.00	\$15,289.00

DIVISION 10 - DEMOLITION														
10.1	5.760.67616	10010-B-1000	ABANDON WELL	EA	1	0	\$3,000.00	\$3,000.00	\$0.00	1.00	0.00	\$3,000.00	\$0.00	\$3,000.00
CHANGE ORDER - 1														
CO 1.1	5.760.67615	8010	ADDITIONAL SIGNAGE - RENE'S GREENHOUSE	EA	5	0	\$220.00	\$1,100.00	\$0.00	5.00	0.00	\$1,100.00	\$0.00	\$1,100.00
CO 1.2	5.760.67616	2010	EXISTING STREET LIGHT POLE AND BASE REMOVAL	EA	4	0.0	\$715.00	\$2,860.00	\$0.00	4.00	0.00	\$2,860.00	\$0.00	\$2,860.00
CO 1.3	5.768.67670	6010	SANITARY SEWER DROP	LS	1	0.0	\$5,870.70	\$5,870.70	\$0.00	1.00	0.00	\$5,870.70	\$0.00	\$5,870.70
CHANGE ORDER - 2														
7.18	5.760.67610	7040-H-2000	PAVEMENT REMOVAL, ADDITIONAL THICKNESS	SY	9,485	0.0	\$7.48	\$70,947.80	\$0.00	8585.00	690.00	\$64,290.80	\$5,161.20	\$69,451.80
CHANGE ORDER - 3														
CO 3.1	5.760.67615	8010	ADDITIONAL SIGNAGE - HAIR SALON	EA	6	0	\$135.00	\$810.00	\$0.00	6.00	0.00	\$810.00	\$0.00	\$810.00
<b>SUBTOTAL</b>								<b>\$6,755,176.40</b>	<b>\$687,846.60</b>			<b>\$4,791,907.66</b>	<b>\$593,204.40</b>	<b>\$5,385,012.06</b>
MATERIALS STORED SUMMARY														
Description	# of Units		Total Units	Unit Price	Div. 1 Ext. Cost	Div. 2 Ext. Cost	Total Cost							
	Div. 1	Div. 2												
<b>SUBTOTAL</b>					<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>							

PAY REQUEST SUMMARY			Total Approved	Total Completed
	Contract Price		\$7,361,434.50	
	Approved Change Order 1		\$9,830.70	
	Approved Change Order 2		\$70,947.80	
	Approved Change Order 3		\$810.00	
	Revised Contract Price		\$7,443,023.00	\$5,385,012.00
		Materials Stored		\$0.00
		Retainage (5%)		\$269,250.80
		Total Earned Less Retainage		\$5,115,761.46
Total Previously Approved (list each)	Pay Request 1		\$81,719.67	
	Pay Request 2		\$85,689.81	
	Pay Request 3		\$201,447.59	
	Pay Request 4		\$375,616.99	
	Pay Request 5		\$349,530.17	
	Pay Request 6		\$399,866.63	
	Pay Request 7		\$790,914.90	
	Pay Request 8		\$381,697.46	
	Pay Request 9		\$129,476.31	
	Pay Request 10		\$330,467.04	
	Pay Request 11		\$308,464.19	
	Pay Request 12		\$499,107.98	
	Pay Request 13		\$962,285.89	
	Pay Request 14			
		Total Previously Approved		\$4,896,284.63
		Amount Due This Request		<b>\$219,476.83</b>
		Percent Complete		72.3%
		Percent of Contract Period Utilized (In Calendar Days, Based on Notice to Proceed Date & Contract Completion Date)		82.0%

The amount **\$219,476.83** is recommended for approval for payment in accordance with the terms of the Contract.

Fund.Dept.Object	Item Description	TOTAL AMOUNT TO DATE
5.760.67400	ROW	\$0.00
5.760.67610	STREETS AND BRIDGES	\$2,549,605.59
5.760.67612	SIDEWALK	\$47,582.07
5.760.67615	TRAFFIC CONTROL	\$267,885.00
5.760.67611	TRAFFIC SIGNAL	\$103,500.80
5.760.67170	STREETSCAPE	\$125,667.90
5.760.67850	STORM DRAINAGE	\$1,759,744.00
5.766.67800	WATER MAIN, HYDRANT	\$418,931.00
5.766.67670	SANITARY SEWER	\$103,035.70
5.760.67616	UTILITY RELOCATION	\$9,060.00

\$5,385,012.00 CHECK

<b>Contractor:</b> Alliance Construction Group  <b>Signature:</b>  <b>Name:</b> Jason DeGraff  <b>Title:</b> Project Manager <b>Date:</b> 9/23/16	<b>Recommended By:</b> Foth Infrastructure & Environment  <b>Signature:</b>  <b>Name:</b> Patrick Kueter  <b>Title:</b> Senior Project Manager <b>Date:</b> 9/22/16	<b>Checked By:</b> City of Johnston  <b>Signature:</b>  <b>Name:</b>  <b>Title:</b>  <b>Date:</b>
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**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

October 3, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Pay Request No. 10 to Rognes Corporation in the amount of \$96,511.60 for work completed as of September 22, 2016 on E of Merle Hay Road NW 60<sup>th</sup> Ave Improvements project- Phase 4A.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval <i>Whe</i></p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
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**SYNOPSIS:**

Attached is Pay Request No 10 in the amount of \$96,511.60 work completed as of September 22, 2016 on the E of Merle Hay Road NW 60<sup>th</sup> Ave Improvements project – phase 4A.

\$53,525.11 of the value of completed work has been retained so far.

Nathan Whipple, Construction Administrator, with Foth Infrastructure & Environment LLC has determined that work has been performed by the contractor in accordance with the approved plans and specifications, the quantities have been checked and he is recommending payment as provided by the projects contract.

A copy of Pay Estimate No. 10 is attached.

**FISCAL IMPACT**

The funds for this payment will come from account 334

**RECOMMENDATION:**

Staff is recommending approval of Pay Estimate No. 10

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Approval of Pay Request No.10 to Rogness Corporation for work completed as of September 22, 2016 on the E of Merle Hay Road NW 60<sup>th</sup> Ave Improvements Project – phase 4A.

**ROLL CALL VOTE:      AYE      NAY      ABSENT      ABSTAIN**

Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

2.14	5.766.67800	2010-K-1000	ABANDONMENT OF WATER MAIN	LF	72	\$25.00	\$1,800.00	0.00	\$0.00
2.15	5.760.67170		RED BRICK DRIVEWAY STONE, REMOVE AND SALVAGE	TON	75	\$30.00	\$2,250.00	75.00	\$2,250.00
<b>DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION</b>									
3.1	5.760.67650	3010-E-1000	POROUS BACKFILL, 1" CLEAN	TON	160	\$38.00	\$6,080.00	160.00	\$6,080.00
3.2	5.760.67650	3010-E-3000	POROUS BACKFILL, 3" CLEAN	TON	12	\$38.00	\$456.00	0.00	\$0.00
3.3	5.760.67650	3010-E-1325	SEPERATION LAYER, POROUS, 3/8" CLEAN	TON	2	\$400.00	\$800.00	0.00	\$0.00
3.4	5.760.67650		BIORETENTION BASIN PLANTING MEDIUM	CY	15	\$350.00	\$5,250.00	0.00	\$0.00
<b>DIVISION 4 - SEWERS AND DRAINS</b>									
4.1	5.768.67670	4010-A-1006	SANITARY SEWER GRAVITY MAIN, TRENCHED, 6" (INCLUDES DEWATERING)	LF	43	\$128.00	\$5,504.00	43.00	\$5,504.00
4.2	5.768.67670	4010-A-1008	SANITARY SEWER GRAVITY MAIN, TRENCHED, 8" (INCLUDES DEWATERING)	LF	617	\$130.00	\$80,210.00	673.00	\$87,490.00
4.3	5.768.67670	4010-E-1004	SANITARY SEWER SERVICE STUB, 4"	LF	174	\$90.00	\$15,660.00	174.00	\$15,660.00
4.4	5.760.67650	4020-A-1012	STORM SEWER, TRENCHED, PVC, CORRUGATED, SMOOTH INTERIOR, 12 IN.	LF	29	\$120.00	\$3,480.00	29.00	\$3,480.00
4.5	5.760.67650	4020-A-1015	STORM SEWER, TRENCHED, RCP, CL V, 15 IN. (GASKETED)	LF	134	\$130.00	\$17,420.00	129.00	\$16,770.00
4.6	5.760.67650	4020-A-1018	STORM SEWER, TRENCHED, RCP, CL V, 18 IN. (GASKETED)	LF	9	\$160.00	\$1,440.00	18.00	\$2,880.00
4.7	5.760.67650	4020-A-1024	STORM SEWER, TRENCHED, RCP, CL III, 24 IN. (GASKETED)	LF	83	\$150.00	\$12,450.00	86.00	\$12,900.00
4.8	5.760.67650	4020-A-1036	STORM SEWER, TRENCHED, RCP, CL III, 36 IN. (GASKETED)	LF	585	\$205.00	\$119,925.00	577.00	\$118,285.00
4.9	5.760.67650	4020-A-2110	SPECIAL PIPE CONNECTION, STORM SEWER, SW-211	EA	2	\$4,000.00	\$8,000.00	2.00	\$8,000.00
4.10	5.760.67650	4040-E-1012	SPECIAL PIPE CONNECTION, STORM SEWER SERVICE STUB	EA	1	\$2,500.00	\$2,500.00	1.00	\$2,500.00
4.11	5.760.67650		FIELD TILE AND FITTINGS, PVC UNSPECIFIED DIA.	LF	150	\$12.00	\$1,800.00	22.00	\$264.00
4.12	5.760.67650	4060-B-1000	VIDEO INSPECTION OF SEWERS	LS	1	\$5,000.00	\$5,000.00	1.00	\$5,000.00
<b>DIVISION 5 - WATER MAIN AND APPURTENANCES</b>									
5.1	5.766.67800	5010-A-1006	WATER MAIN, TRENCHED, PVC C900 DR18, 6 IN.	LF	116	\$60.00	\$6,960.00	135.50	\$8,130.00
5.2	5.766.67800	5010-A-1008	WATER MAIN, TRENCHED, PVC C900 DR18, 8 IN.	LF	647	\$65.00	\$42,055.00	636.00	\$41,340.00
5.3	5.766.67800	5010-A-1108	WATER MAIN, TRENCHED, PVC C900 DR18, 8 IN., RESTRAINED JOINT	LF	80	\$90.00	\$7,200.00	40.00	\$3,600.00
5.4	5.766.67800	5010-B-2008	WATER MAIN, BORED WITH CASING PIPE, 8 IN.	LF	80	\$525.00	\$42,000.00	97.00	\$50,925.00
5.5	5.766.67800	5010-C-1000	WATER MAIN FITTINGS	LB	897	\$9.00	\$8,073.00	969.00	\$8,721.00
5.6	5.766.67800		LIVE TAP W/ 16"x8" TAPPING SLEEVE	EA	1	\$7,800.00	\$7,800.00	1.00	\$7,800.00
5.7	5.766.67800	5010-D-1001	WATER SERVICE, 1 IN.	EA	7	\$1,500.00	\$10,500.00	7.00	\$10,500.00
5.8	5.766.67800	5020-A-1006	VALVE, GATE, 6 IN.	EA	1	\$875.00	\$875.00	2.00	\$1,750.00
5.9	5.766.67800	5020-A-1008	VALVE, GATE, 8 IN.	EA	5	\$1,200.00	\$6,000.00	5.00	\$6,000.00
5.10	5.766.67800	5020-C-1000	FIRE HYDRANT ASSEMBLY	EA	3	\$4,100.00	\$12,300.00	3.00	\$12,300.00
5.11	5.766.67800		REMOVAL OF HYDRANT ASSEMBLY	EA	1	\$900.00	\$900.00	1.00	\$900.00
<b>DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWER</b>									
6.1	5.760.67650	6010-A-1301	MANHOLE, SANITARY SEWER, SW-301, 48"	EA	3	\$4,100.00	\$12,300.00	3.00	\$12,300.00
6.2	5.760.67650	6010-A-1401	MANHOLE, STORM SEWER, SW-401, 60 IN.	EA	1	\$6,000.00	\$6,000.00	1.00	\$6,000.00
6.3	5.760.67650	6010-A-2401	MANHOLE, STORM SEWER, SW-401 MODIFIED, 60 IN.	EA	3	\$9,500.00	\$28,500.00	3.00	\$28,500.00
6.4	5.760.67650	6010-B-1505	INTAKE, DOUBLE GRATE, SW-505	EA	2	\$3,850.00	\$7,700.00	2.00	\$7,700.00
6.5	5.760.67650	6010-B-1506	INTAKE, DOUBLE GRATE W/ MANHOLE, SW-506	EA	1	\$6,000.00	\$6,000.00	1.00	\$6,000.00

6.6	5.760.67650	6010-B-2506	SPECIAL INTAKE, DOUBLE GRATE, SW-506 MODIFIED WQ	EA	2	\$16,250.00	\$32,500.00	2.00	\$32,500.00
6.7	5.760.67650		TEMPORARY INTAKE GROUTING, INSTALL AND REMOVE	EA	2	\$2,500.00	\$5,000.00	0.00	\$0.00
6.8	5.760.67650	6010-E-1000	MANHOLE ADJUSTMENT, MINOR	EA	1	\$1,050.00	\$1,050.00	1.00	\$1,050.00
6.9	5.760.67650	6010-G-1000	CONNECTION TO EXISTING MANHOLE, SANITARY	EA	1	\$4,000.00	\$4,000.00	1.00	\$4,000.00
6.10	5.760.67650	6010-G-2000	CONNECTION TO EXISTING MANHOLE, STORM	EA	1	\$4,800.00	\$4,800.00	1.00	\$4,800.00
6.11	5.760.67650	6010-H-1000	REMOVE MANHOLE OR INTAKE	EA	3	\$800.00	\$2,400.00	3.00	\$2,400.00
6.12	5.760.67650		STORMWATER CHAMBERS AND FITTINGS	EA	2	\$9,000.00	\$18,000.00	2.00	\$18,000.00

**DIVISION 7 - STREETS & RELATED WORK**

7.1	5.760.67610	7010-A-1007	PAVEMENT, PCC, CLASS C, 7 IN.	SY	2,191	\$48.75	\$106,811.25	2000.00	\$97,500.00
7.2	5.760.67610	7010-G-1000	CONCRETE MEDIAN	SY	17	\$80.25	\$1,364.25	17.00	\$1,364.25
7.3	5.760.67610	7020-A-1007	PAVEMENT, HMA, 6 IN.	SY	330	\$50.25	\$16,582.50	330.00	\$16,582.50
7.4	5.760.67612	7030-A-1000	REMOVAL OF SIDEWALK AND SHARED USE PATH	SY	779	\$9.00	\$7,011.00	779.00	\$7,011.00
7.5	5.760.67610	7030-A-2000	REMOVAL OF DRIVEWAY	SY	89	\$8.50	\$756.50	89.00	\$756.50
7.6	5.760.67612	7030-C-1006	SHARED USE PATH, PCC, 6 IN.	SY	698	\$40.50	\$28,269.00	698.00	\$28,269.00
7.7	5.760.67612	7030-D-1006	SPECIAL SUBGRADE PREP FOR SHARED USE PATH	SY	1,042	\$12.00	\$12,504.00	1042.00	\$12,504.00
7.8	5.760.67612	7030-E-1004	SIDEWALK, PCC, 4 IN.	SY	31	\$38.50	\$1,193.50	14.22	\$547.47
7.9	5.760.67612	7030-E-1006	SIDEWALK, PCC, 6 IN.	SY	123	\$45.50	\$5,596.50	100.00	\$4,550.00
7.10	5.760.67612	7030-G-1000	DETECTABLE WARNINGS	SF	144	\$42.25	\$6,084.00	144.00	\$6,084.00
7.11	5.760.67610	7030-H-1006	DRIVEWAY, PAVED, 6 IN.	SY	372	\$42.25	\$15,717.00	372.00	\$15,717.00
7.12	5.760.67610	7030-H-1007	DRIVEWAY, PAVED, 7 IN.	SY	341	\$45.25	\$15,430.25	0.00	\$0.00
7.13	5.760.67610	7030-H-2006	DRIVEWAY, GRANULAR (CLASS A)	TON	41	\$28.00	\$1,148.00	41.00	\$1,148.00
7.14	5.760.67610	7030-H-2009	DRIVEWAY, GRANULAR (RED BRICK STONE)	TON	60	\$65.00	\$3,900.00	60.00	\$3,900.00
7.15	5.760.67610	7040-A-1000	FULL DEPTH PATCH, PCC	SY	134	\$78.50	\$10,519.00	61.67	\$4,841.10
7.16	5.760.67610	7040-H-1000	PAVEMENT REMOVAL	SY	2,100	\$10.00	\$21,000.00	2100.00	\$21,000.00
7.17	5.760.67610		TEMPORARY GRANULAR SURFACING	TON	800	\$38.00	\$30,400.00	293.45	\$11,151.10

**DIVISION 8 - TRAFFIC SIGNALS AND TRAFFIC CONTROL**

8.1	5.760.67615		TRAFFIC CONTROL	LS	1	\$10,000.00	\$10,000.00	0.75	\$7,500.00
8.2	5.760.67615		PAINTED PAVEMENT MARKINGS, DURABLE	STA	10	\$240.00	\$2,352.00	0.00	\$0.00
8.3	5.760.67615		PAINTED SYMBOLS AND LEGENDS, DURABLE	EA	4	\$210.00	\$840.00	0.00	\$0.00

**DIVISION 9 - SITEWORK AND LANDSCAPING**

9.1	5.760.67170	9010-B-1100	HYDRAULIC SEEDING, FERTILIZING, AND MULCHING, TYPE 1 (PERM. LAWN MIX)	ACRE	1	\$4,250.00	\$3,400.00	0.00	\$0.00
9.2	5.760.67170	9010-B-1400	HYDRAULIC SEEDING, FERTILIZING, AND MULCHING, TYPE 4 (URBAN TEMP. MIX)	ACRE	1	\$2,000.00	\$1,600.00	0.00	\$0.00
9.3	5.760.67170	9010-D-1000	WATERING	MGAL	70	\$10.00	\$700.00	0.00	\$0.00
9.4	5.760.67170	9010-E-1000	WARRANTY	LS	1	\$1,000.00	\$1,000.00	0.00	\$0.00
9.5	5.760.67170	9040-A-2000	STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MANAGEMENT	LS	1	\$3,000.00	\$3,000.00	0.50	\$1,500.00
9.6	5.760.67170	9040-D-1000	FILTER SOCKS, INSTALLATION	LF	1,500	\$2.00	\$3,000.00	0.00	\$0.00
9.7	5.760.67170	9040-D-2000	FILTER SOCKS, REMOVAL	LF	1,500	\$0.30	\$450.00	0.00	\$0.00
9.8	5.760.67170	9040-T-1000	INLET PROTECTION	EA	6	\$100.00	\$600.00	6.00	\$600.00



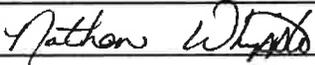
Total Previously Approved (list each)

Pay Request 2	\$61,416.65	
Pay Request 3	\$147,437.69	
Pay Request 4	\$60,492.83	
Pay Request 5	\$50,435.50	
Pay Request 6	\$35,249.75	
Pay Request 7	\$45,294.72	
Pay Request 8	\$148,320.77	
Pay Request 9	\$106,211.66	
Pay Request 10		

Total Previously Approved		\$920,465.55
Amount Due This Request		\$96,511.60
Percent Complete		91.8%
Percent of Contract Period Utilized (In Calendar Days, Based on Notice to Proceed Date & Contract Completion Date)		94.7%

The amount **\$96,511.60** is recommended for approval for payment in accordance with the terms of the Contract.

Fund.Dept.Object	Item Description	TOTAL AMOUNT TO DATE
5.760.67400	ROW	\$0.00
5.760.67610	STREETS AND BRIDGES	\$258,815.15
5.760.67612	SIDEWALK	\$58,965.47
5.760.67615	TRAFFIC CONTROL	\$7,500.00
	TRAFFIC SIGNAL	\$0.00
5.760.67170	STREETSCAPE	\$165,138.00
5.760.67650	STORM DRAINAGE	\$303,443.00
5.766.67800	WATER MAIN, HYDRANT	\$160,028.50
5.768.67670	SANITARY SEWER	\$108,654.00
5.760.67616	UTILITY RELOCATION	\$5,500.00

Contractor: Rognes Corp.	Recommended By: Foth Infrastructure	Checked By: City of Johnston
Signature: 	Signature: 	Signature:
Name: Warren Rognes	Name: Nathan Whipple	Name:
Title: President	Title: Construction Administrator	Title:
Date: 9-22-16	Date: 9/22/16	Date:



OFFICE OF THE CITY ADMINISTRATOR  
 Johnston, Iowa  
 AGENDA COMMUNICATION  
 October 3, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Pay Request No. 13 to Manatt's Inc. in the amount of \$206,971.49 for work completed as of September 22, 2016 on the NW 100<sup>th</sup> Street Reconstruction project.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval <i>Whe</i></p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
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**SYNOPSIS:**

Attached is Pay Request No 13 in the amount of \$206,971.49 work completed as of September 22, 2016 on the NW 100<sup>th</sup> Street Reconstruction project.

\$187,089.19 of the value of completed work has been retained so far.

Chad Mason, Project Manager, with HR Green, has determined that work has been performed by the contractor in accordance with the approved plans and specifications, the quantities have been checked and he is recommending payment as provided by the projects contract.

A copy of Pay Estimate No. 13 is attached.

**FISCAL IMPACT**

The funds for this payment will come from account 349

**RECOMMENDATION:**

Staff is recommending approval of Pay Estimate No. 13

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Approval of Pay Request No.13 to Manatt's, Inc. for work completed as of September 22, 2016 on the NW 100th Street Reconstruction Project.

<b>ROLL CALL VOTE:</b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Clabaugh	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cope	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lindeman	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Temple	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



PUBLIC WORKS  
 6400 NW Beaver Drive, PO Box 410  
 Johnston, IA 50131-0410  
 (515) 278-0822 Fax (515) 727-8092

Contractor:  
 Manatt's Inc.  
 PO Box 535  
 Brooklyn, IA 52211  
 T: (641) 522-9206 ext 256  
 F: (641) 522-5594

Distribution:  
 Contractor   
 Public Works   
 Finance   
 Engineer

Project Title	NW 100th Street Reconstruction		
Johnston Project File Number	359		
Purchase Order Number	-		
Orig. Contract Amount & Date	\$ 5,738,005.30		
Estimated Completion Date	10/31/16		
Pay Period	9/10/16	-	9/22/16
Pay Request Number	13		
Date	September 22, 2016		

Item No.	No.	Item Code	Description	Unit	Est. Qty	Unit Price	Extended Price	Completed	Value Completed
2.1	5.760.67610	2010-108-A-0	Clearing and Grubbing	UNIT	75	\$ 95.00	\$ 7,125.00	179.37	\$ 17,040.15
2.2	5.760.67610	2010-108-B-0	Clearing and Grubbing	AC	1.5	\$ 1,050.00	\$ 1,575.00	1.25	\$ 1,312.50
2.3	5.760.67170	2010-108-D-1	Topsoil, On-site	CY	6976	\$ 14.00	\$ 97,664.00	6474	\$ 90,636.00
2.4	5.760.67610	2010-108-E-0	Excavation, Class 10, Class 12, or Class 13	CY	69478	\$ 8.75	\$ 607,932.50	66004	\$ 577,535.00
2.5	5.760.67610	2010-108-G-0	Subgrade Preparation	SY	43603	\$ 3.25	\$ 141,709.75	23981	\$ 77,938.25
2.6	5.760.67650	2010-108-J-2-c	Removal of Known Pipe Culvert, RCP, 12"	LF	221	\$ 18.00	\$ 3,978.00	237	\$ 4,266.00
2.7	5.760.67650	2010-108-J-2-c	Removal of Known Pipe Culvert, RCP, 15"	LF	216	\$ 18.00	\$ 3,888.00	274	\$ 4,932.00
2.8	5.760.67650	2010-108-J-2-c	Removal of Known Pipe Culvert, RCP, 18"	LF	164	\$ 18.00	\$ 2,952.00	207	\$ 3,726.00
2.9	5.760.67650	2010-108-J-2-c	Removal of Known Pipe Culvert, RCP, 24"	LF	72	\$ 20.00	\$ 1,440.00	72	\$ 1,440.00
2.10	5.760.67650	2010-108-J-2-c	Removal of Known Pipe Culvert, RCP, 30"	LF	103	\$ 21.00	\$ 2,163.00	103	\$ 2,163.00
2.11	5.766.67800	2010-108-J-3-a	Removal or Abandonment of Existing Water Main	LF	113	\$ 27.00	\$ 3,051.00	73	\$ 1,971.00
2.12	5.760.67610	XXXX-XXX-X-X	Removals, as per plan	LS	1	\$ 3,800.00	\$ 3,800.00	0.5	\$ 1,900.00
4.1	5.760.67650	4020-108-A-1	Storm Sewer, Trenched, A-2000 Non-Perforated, 6"	LF	333	\$ 42.00	\$ 13,986.00	291	\$ 12,222.00
4.2	5.760.67650	4020-108-A-1	Storm Sewer, Trenched, RCP, 12"	LF	231	\$ 67.00	\$ 15,477.00	107	\$ 7,169.00
4.3	5.760.67650	4020-108-A-1	Storm Sewer, Trenched, RCP, 15"	LF	2263	\$ 67.00	\$ 151,621.00	2223	\$ 148,941.00
4.4	5.760.67650	4020-108-A-1	Storm Sewer, Trenched, RCP, 18"	LF	698	\$ 69.00	\$ 48,162.00	673	\$ 46,437.00
4.5	5.760.67650	4020-108-A-1	Storm Sewer, Trenched, RCP, 24"	LF	1599	\$ 78.00	\$ 124,722.00	1599	\$ 124,722.00
4.6	5.760.67650	4020-108-A-1	Storm Sewer, Trenched, RCP, 36"	LF	1059	\$ 129.50	\$ 137,140.50	1059	\$ 137,140.50
4.7	5.760.67650	4020-108-A-1	Storm Sewer, Trenched, RCP, 42"	LF	571	\$ 156.00	\$ 89,076.00	571	\$ 89,076.00
4.8	5.760.67650	4020-108-A-1	Storm Sewer, Trenched, RCP, 48"	LF	273	\$ 181.50	\$ 49,549.50	273	\$ 49,549.50
4.9	5.760.67650	4020-108-C-0	Removal of Storm Sewer Less Than or Equal to 36"	LF	442	\$ 28.25	\$ 12,486.50	472	\$ 13,334.00
4.10	5.760.67650	4030-108-B-0	Pipe Apron, RCP, Type RF-3 (2) 12"	EA	1	\$ 1,600.00	\$ 1,600.00	1	\$ 1,600.00
4.11	5.760.67650	4030-108-B-0	Pipe Apron, RCP, Type RF-3 (2) 15"	EA	1	\$ 1,600.00	\$ 1,600.00	1	\$ 1,600.00
4.12	5.760.67650	4030-108-B-0	Pipe Apron, RCP, Type RF-3 (2) 18"	EA	1	\$ 1,800.00	\$ 1,800.00	1	\$ 1,800.00
4.13	5.760.67650	4030-108-B-0	Pipe Apron, RCP, Type RF-3 (2) 24"	EA	2	\$ 2,100.00	\$ 4,200.00	4	\$ 8,400.00
4.14	5.760.67650	4030-108-B-0	Pipe Apron, RCP, Type RF-3 (2) 48"	EA	1	\$ 4,100.00	\$ 4,100.00	1	\$ 4,100.00
4.15	5.760.67650	4040-108-A-0	Subdrain, Type 1 (Longitudinal Subdrain), Corrugated PE, 6"	LF	10210	\$ 14.20	\$ 144,982.00	3775	\$ 53,605.00
4.16	5.760.67650	4040-108-C-0	Subdrain Cleanout, Type 1, 6"	EA	48	\$ 580.00	\$ 27,840.00	11	\$ 6,380.00
4.17	5.760.67650	4040-108-D-0	Subdrain Outlets and Connections, PVC, 8"	EA	94	\$ 320.00	\$ 30,080.00	38	\$ 12,160.00
4.18	5.760.67650	4060-108-B-0	Video Inspection of Storm Sewers	LS	1	\$ 14,000.00	\$ 14,000.00	1	\$ 14,000.00
4.19	5.760.67650	XXXX-XXX-X-X	Field Tile Repair, PVC, Unspecified Dia.	LF	500	\$ 31.50	\$ 15,750.00	195.88	\$ 6,170.22
4.20	5.760.67650	XXXX-XXX-X-X	8" Yard Drain Assembly	EA	8	\$ 880.00	\$ 7,040.00	4	\$ 3,520.00
5.1	5.766.67800	5010-108-A-1	Water Main, Trenched, PVC C900, 10"	LF	153	\$ 79.00	\$ 12,087.00	165	\$ 13,035.00
5.2	5.766.67800	5010-108-A-1	Water Main, Trenched, PVC C900, 12"	LF	115	\$ 157.50	\$ 18,112.50	46	\$ 7,245.00
5.3	5.766.67800	5010-108-C-2	Fittings, Water Main	LB	3651	\$ 7.35	\$ 26,834.85	1864	\$ 13,700.40
5.4	5.766.67800	5010-108-D-0	Water Service Stub, Trenched, Copper, 1"	EA	1	\$ 2,800.00	\$ 2,800.00	1	\$ 2,800.00
5.5	5.766.67800	5020-108-A-0	Valve, DI MJ Gate, 10"	EA	1	\$ 1,900.00	\$ 1,900.00	1	\$ 1,900.00
5.6	5.766.67800	5020-108-C-0	Fire Hydrant Assembly	EA	7	\$ 5,800.00	\$ 40,600.00	12	\$ 69,600.00
5.7	5.766.67800	5020-108-G-0	Valve Box Replacement	EA	2	\$ 840.00	\$ 1,680.00	2	\$ 1,680.00

5.8	5.766.67800	5020-XXX-X-X	Remove Existing Fire Hydrant Assembly	EA	7	\$ 1,100.00	\$ 7,700.00	12	\$ 13,200.00
5.9	5.766.67800	5020-XXX-X-X	Yard Hydrant Assembly	EA	3	\$ 1,700.00	\$ 5,100.00	3	\$ 5,100.00
6.1	5.760.67650	6010-108-A-0	Manhole Type SW-401, 48 IN.	EA	5	\$ 2,600.00	\$ 13,000.00	5	\$ 13,000.00
6.2	5.760.67650	6010-108-A-0	Manhole Type SW-401, 60 IN.	EA	2	\$ 4,100.00	\$ 8,200.00	2	\$ 8,200.00
6.3	5.760.67650	6010-108-A-0	Manhole Type SW-401, 72 IN.	EA	2	\$ 5,800.00	\$ 11,600.00	2	\$ 11,600.00
6.4	5.760.67650	6010-108-A-0	Manhole Type SW-401, 84 IN.	EA	1	\$ 7,800.00	\$ 7,800.00	1	\$ 7,800.00
6.5	5.760.67650	6010-108-B-0	Intake Type SW-503	EA	3	\$ 3,500.00	\$ 10,500.00	3	\$ 10,500.00
6.6	5.760.67650	6010-108-B-0	Intake Type SW-505	EA	24	\$ 3,500.00	\$ 84,000.00	24	\$ 84,000.00
6.7	5.760.67650	6010-108-B-0	Intake Type SW-506	EA	11	\$ 6,100.00	\$ 67,100.00	9	\$ 54,900.00
6.8	5.760.67650	6010-108-B-0	Intake Type SW-506 Modified (Full Box)	EA	11	\$ 8,200.00	\$ 90,200.00	13	\$ 106,600.00
6.9	5.760.67650	6010-108-B-0	Intake Type SW-513, 4'x4'	EA	2	\$ 4,700.00	\$ 9,400.00	0	\$ -
6.10	5.760.67650	6010-108-B-0	Intake Type SW-513 MODIFIED, 5'x8'	EA	1	\$ 6,400.00	\$ 6,400.00	1	\$ 6,400.00
6.11	5.768.67670	6010-108-F-0	Manhole Adjustment, Major, Sanitary Sewer	EA	4	\$ 2,100.00	\$ 8,400.00	4	\$ 8,400.00
6.12	5.760.67650	6010-108-G-0	Connection to Existing Intake	EA	1	\$ 2,300.00	\$ 2,300.00	3	\$ 6,900.00
6.13	5.760.67650	6010-108-H-0	Remove Manhole or Intake	EA	4	\$ 580.00	\$ 2,320.00	4	\$ 2,320.00
7.1	5.760.67610	7010-108-A-0	Pavement, PCC, 9 IN.	SY	34581	\$ 63.00	\$ 2,178,603.00	16423.9	\$ 1,034,705.70
7.2	5.760.67610	7010-XXX-X-X	Colored Pavement, PCC, Class C, 9"	SY	1724	\$ 75.00	\$ 129,300.00	481.6	\$ 36,120.00
7.3	5.760.67610	7010-108-G-0	Concrete Median	SY	78	\$ 77.00	\$ 6,006.00	0	\$ -
7.4	5.760.67610	7010-XXX-X-X	Granular Surfacing	TON	343	\$ 30.00	\$ 10,290.00	529.65	\$ 15,889.50
7.5	5.760.67612	7030-108-A-0	Removal of Sidewalk	SY	1058	\$ 8.00	\$ 8,464.00	850	\$ 6,800.00
7.6	5.760.67610	7030-108-A-0	Removal of Driveway	SY	1201	\$ 8.00	\$ 9,608.00	431.5	\$ 3,452.00
7.7	5.760.67612	7030-108-C-0	Shared Use Path, PCC, 5"	SY	5788	\$ 29.95	\$ 173,350.60	2407	\$ 72,089.65
7.8	5.760.67612	7030-108-E-0	Sidewalk, PCC, 5"	SY	2875	\$ 39.95	\$ 114,856.25	1238.6	\$ 49,482.07
7.9	5.760.67612	7030-108-E-0	Sidewalk, PCC, 6"	SY	357	\$ 58.00	\$ 20,706.00	63.5	\$ 3,683.00
7.10	5.760.67612	7030-108-G-0	Detectable Warning	SF	835	\$ 33.00	\$ 27,555.00	192	\$ 6,336.00
7.11	5.760.67610	7030-108-H-1	Driveway, Paved, PCC, 6"	SY	1727	\$ 45.00	\$ 77,715.00	606	\$ 27,270.00
7.12	5.760.67610	7040-108-H-0	Pavement Removal	SY	12369	\$ 8.00	\$ 98,952.00	15728.3	\$ 125,826.40
8.1	5.760.67615	8010-108-A-0	Painted Pavement Markings, Durable	STA	107.12	\$ 95.00	\$ 10,176.40	0	\$ -
8.2	5.760.67615	8010-108-A-0	Painted Symbols & Legends, Durable	EA	32	\$ 150.00	\$ 4,800.00	0	\$ -
8.3	5.760.67615	8010-108-A-0	Traffic Control	LS	1	\$ 11,200.00	\$ 11,200.00	0.5	\$ 5,600.00
8.4	5.760.67615	8010-108-A-0	Posts for Signs (Steel)	LF	845	\$ 10.00	\$ 8,450.00	0	\$ -
8.5	5.760.67615	8010-108-A-0	Type A Signs	SF	708	\$ 30.00	\$ 21,240.00	0	\$ -
8.6	5.760.67615	8010-XXX-X-X	Removable Tape Markings	STA	5	\$ 150.00	\$ 750.00	14.44	\$ 2,166.00
8.7	5.760.67615	8010-XXX-X-X	Grooves Cut for Pavement Markings	STA	107.1	\$ 50.00	\$ 5,355.00	0	\$ -
8.8	5.760.67615	8010-XXX-X-X	Grooves Cut for Symbols & Legends	EA	32	\$ 95.00	\$ 3,040.00	0	\$ -
8.9	5.760.67611	8010-XXX-X-X	Conduit, 1.5" HDPE, Trenched, Blue	LF	9780	\$ 3.52	\$ 34,425.60	0	\$ -
8.10	5.760.67611	8010-XXX-X-X	Conduit, 2" HDPE, Trenched, Orange	LF	8386	\$ 4.28	\$ 35,892.08	7949	\$ 34,021.72
8.11	5.760.67611	8010-XXX-X-X	Conduit, 2" HDPE, Trenched, Green	LF	665	\$ 5.11	\$ 3,398.15	0	\$ -
8.12	5.760.67611	8010-XXX-X-X	Conduit, 4" HDPE, Trenched, Green	LF	16384	\$ 7.47	\$ 122,388.48	0	\$ -
8.13	5.760.67611	8010-XXX-X-X	Conduit, 4" HDPE, Trenched, Black	LF	6359	\$ 8.17	\$ 51,953.03	5568	\$ 45,490.56
8.14	5.760.67611	8010-XXX-X-X	Conduit, 6" HDPE, Trenched, Black	LF	5644	\$ 14.68	\$ 82,853.92	5026	\$ 73,781.68
8.15	5.760.67611	8010-XXX-X-X	Conduit, 1.5" HDPE, Trenchless, Blue	LF	640	\$ 2.70	\$ 1,728.00	0	\$ -
8.16	5.760.67611	8010-XXX-X-X	Conduit, 2" HDPE, Trenchless, Orange	LF	815	\$ 3.29	\$ 2,681.35	815	\$ 2,681.35
8.17	5.760.67611	8010-XXX-X-X	Conduit, 4" HDPE, Trenchless, Green	LF	1135	\$ 5.09	\$ 5,777.15	0	\$ -
8.18	5.760.67611	8010-XXX-X-X	Conduit, 4" HDPE, Trenchless, Black	LF	320	\$ 5.09	\$ 1,628.80	320	\$ 1,628.80
8.19	5.760.67611	8010-XXX-X-X	Conduit, 6" HDPE, Trenchless, Black	LF	320	\$ 8.58	\$ 2,745.60	320	\$ 2,745.60
8.20	5.760.67611	8010-XXX-X-X	Joint Utility Trench	LF	5395	\$ 23.36	\$ 126,027.20	7652	\$ 178,750.72
8.21	5.760.67611	8010-XXX-X-X	Handhole, City Utility	EA	9	\$ 1,270.00	\$ 11,430.00	0	\$ -
8.22	5.760.67615	XXXX-XXX-X-X	Maintain Postal Service	EA	10	\$ 400.00	\$ 4,000.00	11	\$ 4,400.00
9.1	5.760.67170	9010-108-B-0	Hydraulic Seeding, Seeding, Fertilizing, and Mulching, Type	AC	3.86	\$ 3,485.00	\$ 13,452.10	0	\$ -
9.2	5.760.67170	9010-108-B-0	Hydraulic Seeding, Seeding, Fertilizing, and Mulching, Type	AC	6.16	\$ 2,734.00	\$ 16,841.44	0	\$ -
9.3	5.760.67170	9010-108-B-0	Hydraulic Seeding, Seeding, Fertilizing, and Mulching, Type	AC	2.69	\$ 3,485.00	\$ 9,374.65	0	\$ -
9.4	5.760.67650	9040-108-A-1	SWPPP Preparation	LS	1	\$ 1,000.00	\$ 1,000.00	1	\$ 1,000.00
9.5	5.760.67650	9040-108-A-2	SWPPP Management	LS	1	\$ 3,000.00	\$ 3,000.00	0	\$ -
9.6	5.760.67650	9040-108-D-1	Filter Socks, 12"	LF	12922	\$ 2.00	\$ 25,844.00	1608	\$ 3,216.00



	Pay Request 18	
	Pay Request 19	
	Pay Request 20	
	Total Previously Approved	\$ 3,347,723.21
	Amount Due This Request	\$ 206,971.49
	Percent Complete	64.77%
	Percent of Contract Period Utilized (in Calendar Days, Based on Notice to Proceed Date & Contract Completion Date)	165.8%

The amount \$ 206,971.49 is recommended for approval for payment in accordance with the terms of the Contract.

No.	Item Description	TOTAL AMOUNT TO DATE
5.760.67170	Streetscape	\$ 99,882.50
5.760.67400	Right-of-Way	\$ -
5.760.67610	Streets	\$ 1,918,989.50
5.760.67611	Traffic Signal	\$ 339,100.43
5.760.67612	Sidewalks	\$ 138,390.72
5.760.67615	Traffic Control	\$ 12,166.00
5.760.67616	Utility Relocation	\$ -
5.760.67650	Storm Drainage	\$ 1,086,668.62
5.766.67800	Water Main, Hydrants	\$ 130,231.40
5.768.67670	Sanitary Sewer	\$ 8,400.00

Contractor:  
Manatt's Inc.

Signature:

Name:

Title:

Date:

*Mike Vichler*  
*Mike Vichler*  
*Project Manager*  
*9/23/16*

Recommended By:  
HR Green, Inc.

Signature:

Name:

Title:

Date:

*Chad Mason*  
*Chad Mason*  
*Project Manager*  
*9/23/16*

Checked By:

City of Johnston

Signature:

Name:

Title:

Date:



OFFICE OF THE CITY ADMINISTRATOR  
Johnston, Iowa  
AGENDA COMMUNICATION  
October 3, 2016 Meeting

SUBJECT: Approval to purchase water meter	ACTION REQUIRED: <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <i>WDE</i> <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
-------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

SYNOPSIS:

The Water Department has contacted Ferguson Waterworks for the purchase of a 3" water meter.

The meter will be used at the 62W apartment complex. They will be reimbursing the city for the water meter.

Ferguson Waterworks is the single source for Neptune Water Meters.

FISCAL IMPACT

Water Resale Merchandise	\$2512.54
--------------------------	-----------

RECOMMENDATION:

Approve

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Approval to purchase water meter.

ROLL CALL VOTE:      AYE              NAY              ABSENT              ABSTAIN

Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



OFFICE OF THE CITY ADMINISTRATOR  
Johnston, Iowa  
AGENDA COMMUNICATION  
October 3, 2016 Meeting

SUBJECT: Approval to purchase water meters	ACTION REQUIRED: <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <i>WDL</i> <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
--------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

SYNOPSIS:

The Water Department has contacted Ferguson Waterworks for the purchase 2" water meters.

The 2" meters will be used to replenish stock for the water department.

Ferguson Waterworks is the single source for Neptune Water Meters.

FISCAL IMPACT

Water Resale Merchandise	\$10,152.78
--------------------------	-------------

RECOMMENDATION:

Approve

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Approval to purchase water meters.

ROLL CALL VOTE:      AYE              NAY              ABSENT              ABSTAIN

Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
AGENDA COMMUNICATION  
October 3, 2016 Meeting

<b>SUBJECT:</b> Approve the lease of a new copier for Public Works	<b>ACTION REQUIRED:</b> <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <i>WJL</i> <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
--------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

**SYNOPSIS:**

The public works department has been experiencing multiple problems with the current copier that we are leasing. We have had numerous service calls on the machine in the last two months. This is creating problems with getting large projects completed and being able to rely on the copier.

Infomax is the company that we are currently leasing the copier through. In contacting them regarding the issues on the machine, they informed us that we are at a point in the lease in which we can upgrade to a newer machine.

The base price of the copier that we currently have is \$209.00 per month. The new machine would have a base price of \$215.00 per month.

**FISCAL IMPACT**

New copier (Cannon C5235A) \$215.00/mo for 63months.

**RECOMMENDATION:**

Approval to lease new copier from Infomax.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve the lease of a new copier for Public Works

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____





**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

10/3/2016

**SUBJECT:** 30 Day Public Comment Period of the Antidegradation Alternative Analysis for City of Johnston Sewer Protection & Odor Control

**ACTION REQUIRED:**

Ordinance  
 Resolution *SK*  
 Approval  
 Receive/File  
 Attorney Review

**SYNOPSIS**

The current odor control facility located near the intersection of NW Beaver Drive and NW 66<sup>th</sup> Avenue will be required to be removed for the reconstruction of the above mentioned intersection.

The odor control system addresses hydrogen sulfide which is a noxious smelling gas that is created by the NW Beaver Drive Sanitary Sewer System. Snyder & Associates, Inc. evaluated multiple alternatives to address the hydrogen sulfide that is being created by the sanitary sewer in the region of the community.

The option being considered to address the hydrogen sulfide issue is to inject calcium nitrate into the wastewater stream to protect against the formation of hydrogen sulfide in the wastewater stream. The Iowa Department of Natural Sources requires that an Antidegradation Alternative Analysis (AAA) be completed before a chemical addition system would be allowed to be constructed on the sanitary sewer collection system. A requirement of the AAA is for a 30 day public comment period to be completed.

Attached is a draft version of the AAA. The AAA will be finalized after the 30 day public comment period.

FISCAL IMPACT

N/A

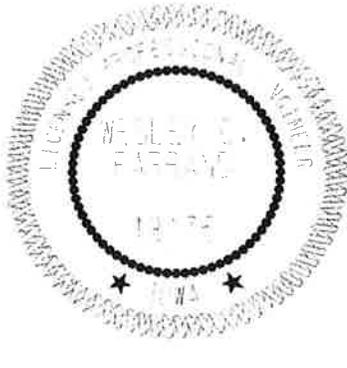
RECOMMENDATION

Staff recommends that council approve the 30 day public notice period October 7, 2016 through November 7, 2016.

**ANTIDegradation ALTERNATIVES ANALYSIS  
FOR  
CITY OF JOHNSTON  
SEWER PROTECTION & ODOR CONTROL**

**September 27, 2016**

**S&A Project No. 116.0226**

	<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p> <hr/> <p>Wesley C. Farrand, P.E. <span style="float: right;">DATE</span></p> <p>MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016.</p> <p>LICENSE NUMBER 18175</p> <p>PAGES OR SHEETS COVERED BY THIS SEAL: <hr/></p> <p>ALL</p>
-------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Prepared by:

**SNYDER & ASSOCIATES, INC.**  
2727 SW Snyder Blvd.  
Ankeny, Iowa 50023  
(515) 964-2020

**Antidegradation Alternatives Analysis**

**Sewer Protection and Odor Control  
City of Johnston, Iowa**

Executive Summary .....1  
Existing Conditions and Design Parameters .....1  
Receiving Stream Network .....2  
Effluent Limitations .....4  
Pollutants of Concern Identification and Tier Protection Level .....5  
Identification and Discussion of Alternatives .....5  
Alternative Classification and Evaluation .....7  
Preferred Alternative .....8  
Justification of Degradation .....8  
Project Social and Economic Importance .....8  
Public Comment.....9

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Appendix B: Public Notices.....8  
Appendix C: Chemical MSDS .....8

## **EXECUTIVE SUMMARY**

The City of Johnston's wastewater collection system includes several pressurized collection systems which result in high hydrogen sulfide concentrations in the downstream wastewater stream. Currently the City has a carbon adsorption filter in a residential area to remove the noxious smelling gas. However, the proposed reconstruction of the intersection near that system will require this vapor phase treatment facility to be removed. In looking to address the loss of this system, the City is evaluating other treatment alternatives which will mitigate the odor issue but can also reduce the hydrogen sulfide concentration at the source, thereby reducing the corrosion in the sewer infrastructure which it causes.

Multiple alternatives were evaluated to address the odor and corrosion concerns. The alternatives that were evaluated include: do nothing, hydrogen peroxide chemical addition, and calcium nitrate chemical addition. Based on the alternatives analysis, benefits and costs of the alternative systems, as well as the City's experience with an existing facility elsewhere in the City, the City of Johnston is proposing to install a calcium nitrate chemical addition system for odor and corrosion control in its wastewater collection system.

## **EXISTING CONDITIONS AND DESIGN PARAMETERS**

The City of Johnston's wastewater collection system includes areas which are served by pressure sewer systems discharging to the regular gravity sewer system. In these systems, the increase detention in wet wells combined with long force mains results in anaerobic conditions conducive to the formation of hydrogen sulfide (H<sub>2</sub>S). Elevated levels of hydrogen sulfides in the system have resulted in odor complaints from residents and increased corrosion in the downstream sewers.

One of these force mains discharges into the gravity sewer at the intersection of NW Beaver Dr. and Merle Hay Road (NW 58<sup>th</sup> St.). Appendix A contains a map showing the location of the pump station and force main. Downstream of this outfall at the intersection of NW 66<sup>th</sup> Avenue and NW Beaver Drive the City currently operates a carbon adsorption filter odor control system. This system was installed to address the hydrogen sulfide that collects in the system and prior to the system's installation contributed to odor complaints from the surrounding residences. This system has been successful in preventing the objectionable odors from drifting into the local subdivisions. However, due to the planned reconstruction of this intersection, this existing vapor-phase odor control system will need to be removed. Therefore, the City is evaluating potential alternatives for odor control.

All of the City of Johnston’s wastewater flows are conveyed to the Des Moines Metropolitan Wastewater Reclamation Authority (WRA) wastewater collection system and ultimately to the WRA’s Wastewater Reclamation Facility (WRF) on Vandalia Road about 14 miles downstream. The WRF has a design capacity for 200 MGD of maximum wet weather (MWW) flow and an average dry weather (ADW) flow of 50 MGD. The WRF meets all current permit limits.

**RECEIVING STREAM NETWORK**

Changes to the State’s water quality standards, enacted in 2006, eliminated the protected flow concept. All perennial streams were designated for aquatic life and recreational contact (unless determined otherwise by Use Attainability Analysis). This results in more stringent discharge limits.

The existing discharge receiving stream network consists of direct discharge to the Des Moines River in Polk County. The Use Attainability Analysis of the receiving stream network segments between the discharge point and Red Rock Reservoir downstream, are listed in Table 1.

**Table 1-Receiving Stream Network Use Designation**

<b>Stream</b>	<b>Current Designation</b>	<b>Source</b>
Des Moines River	A1, B(WW-1), HH	Iowa DNR 305(b) Water Quality Assessment Database
Des Moines River	A1, B(WW-1), HH	Iowa DNR 305(b) Water Quality Assessment Database
Des Moines River	A1, B(WW-1), HH	Iowa DNR 305(b) Water Quality Assessment Database
Red Rock Reservoir	A1, B(WW-1), HH	Iowa DNR 305(b) Water Quality Assessment Database

- Class A1 waters are waters in which recreational or other uses may result in prolonged and direct contact with the water, involving considerable risk of ingesting water in quantities sufficient to pose a health hazard. Such activities would include, but not be limited to, swimming, driving, water skiing, and contact recreational canoeing.
- Class A2 waters are waters in which recreational or other uses may result in contact with the water that is either incidental or accidental. During the recreational use, the probability of ingesting appreciable quantities of water is minimal. Class A2 uses include fishing, commercial and recreational boating, any limited contact incidental to shoreline activities and activities in which users do not swim or float in the water body while on a boating activity.
- Class B(WW-1) waters are waters in which temperature, flow and other habitat

characteristics are suitable to maintain warm water game fish populations along with a resident aquatic community that includes a variety of native nongame fish and invertebrate species. These waters generally include border rivers, large interior rivers, and the lower segments of medium tributary streams.

- Class HH waters are waters in which fish are routinely harvested for human consumption or waters both designated as a drinking water supply and in which fish are routinely harvested for human consumption.

The impairment status of the receiving stream network as identified in the Iowa DNR 305(b) Water Quality Assessment Database is described in Table 2. Note that a TMDL addressing the bacterial impairment status of the Des Moines River was approved by the EPA in March of 2010. The effect of this TMDL decision is reflected in the City’s NPDES permit.

**Table 2-Impairment Stream**

Stream	Impairment(s)	TMDL Priority	Integrated Report Category	Segment (ADB Code)
Des Moines River	Bacteria	---	4a	IA 04-LDM-0040_3
Des Moines River	Bacteria	---	4a	IA 04-LDM-0040_2
Des Moines River	Bacteria	---	4a	IA 04-LDM-0040_1
Des Moines River	Biological	---	4a	IA 04-LDM-0040_1
Red Rock Reservoir	Bacteria	Low	5a	IA 04-LDM-0030-L-0
Red Rock Reservoir	Turbidity	Medium	5a	IA 04-LDM-0030-L-0
Des Moines River	Biological	---	4c	IA 04-LDM-0020_3
Des Moines River	Bacteria	Low	5a	IA 04-LDM-0020_2
Des Moines River	Biological	Low	5a	IA 04-LDM-0020_2
Des Moines River	Bacteria	Low	5a	IA 04-LDM-0020_1
Des Moines River	Biological	Low	5a	IA 04-LDM-0020_1
Des Moines River	Bacteria	Low	5b	IA 04-LDM-0010_4
Des Moines River	Biological	Low	5b	IA 04-LDM-0010_4
Des Moines River	Bacteria	Low	5b	IA 04-LDM-0010_3
Des Moines River	Biological	Low	5b	IA 04-LDM-0010_3
Des Moines River	Bacteria	Low	5a	IA 04-LDM-0010_2
Des Moines River	Bacteria	Low	5a	IA 04-LDM-0010_1

TMDLs for the above referenced sections of the receiving stream shown with a TMDL priority have not been scheduled at this time. The City’s effluent limitations may be impacted once TMDLs for the above referenced segments of the City’s receiving stream network have been approved.

**Table 3- Segment on Approved TMDL**

Stream	Stressor	Segment (ADB Code)	TMDL
Des Moines River	Bacteria	IA 04-LDM-0040_3	Water Quality Improvement Plan for Des Moines River
Des Moines River	Bacteria	IA 04-LDM-0040_2	Water Quality Improvement Plan for Des Moines River
Des Moines River	Bacteria	IA 04-LDM-0040-1	Water Quality Improvement Plan for Des Moines River

***EFFLUENT LIMITATIONS***

Existing NPDES permit limits associated with the WRA WRF’s discharge are shown in Tables 4A and 4B below. The WRA’s current permit does not include any limits on nitrates or sulfides.

**Table 4A: Existing NPDES Permit Limits (Outfall No. 001)**

Parameter	Daily Max (mg/l)	Monthly Ave (mg/l)	Daily Max (lb/day)	Monthly Average (lb/day)	Range (min-max)
TSS	45.0	30.0	75,060	50,040	
pH					6.0-9.0
CBOD5	40.0	25.0	66,720	41,700	
DO					Min. 3.0 mg/l
E. Coli					126#/100 ML
Acute Toxicity, Ceriodaphnia				(no toxicity)	
Acute Toxicity, Pimephales				(no toxicity)	

**Table 4B: Existing NPDES Permit Limits (Outfall No. 001)  
– Ammonia Nitrogen**

<b>Month</b>	<b>Daily Maximum (lbs/cfs/d)</b>	<b>30 Day Average (lbs/cfs/d)</b>
January	34.5	25.1
February	37.3	28.6
March	30.7	12.4
April	27.0	8.6
May	26.4	7.2
June	25.5	4.6
July	30.7	5.8
August	27.2	5.3
September	30.1	5.3
October	29.2	12.4
November	25.8	15.7
December	29.5	18.6

***POLLUTANTS OF CONCERN IDENTIFICATION AND TIER PROTECTION LEVEL***

Pollutants of Concern (POC) are defined as “those pollutants which are reasonably expected to be present in the discharge and may reasonably be expected to negatively affect the beneficial uses of the receiving water”. Table 5 identifies the pollutants of concern for the proposed treatment alternative.

**Table 5: Pollutants of Concern**

<b>POC</b>	<b>Secondary or WQBEL?</b>	<b>Beneficial Use Affected</b>	<b>Tier</b>
Nitrates	No	Human Health, Aquatic life, General Uses	2
Total Nitrogen	No	Human Health, Aquatic life, General Uses	2

***IDENTIFICATION AND DISCUSSION OF ALTERNATIVES***

The following alternatives were evaluated based on their practicability, economic efficiency, affordability and degradation. The alternatives consist of one Non-Degrading (NDA) Alternative, one Less-Degrading Alternatives (LDA), and one Base Pollution Control Alternative (BPCA).

The replacement of the existing carbon adsorption filter was not considered due to several factors: the existing location will not be able to be replaced due to the intersection reconstruction, the treatment is vapor-phase at a specific location only require multiple installations, it does not address the formation of hydrogen sulfide leading to corrosion of the sewer infrastructure.

**Alternative No. 1: Do Nothing (Base Pollution Control Alternative)**

This alternative considered the removal of the existing vapor-phase odor control facility and no action to replace or address the hydrogen sulfide build up. This alternative has no degrading component as there are not any NPDES requirements for hydrogen sulfide gas release to the atmosphere. This alternative would revert to allowing the hydrogen sulfide produced in the wastewater collection system to disperse through openings in the system. Based on the history of the system, this alternative would into the neighborhood becoming a local nuisance.

While this option does not have any upfront costs it does include costs incurred from the repair and rehabilitation of the downstream sewer system due to hydrogen sulfide corrosion. For the purposes of the life cycle cost analysis, the rehabilitation needs were estimated to include the rehabilitation of 1,000 feet and 10 manholes every 10 years along with regular cleaning of sewer lines and miscellaneous maintenance on a yearly basis.

**Alternative No. 2: Hydrogen Peroxide Addition (Non-Degrading Alternative)**

This alternative includes the construction of a new chemical addition system that will feed a hydrogen peroxide solution into the wastewater just upstream of the force main discharge location. Hydrogen peroxide is a strong oxidant which oxidizes hydrogen sulfide. It can also prevent the formation of hydrogen sulfide, but its short life span does not last very far in the downstream system. The system would consist of a storage tank, chemical feed pumps, and injection line into the wastewater system. The chemical feed pumps would be controlled from the pump station pumps or flow measuring devices in the downstream sewer to meter the chemical dosage proportionally to the wastewater flow. The feed concentration is typically about 5-10 mg/L for domestic waste, estimated to be about 15-20 gallons per day.

This alternative has some advantages such as the lack of harmful by-products and a fast reaction time. However, the hydrogen peroxide is considered a hazardous chemical requiring special handling and safety precautions as well as special operator training. The system would provide both odor and corrosion control for the system. This chemical does not include and pollutants of concern. The MSDS information for hydrogen peroxide is included in Appendix C.

**Alternative No. 3: Calcium Nitrate Chemical Addition (Less-Degrading Alternative)**

This alternative includes the construction of a new chemical addition system that will feed a calcium nitrate solution into the wastewater just upstream of the force main discharge location. Calcium nitrate provides an oxygen source to naturally occurring bacteria to biochemically oxidize dissolved sulfides in the presence of nitrate. It helps preclude the formation of hydrogen sulfide as well as helps eliminate sulfides already in solution. The system would consist of a storage tank, chemical feed pumps, and injection line into the wastewater system. The chemical feed pumps would be controlled from the pump station pumps or flow measuring devices in the downstream sewer to meter the chemical dosage proportionally to the wastewater flow. The feed concentration is expected to be minimal at around 15-20 gallons per day based on the City's current operation of a similar system.

This alternative is the preferred option for hydrogen sulfide control as it inhibits its formation as well as removes it from solution providing both odor and corrosion control for the system. The nitrate added to the system, while a pollutant of concern, is mostly converted in its form through the biochemical process to sulfate and nitrogen. The WRF's treatment process is expected to be able to successfully treat the negligible additional nitrogen as part of its current treatment operations and stay within its permitted effluent limits. The MSDS information for calcium nitrate is included in Appendix C.

**ALTERNATIVE CLASSIFICATION AND EVALUATION**

The following table provides a present worth cost comparison between the alternatives discussed in this study. The present worth was evaluated based on the OMB Circular A-94 for a 20 year period.

**Table 18: Alternatives and Present Worth Costs**

<b>Alternative No.</b>	<b>Description</b>	<b>20 Year Present Worth Cost</b>
1	Do Nothing (BPCA)	\$313,338
2	Hydrogen Peroxide Addition (NDA)	\$714,092
3	Calcium Nitrate Addition (LDA)	\$536,471

The following table presents a classification and evaluation of each alternative.

**Table 19: Alternative Classification and Evaluation**

<b>Alternative No.</b>	<b>BPCA, NDA or LDA?</b>	<b>Practicable?</b>	<b>Economically Efficient:</b>	<b>% of BPCA</b>	<b>Reasonable?</b>
1	BPCA	Yes	Yes	100%	Yes
2	NDA	Yes	No	228%	No
3	LDA	Yes	No	168%	Yes

***PREFERRED ALTERNATIVE***

The preferred alternative recommended in this analysis is the chemical addition of calcium nitrate for stabilization of the wastewater to prevent and remove the formation of hydrogen sulfide. This recommendation is made because that alternative is the most practical, economically efficient and reasonable alternative available to the City for the control of both odor and corrosion in the system. It is more effective than no controls at achieving all of the project goals and more economically viable than the more expensive hydrogen peroxide addition.

***JUSTIFICATION OF DEGRADATION***

The preferred alternative of adding calcium nitrate to the wastewater stream will reduce the occurrence of hydrogen sulfide in the system which in turn will protect workers, residents and the City’s wastewater collection system infrastructure. It is not considered degrading due to the negligible concentration of nitrate that could reasonably reach the WRF due to dilution in the downstream collection system and treatment removal at the WRF. Additionally the calcium nitrate addition will reduce corrosion in the pipe network where the other alternatives would have no effect.

***PROJECT SOCIAL AND ECONOMIC IMPORTANCE***

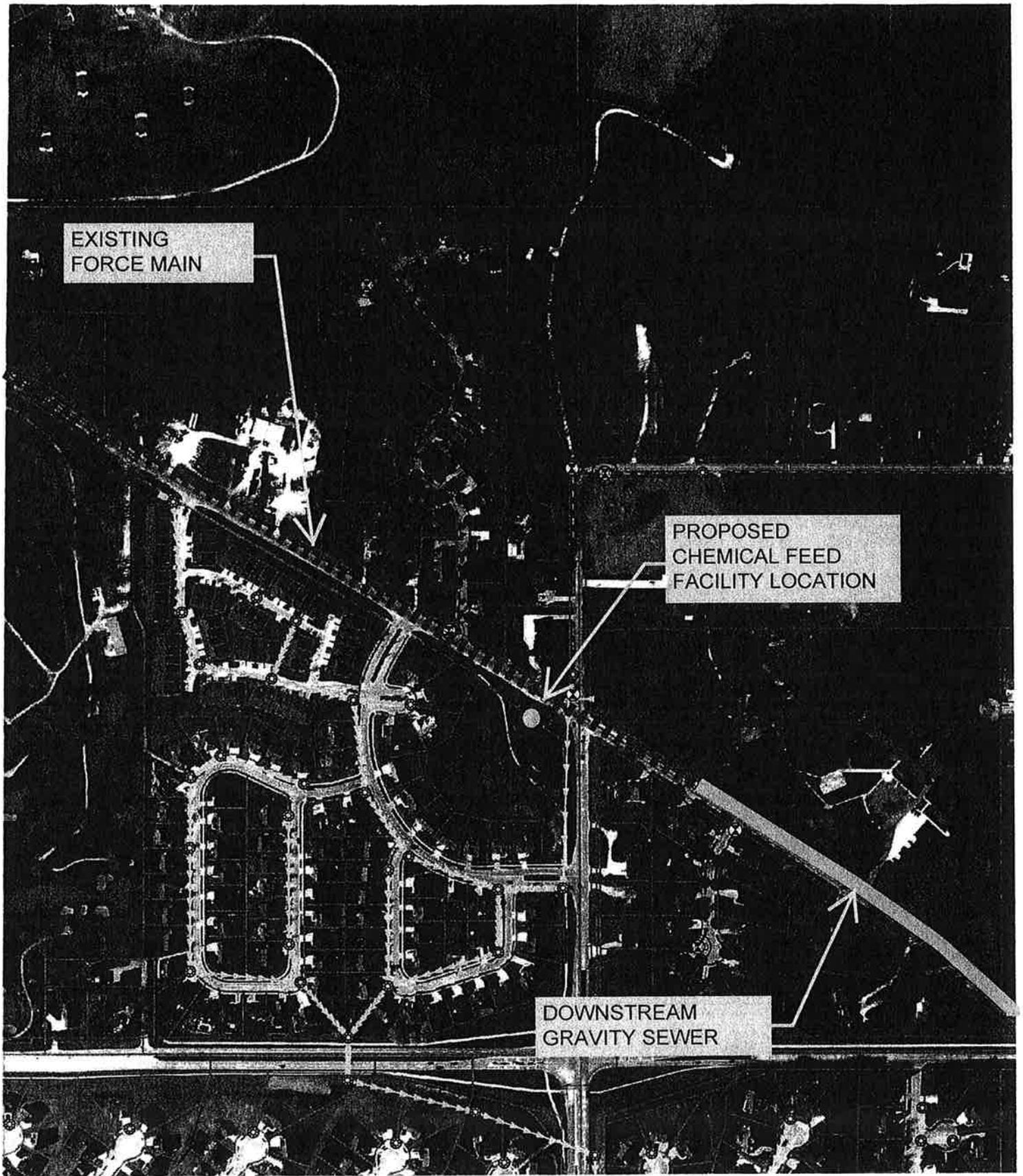
The smell of hydrogen sulfide affects the local residents, the public, and potential housing values in the area. The proximity of residential areas located just north of the manhole with several houses located to the west and south of the manhole are a significant driving factor to the project. The City of Johnston also has multiple public soccer fields in the downstream area that are negatively impacted by offensive odors from the sewer system. In addition to all the local home owners and public users that the smell affects are the tax payers of the area as Hydrogen Sulfide tends to corrode pipes and will shorten the life of the existing infrastructure.

***PUBLIC COMMENT***

A thirty day public comment period was held from October 7<sup>th</sup> through November 7<sup>th</sup>, 2016 with the public notices posted in the Des Moines Register, at City Hall and the Johnston City Library. Notices were also sent to the agencies and affected parties identified in Section 4.1 of the Iowa Antidegradation Implementation Procedures. Proof of publications and copies of the agencies' notices can be found in Appendix B.

# **Appendix A**

## **Location Map**



CITY OF JOHNSTON, IOWA  
SEWER ODOR AND CORROSION PROTECTION SYSTEM

# **Appendix B**

## **Public Notifications**

## **Public Notice**

### **Antidegradation Alternatives Analysis for City of Johnston Oder and Corrosion Control Project**

Notice Date: October 7, 2016

Notice is hereby given that the City of Johnston, Iowa, has completed a draft antidegradation alternatives analysis for discharge of treated wastewater to the Des Moines River. The action being considered is construction of an chemical addition system for odor and corrosion control in the City of Johnston's wastewater collection system. The Des Moines River is protected for Class A1 primary contact recreational, Class B(WW-1) warm water beneficial uses, and Class HH human consumption.

Anyone wishing to comment on the proposed treatment alternative must do so in writing within 30 days of the date shown at the top of this notice. Comments may be submitted to the City of Johnston by hand delivery, mail or email: Cyndee Rhames, City Clerk, City of Johnston, 6221 Merle Hay Road, PO Box 410, Johnston, Iowa 50131, [crhames@cityofjohnston.com](mailto:crhames@cityofjohnston.com).

Copies of this notice and the draft antidegradation alternatives analysis are on file and available for public inspection from 8:00 AM to 5:00 PM Monday through Friday at the above address. Copies of this information may be requested by contacting the City of Johnston at 515-278-2344 or the above email address. The City of Johnston will submit a summary of comments received and the City of Johnston's responses to the Iowa Department of Natural Resources with the final alternatives analysis subject to IDNR review and approval.

# **Appendix C**

## **Chemical MSDS**

## SAFETY DATA SHEET

SECTION 1: PRODUCT AND COMPANY INFORMATION			
PRODUCT TYPE:	Nitrate/Alkaline Inorganic Salt/Aromatic Ketone Solution		
PRODUCT NAME:	Bioxide® A+		
COMPANY ID:	Evoqua Water Technologies LLC 181 Thorn Hill Drive, Warrendale, PA 15086		
TELEPHONE NUMBER:	INFORMATION:	<b>CORPORATE</b>	866.926.8420
	MEDICAL EMERGENCY:	<b>CHEMTREC</b>	800.424.9300
	TRANSPORTATION EMERGENCY:	<b>CHEMTREC</b>	800.424.9300
DATE PREPARED:	15 May 2015	REVISION: 0	

SECTION 2: HAZARD(S) IDENTIFICATION			
HMIS RATINGS	NFPA RATINGS	GUIDE	
HEALTH	3		4 – EXTREME/SEVERE 3 – HIGH/SERIOUS 2 – MODERATE 1 - SLIGHT 0 – MINIMUM W – WATER REACTIVE OX - OXIDIZER
FLAMMABILITY	0		
PHYSICAL HAZARD	1		
PERSONAL PROTECTION	D		
PICTOGRAM	SIGNAL WORD	HAZARD STATEMENT	
	Danger	H302: Harmful if swallowed. H314: Causes severe skin burns and eye damage. H333: May be harmful if inhaled.	
PRECAUTIONARY STATEMENT(S)			
PREVENTION	P264: Wash.....thoroughly after handling. P270: Do not eat, drink or smoke when using this product. P280: Wear protective gloves/protective clothing/eye protection/face protection. P260: Do not breathe dusts or mists. P271: Use only outdoors or in a well-ventilated area.		
RESPONSE	P301+P330+P331: IF SWALLOWED: Rinse mouth. Do NOT induce vomiting. P303+P361+P353: IF ON SKIN (or hair): Take off immediately all contaminated clothing. Rinse skin with water.P302+P352: IF ON SKIN: Wash with plenty of water. P362+P364: Take off contaminated clothing and wash it before reuse. P305+P351+P338: IF IN EYES: Rinse cautiously with water for 15 - 20 minutes. Remove contact lenses, if present and easy to do. Continue		

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	<p>rinsing.</p> <p>P304+P312: IF INHALED: Call a POISON CENTER/doctor/...if you feel unwell.</p> <p>P310: Call a POISON CENTER.</p>
<b>STORAGE</b>	<p>P402: Store in a dry place.</p> <p>P403+P233: Store in a well-ventilated place. Keep container tightly closed.</p> <p>P404: Store in a closed container.</p> <p>P405: Store locked up.</p>
<b>OTHER HAZARDS</b>	
NONE	

<b>SECTION 2: COMPOSITION/INFORMATION ON INGREDIENTS</b>			
<b>PERCENT BY WEIGHT</b>	<b>COMMON NAME (Ingredient / Component)</b>	<b>CAS NO.</b>	<b>IMPURITIES</b>
Proprietary	Sodium nitrate	7631-99-4	none
Proprietary	Alkali	1310-73-2	none
Proprietary	Anthraquinone	84-65-1	none
Proprietary	Water	7732-18-5	none

<b>SECTION 4: FIRST AID MEASURES</b>	
<b>NECESSARY FIRST AID INSTRUCTIONS</b>	
<b>INHALATION FIRST AID</b>	Remove affected person from area to fresh air. Give artificial respiration ONLY if breathing has stopped. Obtain medical attention if individual shows symptoms of exposure.
<b>SKIN CONTACT FIRST AID</b>	Immediately remove clothing from affected area and wash skin with flowing water. Clothing must be washed before reuse. DO NOT instruct person to neutralize affected skin area. Obtain medical attention immediately.
<b>EYE CONTACT FIRST AID</b>	Immediately irrigate eyes with flowing water 15-20 minutes while holding eyes open. Contacts should be removed before or during flushing. DO NOT instruct person to neutralize. Obtain medical attention immediately.
<b>INGESTION FIRST AID:</b>	If victim is alert and not convulsing rinse mouth with water and give water to drink. Do not induce vomiting. If spontaneous vomiting occurs, have affected person lean forward with head down to maintain breathing passage. Obtain medical attention immediately.
<b>DESCRIPTION OF MOST IMPORTANT SYMPTOMS</b>	
No Additional Information Available	
<b>RECOMMENDATIONS FOR IMMEDIATE MEDICAL CARE</b>	
Treat Symptomatically.	

<b>SECTION 5: FIRE-FIGHTING MEASURES</b>	
<b>SUITABLE EXTINGUISHING MEDIA</b>	Use an extinguishing media suitable for the surrounding fire.
<b>UNSUITABLE EXTINGUISHING MEDIA</b>	Use water with caution and in flooding amounts. Do not splatter or splash this material.
<b>SPECIFIC HAZARDS</b>	This solution contains a strong oxidant that, if dried, may react with combustible and reducing materials, causing a fire and explosion hazard.

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<b>PERSONAL PROTECTIVE EQUIPMENT</b>	In the event of fire, wear full protective clothing and NIOSH approved self-contained breathing apparatus with full face piece, operated in positive pressure mode.
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## SECTION 6: ACCIDENTAL RELEASE MEASURES

### PERSONAL PRECAUTIONS, PROTECTIVE EQUIPMENT AND EMERGENCY PROCEDURES

<b>PERSONAL PRECAUTIONS</b>	Wear appropriate personal protective equipment (See Section 8). Handle in accordance with good industrial hygiene and safety practices. These practices include avoiding unnecessary exposure and removal of material from eyes, skin, and clothing.
<b>ENVIRONMENTAL PRECAUTIONS</b>	DO NOT DUMP ON THE GROUND OR INTO ANY BODY OF WATER.
<b>CONTAINMENT AND CLEAN-UP</b>	Stop leak if safe to do so without risk. Ventilate area. If safe to do so, absorb spill with inert material, (e.g., dry sand or earth), then place into a chemical waste container. Flush area with flooding amounts of water.
<b>OTHER INFORMATION</b>	All disposal methods must be in compliance with all Federal, State, Local and Provincial laws, and regulations. Regulations may vary in different locations. Waste characterizations and compliance with applicable laws are the responsibility solely of the waste generator.

## SECTION 7: HANDLING AND STORAGE

<b>PRECAUTIONS FOR SAFE HANDLING</b>	Wash thoroughly after handling. Use with adequate ventilation. Do not get in eyes, on skin, or on clothing. Do not ingest or inhale. Wear all recommended personal protective equipment (See Section 8). This solution is a strong base; it reacts violently with acid and is corrosive in moist air to metals like zinc, aluminum, tin, and lead forming a combustible/explosive gas (hydrogen). It will attack some forms of plastics, rubber or coatings; it absorbs carbon dioxide from the air.
<b>CONDITIONS FOR SAFE STORAGE</b>	Store away from food, beverages, strong acids, metals, reducing agents, combustible and flammable liquids, organic halogens, and liquids with low flash points.

## SECTION 8: EXPOSURE CONTROLS/PERSONAL PROTECTION

<b>ENGINEERING CONTROLS</b>	Adequate general and mechanical exhaust ventilation.		
<b>RESPIRATORY PROTECTION</b>	None required under normal use conditions.		
<b>SKIN PROTECTION</b>	Wear neoprene, rubber or latex gloves, and other protective clothing as appropriate to prevent skin contact such as lab coat, apron, and rubber boots.		
<b>EYE/FACE PROTECTION</b>	Safety glasses or goggles with face shield are recommended. Face shield recommended when connecting and disconnecting piping.		
<b>EXPOSURE LIMITS/GUIDELINES</b>			
	<b>IDLH</b> mg/m <sup>3</sup>	<b>TWA</b> mg/m <sup>3</sup>	<b>Ceiling</b> mg/m <sup>3</sup>
<b>NIOSH REL</b>	10	2	15
<b>OSHA PEL</b>	10	2	n.d.

## SECTION 9: PHYSICAL AND CHEMICAL PROPERTIES

<b>COLOR</b>	Clear to cloudy, colorless to light tan	<b>MOLECULAR WEIGHT</b>	NA
<b>ODOR</b>	None	<b>ODOR THERSHOLD</b>	None
<b>pH VALUE</b>	>14	<b>VAPOR PRESSURE</b>	NA
<b>MELTING POINT</b>	NA	<b>VAPOR DENSITY</b>	NA
<b>FREEZING POINT</b>		<b>SPECIFIC GRAVITY</b>	1.20 – 1.50

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<b>INITIAL BOILING POINT</b>	215-230 F	<b>SOLUBILITY</b>	Complete
<b>FLASHPOINT</b>	NA	<b>PARTITION COEFFICIENT</b>	NA
<b>EVAPORATION RATE</b>	NA	<b>AUTO IGNITION TEMP.</b>	None
<b>FLAMMABILITY</b>	NA	<b>DECOMP. TEMP.</b>	NA
<b>UEL</b>	NA	<b>VISCOSITY</b>	NA
<b>LEL</b>	NA		

SECTION II: REACTIVITY AND REACTIONS	
<b>REACTIVITY</b>	NA
<b>CHEMICAL STABILITY</b>	Stable under normal use conditions
<b>POSSIBILITY OF HAZARDOUS REACTIONS</b>	Corrosive to metals such as aluminum, tin, and zinc as well as to alloys such as steel, and may cause formation of flammable hydrogen gas.
<b>CONDITIONS TO AVOID</b>	Avoid evaporation to dryness. Avoid contact with incompatible materials.
<b>HAZAROUS DECOMPOSITION PRODUCTS</b>	Heating or burning dried product produces Sodium oxide, Sodium peroxide, Nitrogen oxides, Oxygen, Carbon monoxide, and Carbon dioxide.

SECTION III: TOXICOLOGICAL INFORMATION		
<b>INHALATION</b>	<b>ACUTE</b>	Inhalation of vapors or mists may cause severe irritation or burns of the respiratory tract, dizziness, abdominal cramps, vomiting, headache, mental impairment, coughing, labored breathing, or cyanosis. May cause pulmonary edema.
	<b>CHRONIC</b>	There are no known chronic inhalation effects.
<b>SKIN</b>	<b>ACUTE</b>	Skin contact may cause irritation and burns with deep ulceration and permanent scarring. Burns may not be immediately painful; onset of pain may be delayed minutes to hours. Multiple skin burns may cause temporary loss of hair.
	<b>CHRONIC</b>	Prolonged or repeated skin contact may cause dermatitis. May cause skin sensitization, an allergic reaction, which becomes evident upon re-exposure to this material.
<b>EYE</b>	<b>ACUTE</b>	Eye contact may cause irritation and burns. Damage can range from severe irritation and mild scarring to blistering, disintegration, ulceration, severe scarring, and clouding. Conditions which affect vision such as glaucoma and cataracts are possible late developments. In severe cases, there is progressive ulceration and clouding of eye tissue which may lead to permanent blindness.
<b>INGESTION</b>	<b>ACUTE</b>	Ingestion may cause irritation and burns to the esophageal tissue, which may progress to stricture formation. Ingestion may result in severe pain and cramps; burning of the mouth, throat, and esophagus; vomiting; diarrhea; headache; weakness; dizziness; blue lips, fingernails, and skin; labored breathing; convulsions; collapse; and possible death. Ingestion causes swallowing to become painful and difficult almost immediately. In terms of total dose, caustic alkalis have killed adult humans who have ingested less than 10 grams. The probable oral lethal dose of Sodium Nitrate for a human is 0.5-5 g/kg – between 1 ounce and 1 pint (or 1 pound) for a 70 kg person (150 lbs.).
	<b>CHRONIC</b>	Anemia, methemoglobinemia, or nephritis may occur with chronic overexposure. Small repeated doses may cause headache and mental impairment.
<b>LD50</b>		Not known

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LC50	Not known
Acute Toxicity Estimate	Not known
<b>CARCINOGENICITY/MUTAGENICITY</b>	There are no known carcinogenic or mutagenic properties
<b>REPRODUCTIVE EFFECTS</b>	There are no known reproductive effects
<b>NEUROTOXICITY</b>	There are no known neurotoxic effects
<b>OTHER EFFECTS</b>	Constant oral intake of nitrate containing foods or water could lead to the formation of carcinogenic N-Nitroso compounds. Sodium nitrate may cause effects on the blood, resulting in the formation of methaemoglobin. The effects may be delayed.
<b>TARGET ORGANS</b>	Target organs include skin, eyes, digestive tract and respiratory system

SECTION 12: ECOLOGICAL INFORMATION	
This product may be hazardous to the environment; special attention should be given to water organisms. Safely store product to prevent inadvertent release to the environment.	

SECTION 13: DISPOSAL CONSIDERATIONS	
<b>SPILL/LEAK PROCEDURES</b>	Only properly protected personnel should remain in the spill area; dike and contain spill; absorb or scrape up excess into suitable container for disposal; wash area with water. Stop or reduce discharge if it can be done safely.
<b>CLEANUP</b>	If safe to do so, absorb spill with inert material, (e.g., dry sand or earth), then place into a chemical waste container. Flush area with flooding amounts of water.
<b>REGULATORY REQUIREMENTS</b>	Generators of waste material are required to evaluate all waste for compliance with RCRA and any local disposal procedures and regulations. NOTE: State and local regulations may be more stringent than federal regulations.
<b>DISPOSAL</b>	DO NOT DUMP ON THE GROUND OR INTO ANY BODY OF WATER. All disposal methods must be in compliance with all Federal, State, Local and Provincial laws, and regulations. Regulations may vary in different locations. Waste characterizations and compliance with applicable laws are the responsibility solely of the waste generator.

SECTION 14: TRANSPORT INFORMATION		
<b>LAND – DOT</b>	<b>UN/NA IDENTIFICATION NUMBER:</b>	1719
	<b>UN-PROPER SHIPPING NAME:</b>	Caustic alkali liquids, n.o.s.
	<b>TRANSPORT HAZARD CLASS:</b>	8 Corrosive
	<b>PACKING GROUP:</b>	II
	<b>MARINE POLLUTANT:</b>	Not Applicable to unused finished product
	<b>HAZARD CLASS:</b>	8
<b>WATER – IMO/IMDG</b>	<b>UN/NA IDENTIFICATION NUMBER:</b>	1719
	<b>UN-PROPER SHIPPING NAME:</b>	Caustic alkali liquids, n.o.s.
	<b>TRANSPORT HAZARD CLASS:</b>	8 Corrosive
	<b>PACKING GROUP:</b>	II
	<b>MARINE POLLUTANT:</b>	Not Applicable to unused finished product
<b>AIR – ICAO/IATA</b> <i>For product quantities less than 0.5 Kg</i>	<b>UN/NA IDENTIFICATION NUMBER:</b>	1719
	<b>UN-PROPER SHIPPING NAME:</b>	Caustic alkali liquids, n.o.s.
	<b>TRANSPORT HAZARD CLASS:</b>	8 Corrosive
	<b>PACKING GROUP:</b>	II
	<b>MARINE POLLUTANT:</b>	Not Applicable to unused finished product

# SAFETY DATA SHEET

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SECTION 5. REGULATORY INFORMATION	
OSHA	Hazard Communication Standard: Corrosive
OSHA	Process Safety Standard: No
CAA	Section 112r: No
CERCLA	Section 103: Yes RQ: Alkali 1000 lbs.
SARA	Section 302: No; SARA Section 304: No; SARA Section 313: No
SARA HAZARD CATEGORIES 311/312	Not listed.
TSCA	The ingredients of this product are on the TSCA Inventory List.

SECTION 19. OTHER INFORMATION	
DISCLAIMER:	The information contained herein is based on data considered accurate. However, no warranty is expressed or implied regarding the accuracy of these data or the results to be obtained from the user thereof. It is the buyer's responsibility to ensure that its activities comply with federal, state, provincial and local laws.
REVISION INDICATOR:	Revision 0: (This SDS replaces the former MSDS for this product pursuant to OSHA 1910.1200(g) Appendix D. The MSDS for this product should be considered obsolete).



## SAFETY DATA SHEET

Creation Date 28-Oct-2009

Revision Date 06-Jul-2016

Revision Number 3

### 1. Identification

**Product Name** Hydrogen peroxide, 30%

**Cat No. :** H325-4; H325-4LC; H325-30GAL; H325-100; H325-500; H325-500LC

**Synonyms** Hydrogen Dioxide; Peroxide; Carbamide Peroxide

**Recommended Use** Laboratory chemicals.

**Uses advised against** No Information available

**Details of the supplier of the safety data sheet**

**Company**  
Fisher Scientific  
One Reagent Lane  
Fair Lawn, NJ 07410  
Tel: (201) 796-7100

**Emergency Telephone Number**  
CHEMTREC®, Inside the USA: 800-424-9300  
CHEMTREC®, Outside the USA: 001-703-527-3887

### 2. Hazard(s) identification

**Classification**

This chemical is considered hazardous by the 2012 OSHA Hazard Communication Standard (29 CFR 1910.1200)

Oxidizing liquids	Category 2
Acute oral toxicity	Category 4
Serious Eye Damage/Eye Irritation	Category 1

**Label Elements**

**Signal Word**  
Danger

**Hazard Statements**  
May intensify fire; oxidizer  
Harmful if swallowed  
Causes serious eye damage



**Precautionary Statements**

**Prevention**  
Wash face, hands and any exposed skin thoroughly after handling

Do not eat, drink or smoke when using this product  
 Use only outdoors or in a well-ventilated area  
 Do not breathe dust/fume/gas/mist/vapors/spray  
 Wear protective gloves/protective clothing/eye protection/face protection  
 Keep away from heat/sparks/open flames/hot surfaces. - No smoking  
 Keep/Store away from clothing/ other combustible materials  
 Take any precaution to avoid mixing with combustibles  
 Wear fire/flame resistant/retardant clothing

**Response**

Immediately call a POISON CENTER or doctor/physician

**Inhalation**

IF INHALED: Remove victim to fresh air and keep at rest in a position comfortable for breathing

**Skin**

Wash contaminated clothing before reuse

IF ON CLOTHING: Rinse immediately contaminated clothing and skin with plenty of water before removing clothes

Rinse skin with water/shower

**Eyes**

IF IN EYES: Rinse cautiously with water for several minutes. Remove contact lenses, if present and easy to do. Continue rinsing

**Ingestion**

Rinse mouth

Do NOT induce vomiting

**Fire**

In case of fire: Use CO<sub>2</sub>, dry chemical, or foam for extinction

Explosion risk in case of fire

In case of fire: Evacuate area. Fight fire remotely due to the risk of explosion

**Storage**

Store locked up

Store in a well-ventilated place. Keep container tightly closed

Store in a well-ventilated place. Keep cool

**Disposal**

Dispose of contents/container to an approved waste disposal plant

**Hazards not otherwise classified (HNOC)**

None identified

**Other hazards**

May cause pulmonary edema.

### 3. Composition / information on ingredients

Component	CAS-No	Weight %
Water	7732-18-5	65 - 80
Hydrogen peroxide	7722-84-1	20 - 35

### 4. First-aid measures

<b>General Advice</b>	If symptoms persist, call a physician.
<b>Eye Contact</b>	Rinse immediately with plenty of water, also under the eyelids, for at least 15 minutes. Immediate medical attention is required.
<b>Skin Contact</b>	Wash off immediately with plenty of water for at least 15 minutes. Obtain medical attention.
<b>Inhalation</b>	Move to fresh air. If breathing is difficult, give oxygen. Obtain medical attention.
<b>Ingestion</b>	Do not induce vomiting. Obtain medical attention.
<b>Most important symptoms/effects</b>	Causes eye burns.
<b>Notes to Physician</b>	Treat symptomatically

**5. Fire-fighting measures**

**Unsuitable Extinguishing Media** No information available

**Flash Point** No information available  
**Method -** No information available

**Autoignition Temperature** No information available

**Explosion Limits**

**Upper** 100%  
**Lower** 40%

**Sensitivity to Mechanical Impact** No information available  
**Sensitivity to Static Discharge** No information available

**Specific Hazards Arising from the Chemical**

Corrosive Material. Containers may explode when heated. Oxidizer: Contact with combustible/organic material may cause fire. In the event of fire and/or explosion do not breathe fumes. Thermal decomposition can lead to release of irritating gases and vapors.

**Hazardous Combustion Products**

Hydrogen oxygen

**Protective Equipment and Precautions for Firefighters**

As in any fire, wear self-contained breathing apparatus pressure-demand, MSHA/NIOSH (approved or equivalent) and full protective gear.

**NFPA**

**Health**  
3
**Flammability**  
0
**Instability**  
1
**Physical hazards**  
OX

**6. Accidental release measures**

**Personal Precautions** Ensure adequate ventilation. Use personal protective equipment. Avoid contact with the skin and the eyes.

Do not use steel or aluminum tools or equipment

**Environmental Precautions** Should not be released into the environment. Do not flush into surface water or sanitary sewer system. Collect spillage. See Section 12 for additional ecological information.

**Methods for Containment and Clean Up** Soak up with inert absorbent material. Keep in suitable, closed containers for disposal.

**7. Handling and storage**

**Handling** Wear personal protective equipment. Do not get in eyes, on skin, or on clothing. Avoid ingestion and inhalation. Ensure adequate ventilation.

**Storage** Keep containers tightly closed in a dry, cool and well-ventilated place. To maintain product quality. Keep refrigerated. Keep away from direct sunlight. Do not store in metal containers. Containers should be vented periodically in order to overcome pressure buildup.

**8. Exposure controls / personal protection**

**Exposure Guidelines**

Component	ACGIH TLV	OSHA PEL	NIOSH IDLH
Hydrogen peroxide	TWA: 1 ppm	(Vacated) TWA: 1 ppm (Vacated) TWA: 1.4 mg/m <sup>3</sup> TWA: 1 ppm TWA: 1.4 mg/m <sup>3</sup>	IDLH: 75 ppm TWA: 1 ppm TWA: 1.4 mg/m <sup>3</sup>

Component	Quebec	Mexico OEL (TWA)	Ontario TWA EV
Hydrogen peroxide	TWA: 1 ppm TWA: 1.4 mg/m <sup>3</sup>	TWA: 1 ppm TWA: 1.5 mg/m <sup>3</sup>	TWA: 1 ppm

		STEL: 2 ppm STEL: 3 mg/m <sup>3</sup>	
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**Legend**

ACGIH - American Conference of Governmental Industrial Hygienists  
 OSHA - Occupational Safety and Health Administration  
 NIOSH IDLH: The National Institute for Occupational Safety and Health Immediately Dangerous to Life or Health

**Engineering Measures**                      Ensure that eyewash stations and safety showers are close to the workstation location.  
 Ensure adequate ventilation, especially in confined areas.

**Personal Protective Equipment**

**Eye/face Protection**                      Wear appropriate protective eyeglasses or chemical safety goggles as described by OSHA's eye and face protection regulations in 29 CFR 1910.133 or European Standard EN166.

**Skin and body protection**                Wear appropriate protective gloves and clothing to prevent skin exposure.

**Respiratory Protection**                    Follow the OSHA respirator regulations found in 29 CFR 1910.134 or European Standard EN 149. Use a NIOSH/MSHA or European Standard EN 149 approved respirator if exposure limits are exceeded or if irritation or other symptoms are experienced.

**Hygiene Measures**                          Handle in accordance with good industrial hygiene and safety practice.

**9. Physical and chemical properties**

Physical State	Liquid
Appearance	Colorless
Odor	Slight
Odor Threshold	No information available
pH	3.3
Melting Point/Range	-33 °C / -27.4 °F
Boiling Point/Range	108 °C / 226.4 °F @ 760 mmHg
Flash Point	No information available
Evaporation Rate	1.0 (Butyl acetate = 1.0)
Flammability (solid,gas)	Not applicable
Flammability or explosive limits	
Upper	100%
Lower	40%
Vapor Pressure	No information available
Vapor Density	1.10
Specific Gravity	1.110
Solubility	Miscible with water
Partition coefficient; n-octanol/water	No data available
Autoignition Temperature	No information available
Decomposition Temperature	> 125°C
Viscosity	No information available

**10. Stability and reactivity**

<b>Reactive Hazard</b>	None known, based on information available
<b>Stability</b>	Stable under normal conditions. Sensitivity to light.
<b>Conditions to Avoid</b>	Incompatible products. Excess heat. Exposure to light. Combustible material.
<b>Incompatible Materials</b>	Strong oxidizing agents, Metals, Reducing agents, Alcohols, Ammonia, copper, Copper alloys, lead oxides, Cyanides, Sulfides, lead, Acetone, Aluminium,

Hazardous Decomposition Products Hydrogen, oxygen

Hazardous Polymerization Hazardous polymerization does not occur.

Hazardous Reactions None under normal processing.

**11. Toxicological Information**

**Acute Toxicity**

**Product Information**

**Oral LD50**

Category 4. ATE = 300 - 2000 mg/kg.

**Dermal LD50**

Based on ATE data, the classification criteria are not met. ATE > 2000 mg/kg.

**Component Information**

Component	LD50 Oral	LD50 Dermal	LC50 Inhalation
Water	-	Not listed	Not listed
Hydrogen peroxide	376 mg/kg ( Rat ) (90%) 910 mg/kg ( Rat ) (20-60%) 1518 mg/kg ( Rat ) (8-20% sol)	>2000 mg/kg ( Rabbit )	LC50 = 2 g/m <sup>3</sup> ( Rat ) 4 h

**Toxicologically Synergistic Products** No information available

**Delayed and immediate effects as well as chronic effects from short and long-term exposure**

**Irritation** Causes severe eye burns May cause irritation

**Sensitization** No information available

**Carcinogenicity** The table below indicates whether each agency has listed any ingredient as a carcinogen.

Component	CAS-No	IARC	NTP	ACGIH	OSHA	Mexico
Water	7732-18-5	Not listed				
Hydrogen peroxide	7722-84-1	Not listed	Not listed	A3	Not listed	A3

**IARC: (International Agency for Research on Cancer)**

**IARC: (International Agency for Research on Cancer)**

- Group 1 - Carcinogenic to Humans
- Group 2A - Probably Carcinogenic to Humans
- Group 2B - Possibly Carcinogenic to Humans
- A1 - Known Human Carcinogen
- A2 - Suspected Human Carcinogen
- A3 - Animal Carcinogen

**ACGIH: (American Conference of Governmental Industrial Hygienists)**

**ACGIH: (American Conference of Governmental Industrial Hygienists)**

**Mexico - Occupational Exposure Limits - Carcinogens**

- Mexico - Occupational Exposure Limits - Carcinogens
- A1 - Confirmed Human Carcinogen
- A2 - Suspected Human Carcinogen
- A3 - Confirmed Animal Carcinogen
- A4 - Not Classifiable as a Human Carcinogen
- A5 - Not Suspected as a Human Carcinogen

**Mutagenic Effects** No information available

**Reproductive Effects** No information available.

**Developmental Effects** No information available.

**Teratogenicity** No information available.

**STOT - single exposure** None known

**STOT - repeated exposure** None known

**Aspiration hazard** No information available

**Symptoms / effects, both acute and delayed** No information available

**Endocrine Disruptor Information** No information available

**Other Adverse Effects** The toxicological properties have not been fully investigated.

**12. Ecological Information**

**Ecotoxicity**

Contains a substance which is: Harmful to aquatic organisms, may cause long-term adverse effects in the aquatic environment.

Component	Freshwater Algae	Freshwater Fish	Microtox	Water Flea
Hydrogen peroxide	EC50 2.5 mg/L/72h	LC50: 16.4 mg/L/96h (P.promelas)	Not listed	EC50 7.7 mg/L/24h

**Persistence and Degradability** Persistence is unlikely Decomposes Soluble in water  
**Bioaccumulation/ Accumulation** No information available.

**Mobility** Will likely be mobile in the environment due to its water solubility.

Component	log Pow
Hydrogen peroxide	-1.1

**13. Disposal considerations**

**Waste Disposal Methods** Chemical waste generators must determine whether a discarded chemical is classified as a hazardous waste. Chemical waste generators must also consult local, regional, and national hazardous waste regulations to ensure complete and accurate classification.

**14. Transport Information**

**DOT**

UN-No UN2014  
 Proper Shipping Name HYDROGEN PEROXIDE, AQUEOUS SOLUTIONS  
 Hazard Class 5.1  
 Subsidiary Hazard Class 8  
 Packing Group II

**TDG**

UN-No UN2014  
 Proper Shipping Name HYDROGEN PEROXIDE, AQUEOUS SOLUTIONS  
 Hazard Class 5.1  
 Subsidiary Hazard Class 8  
 Packing Group II

**IATA**

UN-No UN2014  
 Proper Shipping Name HYDROGEN PEROXIDE, AQUEOUS SOLUTION  
 Hazard Class 5.1  
 Subsidiary Hazard Class 8  
 Packing Group II

**IMDG/IMO**

UN-No UN2014  
 Proper Shipping Name HYDROGEN PEROXIDE, AQUEOUS SOLUTION  
 Hazard Class 5.1  
 Subsidiary Hazard Class 8  
 Packing Group II

**15. Regulatory Information**

**International Inventories**

Component	TSCA	DSL	NDSL	EINECS	ELINCS	NLP	PICCS	ENCS	AICS	IECSC	KECL
Water	X	X	-	231-791-2	-		X	-	X	X	X
Hydrogen peroxide	X	X	-	231-765-0	-		X	X	X	X	X

**Legend:**

X - Listed

E - Indicates a substance that is the subject of a Section 5(e) Consent order under TSCA.

F - Indicates a substance that is the subject of a Section 5(f) Rule under TSCA.

N - Indicates a polymeric substance containing no free-radical initiator in its inventory name but is considered to cover the designated polymer made with any free-radical initiator regardless of the amount used.  
 P - Indicates a commenced PMN substance  
 R - Indicates a substance that is the subject of a Section 6 risk management rule under TSCA.  
 S - Indicates a substance that is identified in a proposed or final Significant New Use Rule  
 T - Indicates a substance that is the subject of a Section 4 test rule under TSCA.  
 XU - Indicates a substance exempt from reporting under the Inventory Update Rule, i.e. Partial Updating of the TSCA Inventory Data Base Production and Site Reports (40 CFR 710(B)).  
 Y1 - Indicates an exempt polymer that has a number-average molecular weight of 1,000 or greater.  
 Y2 - Indicates an exempt polymer that is a polyester and is made only from reactants included in a specified list of low concern reactants that comprises one of the eligibility criteria for the exemption rule.

**U.S. Federal Regulations**

TSCA 12(b) Not applicable

SARA 313 Not applicable

**SARA 311/312 Hazard Categories**

Acute Health Hazard	Yes
Chronic Health Hazard	No
Fire Hazard	No
Sudden Release of Pressure Hazard	No
Reactive Hazard	No

CWA (Clean Water Act) Not applicable

Clean Air Act Not applicable

OSHA Occupational Safety and Health Administration

Component	Specifically Regulated Chemicals	Highly Hazardous Chemicals
Hydrogen peroxide	-	TQ: 7500 lb

**CERCLA**

This material, as supplied, contains one or more substances regulated as a hazardous substance under the Comprehensive Environmental Response Compensation and Liability Act (CERCLA) (40 CFR 302)

Component	Hazardous Substances RQs	CERCLA EHS RQs
Hydrogen peroxide	-	1000 lb

**California Proposition 65** This product does not contain any Proposition 65 chemicals

**U.S. State Right-to-Know Regulations**

Component	Massachusetts	New Jersey	Pennsylvania	Illinois	Rhode Island
Water	-	-	X	-	-
Hydrogen peroxide	X	X	X	-	X

**U.S. Department of Transportation**

Reportable Quantity (RQ): N  
 DOT Marine Pollutant N  
 DOT Severe Marine Pollutant N

**U.S. Department of Homeland Security**

This product contains the following DHS chemicals:

Component	DHS Chemical Facility Anti-Terrorism Standard
Hydrogen peroxide	2000 lb STQ (concentration of at least 30%)

**Other International Regulations**

Mexico - Grade No information available

**Canada**

This product has been classified in accordance with the hazard criteria of the Controlled Products Regulations (CPR) and the MSDS contains all the information required by the CPR

WHMIS Hazard Class D1B Toxic materials  
E Corrosive material  
C Oxidizing materials

**16. Other Information**

Prepared By Regulatory Affairs  
Thermo Fisher Scientific  
Email: EMSDS.RA@thermofisher.com

Creation Date 28-Oct-2009  
Revision Date 06-Jul-2016  
Print Date 06-Jul-2016  
Revision Summary This document has been updated to comply with the US OSHA HazCom 2012 Standard replacing the current legislation under 29 CFR 1910.1200 to align with the Globally Harmonized System of Classification and Labeling of Chemicals (GHS)

**Disclaimer**

The information provided in this Safety Data Sheet is correct to the best of our knowledge, information and belief at the date of its publication. The information given is designed only as a guidance for safe handling, use, processing, storage, transportation, disposal and release and is not to be considered a warranty or quality specification. The information relates only to the specific material designated and may not be valid for such material used in combination with any other materials or in any process, unless specified in the text

**End of SDS**

City of Johnston  
Year to Date Building Permit Report  
August 2016

8ul

	This Month		LAST MONTH		THIS MONTH LAST YEAR		THIS CALENDAR YEAR		LAST CALENDAR YEAR		THIS FISCAL YEAR		LAST FISCAL YEAR	
	No.	VALUATION	No.	VALUATION	No.	VALUATION	No.	VALUATION	No.	VALUATION	No.	VALUATION	No.	VALUATION
<b>BUILDING PERMITS</b>														
Single Family Dwelling	10	\$ 3,555,001	7	\$ 2,411,000	14	\$ 4,989,000	76	\$ 16,225,026	88	\$ 24,438,000	17	\$ 5,966,001	28	\$ 9,796,000
Townhome	0	\$ -	0	\$ -	0	\$ -	0	\$ -	35	\$ 6,615,000	0	\$ -	7	\$ 1,587,000
Duplex	0	\$ -	0	\$ -	2	\$ 302,000	14	\$ 2,458,000	6	\$ 862,000	0	\$ -	4	\$ 560,000
Multi-Family Residential	0	\$ -	0	\$ -	3	\$ 16,736,000	1	\$ 4,602,000	7	\$ 46,355,000	0	\$ -	5	\$ 40,287,000
<b>Total Residential</b>	<b>10</b>	<b>\$ 3,555,001</b>	<b>7</b>	<b>\$ 2,411,000</b>	<b>19</b>	<b>\$ 22,027,000</b>	<b>91</b>	<b>\$ 23,285,026</b>	<b>136</b>	<b>\$ 78,270,000</b>	<b>17</b>	<b>\$ 5,966,001</b>	<b>44</b>	<b>\$ 52,230,000</b>
Commercial	1	\$ 866,524	0	\$ -	2	\$ 5,950,000	3	\$ 4,133,805	5	\$ 7,182,984	1	\$ 866,524	3	\$ 6,882,984
Industrial	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -
<b>Total Commercial</b>	<b>1</b>	<b>\$ 866,524</b>	<b>0</b>	<b>\$ -</b>	<b>2</b>	<b>\$ 5,950,000</b>	<b>3</b>	<b>\$ 4,133,805</b>	<b>5</b>	<b>\$ 7,182,984</b>	<b>1</b>	<b>\$ 866,524</b>	<b>3</b>	<b>\$ 6,882,984</b>
Res. Garages & Accessory Bldgs.	4	\$ 61,500	3	\$ 15,000	5	\$ 38,000	30	\$ 198,003	20	\$ 847,000	7	\$ 76,500	9	\$ 449,000
Commercial Garages & Accessory Buildings	0	\$ -	0	\$ -	0	\$ -	2	\$ 2	0	\$ -	0	\$ -	0	\$ -
Relocation & Demolition	0	\$ -	0	\$ -	2	\$ -	2	\$ -	5	\$ -	0	\$ -	3	\$ -
Swimming Pools	2	\$ 50,000	1	\$ 70,000	2	\$ 29,000	8	\$ 245,001	13	\$ 219,000	3	\$ 120,000	2	\$ 29,000
Fences	8	\$ -	14	\$ -	7	\$ -	76	\$ 18	64	\$ -	22	\$ -	12	\$ -
Signs	1	\$ -	1	\$ -	1	\$ -	19	\$ 2	28	\$ -	2	\$ -	6	\$ -
Government	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -
<b>ADDITIONS &amp; ALTERATIONS</b>														
Dwellings	10	\$ 243,000	20	\$ 154,002	4	\$ 70,000	124	\$ 1,986,811	76	\$ 1,253,640	30	\$ 397,002	19	\$ 277,640
Commercial	1	\$ 250,000	4	\$ 1,422,000	4	\$ 570,000	12	\$ 2,892,500	14	\$ 2,971,963	5	\$ 1,672,000	8	\$ 1,399,963
Industrial	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -
Other	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -	0	\$ -
<b>Grand Total</b>	<b>37</b>	<b>\$ 5,026,025</b>	<b>50</b>	<b>\$ 4,072,002</b>	<b>46</b>	<b>\$ 28,684,000</b>	<b>367</b>	<b>\$ 32,741,168</b>	<b>361</b>	<b>\$ 90,744,587</b>	<b>87</b>	<b>\$ 9,098,027</b>	<b>106</b>	<b>\$ 61,268,587</b>



**PLANNING & ZONING COMMISSION**

City of Johnston  
6221 Merle Hay Road, Johnston, IA 50131

Minutes  
Regular Meeting: Monday, August 29, 2016

**AGENDA**

**1. Call to Order**

Chairman Petersma called the meeting to order at 7:00 p.m.

**2. Roll Call**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Present</b>	X	X	X	X	X	X	X
<b>Absent</b>							

**City Staff Present:** David Wilwerding, Aaron Wolfe, Rebekah Davis

**3. Approval of Agenda**

Petersma called for a vote to approve the agenda.

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X	X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**4. Approval of Meeting Minutes:** Regular Meeting of August 29, 2016.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X	X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**5. PZ Case No. 16-27; Site Plans for 8601 Thomas Avenue:** The applicant, 814 Development, LLC has submitted site plans for the development of a 11,992 square foot child care facility with 17,241 square feet of outdoor playground area and a future 2,500 square foot retail building. The property is located on the northwest corner of Thomas Avenue and NW 86th Street. The site is zoned PUD in the Windsor Office Park PUD.

Wolfe presented the staff report.

Severino inquired about the potential uses for the smaller 2,500 s.f. structure. Wolfe responded that the PUD permits professional commerce park district uses; which allow community retail

commercial uses. Wilwerding explained the building could have a retail use; there is enough parking for a small restaurant use.

Johnson questioned if there is a proposed use for the smaller structure. Wolfe stated that staff had not been informed of a proposed use for the additional building. If there is a proposed use for the building, staff recommends that the applicant provide that information so staff can consider if there would be any supplementary site requirements.

Petersma inquired if the smaller building could provide added capacity for more children and if this would be the use for the building would there be additional site requirements. Wolfe affirmed that the supplementary building could provide added capacity. Wilwerding noted the staff report outlined that the primary structure will have enough parking to accommodate 240 children; the applicant is anticipating 100 children. Petersma questioned if they had the maximum occupancy, would the parking conditions still be acceptable. Wilwerding stated if added capacity would be the use for the supplementary building they would want to verify that the site requirements were met prior to issuance of the permit.

Severino asked if the parking spaces would be shared with the adjacent property to the west. Wolfe stated that the parking lots will not be connected; he believes that the separate parking lots are advantageous for public safety because there will not be traffic passing thru the adjoining parking lots.

Johnson inquired if additional parking stalls were required, could the parking lot be expanded to the southwest corner of the subject property. Wolfe explained that parking stalls could be added up to 5 feet to the property line. They have more than the required amount of open space therefore, adding parking stalls would not impede on this requirement.

Petersma noted northeast of the subject property, the site plan illustrates an absent sidewalk identified as "sidewalk by others". He inquired as to how the sidewalk would be completed in conjunction with the proposed site. Wolfe stated that Ender has been in contact with the adjacent property owner to stress the importance of connecting their sidewalk to that of the proposed site. There is approximately 30 feet of sidewalk that needs to be completed. Wilwerding explained that the adjacent property owner has been cooperative with their request to complete his portion of the sidewalk. When the site plan for the northern adjacent property was proposed it did not depict the sidewalk therefore, the sidewalk was constructed on private property and not extended to the property line. An easement has been granted to complete the sidewalk on private property.

Bart Turk, Civil Engineering Consultants, Inc., stated on behalf of the applicant, that their hours of operation are from 6 a.m. to 6 p.m. Monday thru Friday. They do not require a loading zone because all of their deliveries are completed with a small van. Outside play is typically one or two classrooms at a time; never the entire building at once. There is a need in the community for before and after school care; they have a small 14 passenger bus for busing children. There will be not large summer parties or graduation parties that will cause any parking problems. Each class will have their own small graduation ceremony. Daily each parent has to park and walk their child into the facility. There will be no curbside drop-offs which alleviates concerns regarding traffic stacking. Peak drop-off and pick-up hours are from 6:00 a.m. to 9:30 a.m. and from 3:00 p.m. to 6:00 p.m. They do not have a set start time. Their food program is precooked heat and serve style so, there will not be any grease generated from this method. The dumpster service is typically once a week but may be twice a week.

Motion by Johnson, second by Anderson to approve PZ Case No. 16-27; Site Plans for 8601 Thomas Avenue with the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.

2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
4. Architectural elevations for the 2,500 square foot retail building shall be submitted for review by the Planning and Zoning Commission and City Council prior to issuance of a building permit for the 2,500 square foot retail building.
5. Council acceptance of placement of the required north buffer landscaping within 50 feet of the north property boundary instead of within the 30 foot buffer easement along the north property boundary.
6. No exterior site lighting may be installed unless and until all photometric plans have been revised, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
7. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Update the engineer seal and landscape architect seal on the cover sheet to cover all pages of the site plan.
  - b. Update the sheet list table on the cover sheet and the sheet numbers on the bottom right of the site plans to identify all sheets of the site plans.
  - c. Update the open space planting schedule and the landscaping plan drawing to reflect the location, size, and species of the 15 open space trees which are required.
  - d. Update the landscaping plan to either remove the 6 PA from the buffer planting schedule or identify their location on the landscaping plan drawing.
  - e. Update the landscaping plan's buffer planting schedule and the landscaping plan drawing to either identify only 10 CD or identify the location of all 12 CD currently listed in the planting schedule.
  - f. Update the site plans to show that 90° parking spaces will be at minimum 9 feet wide by 18 feet long, this includes handicap parking spaces. Length may be reduced to 16 feet if front end overhang over an open space is available.
  - g. Update the site plans to identify that parking required for retail establishments greater than 2,000 square feet is 1 parking space for every 175 gross floor area.
  - h. Provide a detail drawing of the trash enclosure to insure adequate screening from public right-of-way is achieved.
  - i. Identify the size and location of the private storm sewer proposed from the west adjacent property to connect the west adjacent property's detention basin to the overland flowage easement.
  - j. Show on the site plans the private 30 foot storm sewer easement which is proposed by the west adjacent property on the northwest corner of the rainbow rascal property, grant said private 30 foot storm sewer easement for the benefit of the west adjacent property, and provide evidence that said private 30 foot storm sewer easement has been recorded with the Polk County Recorder's office.
  - k. A public access & sidewalk easement shall be identified on the site plans for any portion of the sidewalk not within public right-of-way, said public access & sidewalk easement shall be accepted by the City Council, and said public access & sidewalk easement shall be recorded with the Polk County Recorder's office.
8. Address Foth's review letter dated September 22, 2016.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X	X	X	X	X	X	X

<b>Nay</b>							
<b>Abstain</b>							

**6. PZ Case No. 16-29; Site Plans for 8711 Thomas Avenue:** The applicant, Elsie John Properties, LLC has submitted site plans for the development of a 12,162 square foot dance studio. The property is located at 8711 Thomas Avenue in the Windsor Office Park.

Wolfe presented the staff report.

Severino inquired if there is enough open space on the property for more parking if it is needed. Wolfe stated that a fair amount of the site is occupied by the detention basin. Chuck Bishop, Bishop Engineering, 3501 104th St, Urbandale, Iowa, stated that he believes this property has a unique use that is not addressed in the City's parking requirements. Bishop explained the parking formula: 1 space for every 3 occupants, plus 1 stall per employee, this totals 52 required parking stalls. There will be 139 occupants, who will likely not be on site at the same time. There may be some overlap in occupants due to the different class times. They calculated the parking based on all the occupants being present at the same time. If required, they could expand the parking lot the north cutting into detention pond; this would require that they construct a retaining wall.

Petersma inquired if classes typically began after school. Sabetha Mumm, the applicant, stated that her business is currently located at 5860 Merle Hay Rd, Johnston, Iowa; occupying two building their students have to walk through the parking lot to attend their classes. They have proposed to build a larger facility which will meet all their needs in one building. Typically, class schedules are staggered every 15 minutes; this method should relieve some of the traffic concerns. Typically their operating hours are from 4 p.m. to 10 p.m. Monday thru Friday. On occasion they may have dance rehearsals on the weekend.

Johnson inquired regarding the use of the overhead door on the eastside of the building. The applicant stated that the overdoor is for props that are currently housed in off-site facilities. The overhead door opens into the storage room. Johnson inquired if any parking spaces would be occupied by a van or a trailer. The applicant stated that they do have one prop trailer that will likely occupy the northeast parking stall.

Petersma stated that there is not a proper category for the parking requirements of a dance studio. Frequently, there will be an overlap in individuals from different classes occupying the parking spaces. Wolfe stated that the parking requirements of a dance studio are likened to sites with a similar use, like that of trade schools and centers for learning; which have various start times for classes and may also experience an overlap in occupants. Petersma believes that there should be better categorization of parking requirements for similar sites with periodic large turnover and periods of lull. Wolfe stated that there have been discussions regarding improving the parking ordinance and believes that this subject will be addressed in the future.

Severino inquired if the applicant has spoken with the adjacent property owner to the east regarding using their lot for overflow parking. The applicant stated that she has not had discussions with the adjacent property owner. Severino noted that both adjacent sites will have similar peak hours in the evenings and it is the commission's primary concern is to ensure that everyone is safe during the peak traffic times. The applicant believes that having her own access point from the street and not sharing a lot with the adjacent property owner should relieve the concerns of both sites sharing traffic.

Anderson stated that she believes that the dance studio is a great project. Petersma inquired as to the estimated time of construction. The applicant stated, with a 6 month timeline they are seeking to be in the building before the start of the fall classes in 2017.

Johnson inquired about the parking circulation of the parking lot and does not believe that the proposed layout facilitate a quick turnover in traffic. Bishop stated that the parking areas to the north are likely for the staff. Although the parking spaces to the northeast are dead end spaces, attempting to bring the east drive north would cause them to lose 6 parking spaces. Wolfe clarified that an access aisle needs to be 24 feet wide, requiring 6 parking spaces. Johnson believes that if there is a front and back parking space available in the center aisle north of the east access, someone will cut-through rather than the drive around the aisle to park. Bishop stated that many parents, depending on the age of the child, will likely pull-in, drop their child off at the front door and exit.

Johnson inquired as to how many staff members would be there at one time. The applicant stated at this time there would be 5.

Johnson asked for more description on the semi-concealed fastener on the exterior metal panels. Kevin Barber, Shiffler and Associates Architects, 1440 Locust St #100, Des Moines, Iowa, stated that the semi-concealed is a corrugated metal panel is set on the recessed side and the screws are concealed inside a "shadow line". Johnson commented although staff has stated that the panels meet the city's architectural requirements; the architectural metal panels are a pole barn pattern of material. Wolfe stated that a definition for architectural steel should be specified in our ordinance.

Motion by Smith, second by Spencer to approve PZ Case No. 16-29; Site Plans for 8711 Thomas Avenue subject to the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
4. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
5. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Address items 1-15 of the review letter provided by consulting engineer Foth Infrastructure and Environment dated September 22, 2016.
  - b. A recorded easement is necessary to install approximately 36' of storm sewer pipe and an outlet structure on the east-adjacent property.

**Roll Call Vote:**

	<b>Spencer</b>	<b>Severino</b>	<b>Johnson</b>	<b>Smith</b>	<b>Pavlovec</b>	<b>Petersma</b>	<b>Anderson</b>
<b>Aye</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>
<b>Nay</b>							
<b>Abstain</b>							

**7. Other Business**

Presentation and Discussion of the "Recreation Amenities for Apartment and Townhouse Developments" report as prepared by the Neighborhood Development Corporation.

Wilwerding presented the Neighborhood Development Corporation report.

Johnson asked if the dedicated amenity area would be included in the open space requirement and if walking trails could be recommended as a recreational amenity. Wilwerding responded that the recreational amenities would be a dedicated area included in the open space requirement.

Spencer inquired if any amenities would be recommended or required. Wilwerding stated that it is suggested to have playground and in larger complexes a sports lot.

Johnson inquired as to how the minimum 30 bedroom threshold was determined. Wilwerding stated that the requirement would be illogical for a single building compared to a complex. The 30 bedroom threshold was a starting point. Johnson believes that 30 bedrooms is a high.

Severino inquired if there was a maximum height requirement for multifamily buildings. Wilwerding responded that generally 50 feet is the maximum height allowable in a R-3 zoning district. Severino is concerned that developers would consider adding levels to their buildings to compensate for the loss in area to required recreational amenities. Wilwerding added that the normal cap is 16 units per acre. At that density, the 75 s.f. per bedroom fits on the site. He evaluated these requirements against 62W, which is 26.5 units per acre, against the proposed amenity requirements and they exceeded the minimum; the building is shaped like an "E" with 2 courtyards containing a pool and a lawn with park benches shade structures and grills. They do not have a playground but they would still exceed the recreational amenities requirement. The underground parking facilitates the open space and amenities. Anderson noted that 62W is on 62<sup>nd</sup> Ave near the school where there is a playground and that it would be reasonable to consider the distance of multifamily complexes to existing schools and parks.

Severino stated that recommending a playground is an admirable idea however, it would not occupy the youth creating the majority of the problems. He would not like the amenity requirement to overlook the age group that needs amenities to reduce the number of instances. He suggests an amenity recommendation tailored to teenagers and young adults would better address the target demographic.

Anderson inquired if clubhouse amenities, such as a climbing wall or an indoor basketball court would meet the recreational amenities requirement. Wilwerding stated that the report is not specific to clubhouse amenities however; the motivation of the requirement is to create a space where people can congregate and engage in constructive activities.

Petersma suggested that the sports court be the initial requirement then increase to requiring a playground for larger complexes. There should be a trade-off between the parkland dedication requirements and that of recreational amenities. Wilwerding stated that it has been discussed whether or not the recreational amenities requirement superseded the parkland dedication requirement. The thought is that the recreational amenities would be in addition to the parkland dedication requirements however, there is some thought that if they are putting in these amenities there should be some trade-off given on the parkland requirement. The parkland dedication requirement tends to be lower for apartment complexes because there are less people per unit.

Petersma stated that it would be reasonable if the developer is permitted to intrude upon the open space requirement with the recreational amenities and not be penalized.

Johnson noted that the parkland dedication figure is unbiased between single family residences and multifamily residences. Wilwerding explained that the figure is 5 acres of parkland per 1,000 residents. Wolfe added the discrepancy is in the number of persons per unit. Wilwerding clarified that in a multifamily the figure is 1.6 and in a single family dwelling

the figure is 2.98 people per unit. Johnson noted that in a single family the children can play in the backyard however, that is not the case in a multifamily; this is not an equitable formula.

Severino stated that park space is setup for the community's use where as the recreational amenities requirement is specifically for the residents of the complex. A balance needs to be created because the recreational amenities for the complex are not for the community. Wilwerding agreed.

Severino stated that he believes that it is a good idea. Petersma agrees if Council would like to explore and if it's cost effective. Spencer thinks it's a good plan to keep the youth occupied. Petersma stated that the recreational amenities requirement should be effective in addressing the goal of lowering the number of incidents among the youth in multifamily dwellings.

Anderson stated that it would be interesting to report the count of incidents by season and by month; in the Midwest there are significant months out of the year where it is difficult to get outside. Petersma added that he would like to see the report address Midwestern models of recreational amenities. Wilwerding stated that he does not believe that there are any examples of a Midwestern recreational amenities model.

Pavlovec would like to see clubhouse amenities addressed in the report because many of the recommendations would not be practical in the winter months.

Johnson stated as an example, that the teenage residents of 62W may appreciate a skateboarding in the far wing of the parking. Anderson added that interesting and artistic walk ways that direct you to the various green spaces could be included in the recommended amenities. Wilwerding noted that one of the projects on the west side created a map distributed by the management that depicting the resident's location to trails and parks in the area.

Anderson inquired if a public hearing would be the next step. Wilwerding affirmed and clarified that they would like to get further with the development process and create the framework of an ordinance. Petersma suggested that the public hearings include multifamily residents or be held at multifamily complexes. Wilwerding noted that the police department has established good working relationships with the management staff at multifamily complexes to facilitate such open communication.

## **8. Adjournment**

Meeting adjourned at 8:04 PM.

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**Chair**

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**Secretary**



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 October 3, 2016

<p><b>SUBJECT:</b> Consider second reading of Ordinance 950; approving an Official Zoning Map Amendment for the Simpson Property from A-R Agricultural Reserve District to R-1(75) Single-Family Residential District, C-2 Community Retail Commercial District, PC Professional Commerce Park District, and R-3 Medium Density Multiple Family Residential District.</p>	<p><b>ACTIONS REQUIRED:</b>  <input checked="" type="checkbox"/> Ordinance  <input type="checkbox"/> Resolution  <input type="checkbox"/> Approval  <input type="checkbox"/> Receive/File  <input type="checkbox"/> Attorney Review</p>
<p><b>SYNOPSIS:</b></p> <p><i>UPDATE SINCE SEPTEMBER 19, 2016 MEETING:</i></p> <p><b>RECOMMENDATION:</b></p>	<p>Simpson Enterprises, Inc. has petitioned for a rezoning of their property from A-R, Agricultural Reserve District to R-1(75) Single-Family Residential District, C-2 Community Retail Commercial District, PC Professional Commerce Park District, and R-3 Medium Density Multiple Family Residential District. Simpson Enterprises has provided a development agreement that would restrict the land uses permitted on a portion of the C-2 zoned property.</p> <p>No changes have been made since the September 19, 2016 City Council meeting and no public comments have been received.</p> <p><b>At their August 29, 2016 meeting the Planning &amp; Zoning Commission recommended approval of PZ Case No. 16-22; an amendment to the Official Zoning Map for 7.7 acres from A-R Agricultural Reserve District, to R-1(75) Single-Family Residential District, and an amendment to the Official Zoning Map for 28.2 acres from A-R Agriculture Reserve District, to C-2 Community Retail Commercial District, and an amendment to the Official Zoning Map for 17.9 acres from A-R Agriculture Reserve District, to PC Professional Commerce Park District, and an amendment to the Official Zoning Map for 12.8 acres from A-R Agriculture Reserve District, to R-3 Medium Density Multiple Family Residential District. All zones shall extend to the centerline of adjacent right-of-way. The C-2 zoning district on the Simpson property shall be subject to the land use restrictions in the development agreement.</b></p>

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve Ordinance No. 950; rezoning the Simpson property from AR to R-1(75), C-2, PC, and R-3

Attachments:      Development Application;  
                         Aerial Vicinity Map;  
                         Amended Johnston 2030 Comprehensive Plan Future Land Use Map;  
                         Amended Johnston 2030 Comprehensive Plan Future Land Use Map (zoomed to subject property);  
                         Current Official Zoning Map;  
                         Zoning Concept for Simpson Property;  
                         Development Agreement;  
                         Simpson Enterprises, Inc and WesleyLife Neighborhood Meeting Minutes;  
                         August 29, 2016 Planning and Zoning Commission Meeting Minutes;  
                         Development Notice;  
                         Neighborhood Mailing Notice;  
                         Neighborhood Mailing List;

**ORDINANCE NO. 950**

**AN ORDINANCE AMENDING THE JOHNSTON REVISED ORDINANCES OF 2007 BY AMENDING THE OFFICAL ZONING MAP FOR APPROXIMATELY 7.7 ACRES AND ADJOINING RIGHT-OF-WAY FROM A-R, AGRICULTURAL RESERVE DISTRICT TO R-1(75) SINGLE FAMILY RESIDENTIAL AND AMENDING THE OFFICIAL ZONING MAP FOR APPROXIMATELY 28.2 ACRES AND ADJOINING RIGHT-OF-WAY FROM A-R, AGRICULTURE RESERVE DISTRICT TO C-2, COMMUNITY RETAIL COMMERCIAL DISTRICT AND AMENDING THE OFFICIAL ZONING MAP FOR APPROXIMATELY 17.9 ACRES AND ADJOINING RIGHT-OF-WAY FROM A-R, AGRICULTURE RESERVE DISTRICT TO PC, PROFESSIONAL COMMERCE PARK DISTRICT AND AMENDING THE OFFICIAL ZONING MAP FOR APPROXIMATELY 12.8 ACRES AND ADJOINING RIGHT-OF-WAY FROM A-R, AGRICULTURE RESERVE DISTRICT TO R-3, MEDIUM DENSITY MULTIPLE FAMILY RESIDENTIAL DISTRICT. THE SUBJECT PROPERTY IS LOCATED ON THE SOUTHWEST CORNER OF NW 70<sup>TH</sup> AVENUE AND NW 86<sup>TH</sup> STREET**

**Be It Enacted by the City Council of the City of Johnston, Iowa that:**

**SECTION 1. PURPOSE.** The purpose of this ordinance is to change the Official Zoning Map of the City of Johnston, Iowa, under the provisions of Chapters 165 to 172 (Zoning Ordinance), Chapter 165 (General Provisions), Chapter 166.02 (Zoning District Boundaries and Official Zoning Map) of the Johnston Municipal Code.

**SECTION 2. OFFICIAL ZONING MAP AMENDED FROM A-R AGRICULTURE RESERVE DISTRICT, TO R-1(75) SINGLE FAMILY RESIDENTIAL DISTRICT.** The following legally described property is hereby rezoned from A-R to R-1(75):

Beginning at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N 1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less, to the centerline of future Peckham Street; thence southerly along the centerline of future Peckham Street, a distance of 1,264 feet more or less to the north line of Creekside Estates, an official plat in the City of Johnston; thence southwesterly along the north line of said plat, a distance of 180 feet more or less, to the west line of said N 1/2 of the NE Fractional 1/4, said line also being the east line of Hidden Hills, an official plat in the City of Johnston; thence north along said line, a distance of 1,228 feet more or less, to the point of beginning.

**SECTION 3. OFFICIAL ZONING MAP AMENDED FROM A-R AGRICULTURE RESERVE DISTRICT, TO C-2 COMMUNITY RETAIL COMMERCIAL DISTRICT.** The following legally described property is hereby rezoned from A-R to C-2:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N 1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less to the

centerline of future Peckham Street and the point of beginning; thence continuing east along said line, a distance of 2,234 feet more or less to the centerline of NW 86<sup>th</sup> Street and the east line of the N1/2 of the NE Fractional 1/4 of said Section 3; thence south along said line, a distance of 627 feet to the centerline of a future street extended westerly from NW 86<sup>th</sup> Street; thence westerly along the centerline of the future street extended westerly, a distance of 1,768 feet more or less to the east line of the future Outlot A; thence north along the east line of future Outlot A, a distance of 295 feet more or less; thence west, a distance of 466 feet more or less to the centerline of future Peckham Street; thence northerly along the centerline of future Peckham Street, 310 feet more or less to the point of beginning.

**SECTION 4. OFFICIAL ZONING MAP AMENDED FROM A-R AGRICULTURE RESERVE DISTRICT, TO PC PROFESSIONAL COMMERCE PARK DISTRICT.** The following legally described property is hereby rezoned from A-R to PC:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N 1/2 of the NE Fractional 1/4 of said Section 3, a distance of 878 feet more or less to the east line of future Outlot A; thence south along said east line, a distance of 1,142 feet to the north line of Creekside Estates, an official plat in the City of Johnston, and the point of beginning; thence easterly along said north line, extended ahead to the centerline of NW 86<sup>th</sup> Street, a distance of 1,823 feet more or less; thence north along said centerline, a distance of 266 feet more or less to the centerline of a future street extended westerly from NW 86<sup>th</sup> Street; thence westerly along the centerline of the future street extended westerly, a distance of 1,768 feet to the east line of the future Outlot A; thence south along the east line of Outlot A, a distance of 537 feet more or less to the point of beginning.

**SECTION 5. OFFICIAL ZONING MAP AMENDED FROM A-R AGRICULTURE RESERVE DISTRICT, TO R-3 MEDIUM DENSITY MULTIPLE FAMILY HOUSING DISTRICT.** The following legally described property is hereby rezoned from A-R to R-3:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N 1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less, to the centerline of future Peckham Street; thence southerly along the centerline of future Peckham Street, 310 feet more or less and to the point of beginning; thence east, a distance of 467 feet more or less to the east line of future Outlot A; thence south along said east line, a distance of 833 feet more or less to the north line of Creekside Estates, an official plat in the City of Johnston; thence southwestly along said north line, a distance of 710 feet more or less to the centerline of future Peckham Street; thence northerly along the centerline of future Peckham Street, a distance of 954 feet more or less to the point of beginning.

**SECTION 6. REPEALER.** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**SECTION 7. SEVERABILITY CLAUSE.** If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the

validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

**SECTION 8. WHEN EFFECTIVE.** This ordinance shall be in full effect from and after its final passage, approval, and publication as provided by law.

Passed and approved by the City Council the 17<sup>th</sup> day of October, 2016.

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PAULA DIERENFELD, MAYOR

ATTEST:

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CYNDEE RHAMES, CITY CLERK

1st Reading: September 19, 2016

2nd Reading: \_\_\_\_\_

3rd Reading: \_\_\_\_\_

Passed: \_\_\_\_\_

Signed: \_\_\_\_\_

Published: \_\_\_\_\_

	1 <sup>st</sup> Reading		2 <sup>nd</sup> Reading		3 <sup>rd</sup> Reading	
	Aye	Nay	Aye	Nay	Aye	Nay
Brown	X					
Clabaugh	Absent					
Cope	X					
Lindeman	X					
Temple	X					

BACKGROUND &  
PRIOR APPROVALS:

The City Council initiated a future land use map amendment and rezoning for the Simpson property at their August 1 meeting. The Simpson property is legally described as such:

CORR PARCEL R BK 12609 PG 226 BEG NW COR THN E1841.13F S 60F E 446.01F SE235.9F SE 214.7F S 161.7F E 10F S 109.49F W 50F S 60F E 50F S 177.19F TO N LN CREEKSIDE ESTS W 216.68F SW 195.99F SW 153.23F SW 583.13F SW 1305.51F SW 211.06F TO W LN N 1227.58F TO POB N 1/2 NE FRL 1/4 LESS 3.51A RD SEC 3-79-25

This property was zoned A-R at time it was annexed into the City and since that time, no prior rezoning has been considered for this property.

COMPREHENSIVE  
PLAN:

The Johnston 2030 Comprehensive Plan's future land use map was amended at the September 19<sup>th</sup>, 2016 City Council meeting. The amendment to the future land use map increased the amount of low density residential to approximately 5.85 acres, decreased the amount of medium density residential to approximately 11.01 acres, reduced the office to approximately 10.64 acres, reclassified approximately 18.74 acres for commercial, kept open space and parks at approximately 11.01 acres, reduced open water to approximately 1.87 acres in recognition of lack of open water in one area, and reduced future roads to approximately 2.01 acres in recognition of where right-of-way will likely be provided.

The Johnston 2030 Comprehensive Plan defines Low Density Residential (LDR) as including housing with densities that generally range from two to five units per acre. Neighborhood areas classified as LDR will typically be predominately single-family detached units with the potential for some doubles and other lower density attached housing products.

The Johnston 2030 Comprehensive Plan defines Medium Density Residential (MDR) as including residential uses at densities that range from five to eight units per acre. MDR accommodates a mix of housing types including single-family detached, twinhomes, and lower density townhomes.

The Johnston 2030 Comprehensive Plan defines Office (O) as a land use category including lots or parcels that contain professional offices and services such as medical, law, real estate and financial businesses. In the 2030 Land Use Plan, office uses are designated along Merle Hay Road and other major road corridors as well as within the Business Park classification.

The Johnston 2030 Comprehensive Plan defines Commercial (C) as a land use category that includes retail and service commercial land uses that serve neighborhood, community and regional markets. The areas are located to provide convenient access for customers. Community and regional commercial has higher demands for traffic and accessibility, and are suitable

for only certain areas, because they rely upon customers from outside the community.

EXISTING ZONING:

A-R, Agricultural Reserve District. The A-R District is intended to provide for the protection and preservation of agriculture land within the incorporated area of the City. As an urban area, intensive agriculture is not considered appropriate. These uses would adversely effect adjacent development. This district recognized two distinct purposes for the A-R District.

- A. The district would protect agriculture areas that provide a stable and productive use until converted to urban land uses.
- B. The district would protect agriculture areas that have been identified in the Comprehensive Plan for long-term agriculture research and testing due to the unique soil characteristics present in the City.

PROPOSED ZONING:

The Simpson property is proposed to be split into four separate zoning classifications. The zoning districts would include R-1(75) Single Family Residential, R-3 Medium Density Multiple Family Residential, C-2 Community Retail Commercial, and PC Professional Commerce Park.

Residential zoning districts are intended and designed to preserve existing single family residential neighborhoods and to promote new single family residential neighborhoods with a desired diversity of single family housing sizes and costs.

The C-2 District is intended to provide a wide range of commercial and retail uses and services for residents of the community and outside the community, and has performance standards that encourage quality of building design, site design and construction aesthetically compatible with the desired character of the area.

The PC District is intended to be an area for accommodating the management, research, design, marketing and production needs of those professional-commerce enterprises which comply with the performance standards of this section, and are the interest of general community welfare, which recognizes that the community should be beautiful, as well as financially prosperous, spacious, and efficient. Within the PC District it shall be emphasized that the manner in which a use is accomplished is as important as the use; detracting, detrimental, or other generally unacceptable characteristics, including ugliness of physical properties, shall be discouraged, and contemporary, modern and futuristic design techniques which yield visual attractiveness encouraged.

With this Official Zoning Map Amendment, 7.7 acres is proposed to be

rezoned to R-1(75) Single Family Residential, 12.8 acres is proposed to be rezoned to R-3 Medium Density Residential, 28.2 acres is proposed to be rezoned to C-2 Community Retail Commercial, and 17.9 acres is proposed to be rezoned to PC Professional Commerce Park. All zones would extend to the centerline of adjacent right-of-way.

Within the R-3 district would be a skilled nursing and memory care facility, assisted living apartments, and independent living apartments. These uses are expected to be developed by WesleyLife. This use has prompted the property owner to request the rezoning of their property.

The following are the bulk regulations for each district:

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-1(75) Single Family Detached</b>	35'	9,500'	75'	35'	8'/17'	35'
*Maximum density of 3.44 dwelling units per acre						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-1(75) Single Family Bi-Attached</b>	35'	16,000'	100'	35'	10'/20'	35'
*Maximum density of 5.4 dwelling units per acre *Only permitted with a special use permit						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-3 Single Family Bi-Attached</b>	35'	12,500'	100'	50'	10'/20'	35'
*Maximum density of 7.0 dwelling units per acre						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-3 Townhomes, Condos, Multiple unit Dwellings</b>	35'	80,000'	200'	50'	35'/70'	55'
*Maximum density of 8.0 dwelling units per acre						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>Nursing, Convalescent, or Assisted Living</b>	50'	80,000'	200'	50'	25'/50'	55'
* Maximum density of 16.0 dwelling units per acre or 32 beds per acre						

Use	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>C-2 Community Retail Commercial</b>	20,000'	100'	30'	10'/20'	35'

Use	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>PC Professional Commerce Park</b>	40,000'	200'	50'	20'/40'	50'

**DEVELOPMENT AGREEMENT:**

At the September 19<sup>th</sup>, 2016 City Council meeting a development agreement was approved for a portion of this property. The development agreement restricts the allowed land uses on the western portion of the proposed C-2 zoning district. The following land uses are allowed in the standard C-2 zoning district, but with the development agreement they would not be permitted in the western portion of the C-2 zoning district:

- Bars/Taverns
- Billiard Parlors and Pool Halls

- Hotel/Motel
- Convenience Store
- Gas Station
- Restaurants with Drive-in Facilities, unless otherwise approved by the City Council as part of the site plan approval process
  - Coffee shops are exempt from this restriction.
- Temporary or Seasonal amusement enterprises, including carnivals and circuses
- Commercial sport or recreational enterprises, including non-profit amphitheaters, convention halls, and auditoriums

**ADJACENT LAND USES:**

Adjacent land uses include single family residential in the R-1(90) district to the south, single family residential in the R-1(75) district to the south, southeast, and north, single family residential in the R-1(100) district to the west and northwest, undeveloped residential in the Northwood PUD to the north allowing R-3 uses, undeveloped C-1 Neighborhood Commercial property to the north, and conservation district to the east.

**BUFFERING:**

The use of physical barriers or buffers is considered a necessary requirement to allow for the transition from one zoning district or land use to another contrasting zoning district or land use in recognition of neighbor's rights, to promote the coordination of neighborhood efforts and compatibility of neighborhood elements, and to protect the value of buildings and property.

Where zoning districts or land uses requiring a buffer between them are vacant or underdeveloped, the burden shall be assumed equally by each developer as the land is improved or developed. Where one of the two different zoning districts or land uses requiring a buffer between them is developed, the developer of the vacant land shall assume the burden.

There will be buffer requirements for areas of this site as it develops. Buffers will vary in size from 20 to 50 feet depending on the adjacent land uses and zoning districts. Some of the buffer requirements will be shared with adjacent properties and other buffer requirements will have the burden entirely on the developer of the vacant land.

As part of a site plan or plat, an alternative buffer may be reviewed by the Planning and Zoning Commission and approved by the City Council provided that it meets the intent of the buffer section of the code of ordinances while recognizing unique conditions such as actual proposed layout of buildings and parking areas, site conditions, and use of the property.

**STREAM BUFFERING:**

The City of Johnston Watershed Assessment and Stormwater Management Action Plan identifies this property as part of the Wooded Point sub-watershed and the South NW 70<sup>th</sup> sub-watershed. Each sub-watershed

includes a stream that conveys the flow through the sub-watershed to Beaver Creek. The City of Johnston Watershed Assessment and Stormwater Management Action Plan categorizes the two streams located on the Simpson property as “Type II” streams.

Type II Streams do not usually have established flood plains, but often have established baseflows in urban areas. These streams often have watersheds of 40 – 2000 acres and likely will require ongoing maintenance to prevent larger erosion issues from being created as development occurs. Such issues are difficult to be handled by either a private homeowner or an association of local property owners. As such, Type II Streams need to have buffers that protect against additional erosion, while allowing for corrective action to be taken at a future date. Reserved buffers should be wide enough to grade back steep slope areas from the existing stream flowline at grades of no steeper than 3:1 (6:1 preferred); while allowing for at least 20’ on either side for maintenance access.

Toward these ends, Chapter 145.19 of the City of Johnston Code of Ordinances requires Type II streams to be protected by a 50’ wide stream buffer on each side perpendicular to the waterway as measured from the centerline of the channel. Said area must be defined within recorded easement which includes a management plan, and must include dominant vegetation consisting of existing naturally regenerated or seeded planted native trees, shrubs, perennial grasses and forbs suited to the soil and hydrology of the site and intended purpose. Future platting efforts of the subject property must illustrate stream buffering sufficient to meet the above-listed requirements.

TRAFFIC ACCESS &  
CIRCULATION:

Peckham Street will be extended to the north to connect with NW 70<sup>th</sup> Avenue as this property develops. NW 69<sup>th</sup> Avenue would be extended east to connect with the future extension of Peckham Street. Access between the WesleyLife portion of the Simpson property and the remainder of the property may be maintained through ingress/egress easements depending on how the site develops. Additional streets with access points on NW 70<sup>th</sup> Avenue and NW 86<sup>th</sup> Street would be developed in the future as this property develops.

UTILITIES:

**Sanitary Sewer:** 15” sanitary sewer mains are available on the north and east side of this property. These mains will service any future development on this property.

FLOOD PLAIN:

**Water:** 12” water mains are available on the north and east side of this property. These mains will service any future development on this property. This site is not located within the 100-year or 500-year floodplain.

PARKLAND  
DEDICATION:

Chapter 180.43 of the City of Johnston code of ordinances requires dedication of 5 acres of public parkland for each 1,000 residents added to the community. The necessary dedication will be tabulated with approval the final plat or site plan and is based on the number of lots/ dwelling units created. The applicant has indicated that a park and trail would be developed for the area as it develops.

The Johnston 2030 Comprehensive Plan identifies a trail extending easterly from Peckham Street along the south property boundary and a trail extending northerly along future Peckham Street. These trails would need to be developed as the site develops. Simpson Enterprises, Inc did provide to the City a Bike Path easement along their south property boundary in 2006. Within this easement the bike path spoken of above would be developed as the site develops.

NORTHWEST AREA  
WATER  
CONNECTION  
DISTRICT:

The subject property is within the Northwest Area Water District. Payment of district connection fees in the amount of \$1,750 per acre is required prior to City Council approval of any Final Plat creating a buildable lot.

NORTHWEST AREA  
SANITARY SEWER  
CONNECTION  
DISTRICT:

This property is within the Northwest Area Sanitary Sewer Connection District. Payment of the Northwest Area Sanitary Sewer Connection District Fee of \$3,200 per acre for the portion of the any plat not within undevelopable outlots would need to occur prior to Council approval of any Final Plat creating a buildable lot.

IMPROVEMENTS TO  
ADJACENT  
ROADWAYS:

Plans are being designed to improve NW 70<sup>th</sup> Avenue north of this property. The plans include a future round about at the intersection of NW 70<sup>th</sup> Avenue and Peckham Street.

PUBLIC NOTICE  
AND ADJACENT  
NEIGHBOR  
COMMENTS:

Signs advertising the public hearing had been placed along NW 70<sup>th</sup> Avenue and NW 86<sup>th</sup> Street, a notice was printed in the September 9, 2016 Johnston edition of the Des Moines Register advertising the public hearing, notice was sent to all properties within 320 feet of the rezoning area advertising the public hearing, and staff posted a proposed development notice to the city's website. Copies of the mailing and development notices are attached. As of publication of this report no public comments have been received. The applicant and WesleyLife did hold a neighborhood meeting prior to consideration by the City Council. The meeting minutes for that meeting are included as an attachment to this report.



# DEVELOPMENT APPLICATION

City of Johnston, Iowa

Submission Date: 07/21/2010

Fee Amount: \$250

REC # 521052  
\*ATTACHED

No application will be accepted unless it complies with all the submittal requirements. Incomplete application will be returned to the applicant without further review.

TYPE OF REQUEST:

- Zoning Map Amendment
- Site Plan Review
- Planned Unit Development
- Grading Permit
- Administrative Approval

- Auditor's Plat
- Minor Subdivision
- Preliminary Plat
- Final Plat

**CITY OF JOHNSTON  
COMMUNITY DEV. DEPT**

DATE REC'D: 07/21/2010

CASE NO.: PZ 110-22

PROJECT NAME:

SIMPSON PROPERTY

PROJECT LOCATION:

SW of NW 70<sup>th</sup> Ave & NW 86<sup>th</sup> St.  
(Street Address or Project Location)

PROPERTY OWNER:

Simpson Enterprises Inc.  
Name

6108 Terrace Dr.  
Address

Johnston IA 50131  
City State Zip

707-3836 jsimpson1003@gmail.com  
Phone Fax Email Address

APPLICANT:

- owner -  
Name

Address

City State Zip

Phone Fax Email Address

CONSULTANT:  
(Architect, Engineer, etc.)

Bishop Engineering - Rick Baumhauer  
Name

3501 104<sup>th</sup> St.  
Address

Urbandale IA 50322  
City State Zip

276-0467 rbaumhauer@bishopengr.com  
Phone Fax Email Address

PERSON TO BE BILLED:

owner  
Name

Address

City State Zip

Phone Fax Email Address

DESCRIBE SCOPE OF PROJECT:

Rezoning of approx. 63 acres  
from A-R

LEGAL DESCRIPTION:

Parcel "R" - SK 12609, Pg 226  
(in NE 1/4 Sec. 3-79-25)  
(May be attached separately)

OWNER AND APPLICANT SIGNATURE AND CONSENT:

I/we hereby submit and consent to the development application in the City of Johnston. I/we acknowledge that I/we may be responsible for additional costs for plan review by a consulting engineer and/or attorney. I/we certify that I/we am/are familiar with applicable state and local codes and ordinances, the procedural requirements of the City of Johnston, and have submitted ALL required information.

Jeff Simpson  
Signature Property Owner

07/19/2016  
Date

Jeff Simpson, Pres  
Property Owner (Please Print)  
Simpson Enterprises, Inc

Jeff Simpson  
Signature of Applicant

07/19/2016  
Date

Jeff Simpson, Pres.  
Applicant (Please Print)  
Simpson Enterprises, Inc

**NOTE: ALL APPLICATIONS MUST HAVE THE CURRENT PROPERTY OWNER'S SIGNATURE(S), OR THE PERSONS WITH THE PROPER POWER OF ATTORNEY.**

For questions concerning this Development Application please contact:

Johnston Community Development Department:  
6221 Merle Hay Road  
P.O. Box 410  
Johnston, IA 50131  
Phone (515) 278-2344  
Fax (515) 727-7776  
www.cityofjohnston.com

CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.

DATE REC'D: 07/21/2016  
CASE NO.: PZ 110-22



July 20, 2016

David Wilwerding  
City of Johnston Community Development  
6221 Merle Hay Rd, PO Box 210  
Johnston, IA 50131

RE: Comp Plan Land Use Amendment- Simpson Property at SW quadrant of NW 70<sup>th</sup> Ave. & NW 86<sup>th</sup> St.

David,

On behalf of Simpson Enterprises Inc., we request a change to the city's Comprehensive Plan, Future Land Use plan.

The current plan shows medium density residential along the west portion of this site, and office along the eastern portion.

We request that additional types of land use be added to the site and existing types be adjusted. We request that single family be added along the western edge of the site; that commercial be added along the northern portion of the site; that office be increased along the southern portion; and that medium density residential be reduced to cover these additions and changes.

In support of this request we offer the following reasons:

As the City of Johnston continues to grow, especially northward, there is demand for more residential, commercial and office sites. The area around this location is being filled in now with new developments.

The existing vacant land would become a useful and tax generating component of the city.

This site has always been agricultural, however development has spread around this area and the agricultural use has become a land-locked use and restricted. It is time for this area to develop along with the land around it.

The proposed zoning either matches neighboring zoning or gradually steps up from less intensive to more intensive uses. Buffers, as prescribed by city ordinance will be used.

The impacts to the roadway, utility and city amenities will be minimal, as the city has planned and installed many of the public improvements needed by this area and the requested zoning. NW 86<sup>th</sup>

DATE REC'D: 07/21/2010

CASE NO.: PZ 110-22

**PETITION FOR CHANGE IN ZONING CLASSIFICATION**

To: Honorable Mayor and City Council  
Johnston City Hall  
6221 Merle Hay Road  
P.O. Box 410  
Johnston, IA 50131-0410

Date: \_\_\_\_\_

We, the owners of property located at SW of NW 70th Ave & NW 86th St.  
respectfully petition you to amend the Johnston Zoning Ordinance by rezoning the following legally  
described property:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

from the A-R District to the R1, R3, C-2 and Pnc Districts.  
(Present Zoning) (Proposed Zoning)

N.A. Provided herewith on the attached pages are the signatures of the owners of at least fifty percent (50%) of  
the property within 250 feet of the petitioned area, all as property owners consenting to this petitioned  
rezoning.

Simpson Enterprises, Inc  
by Jeff Simpson, Pres

Signature of Petitioner

6108 Terrace Drive  
Address Johnston, IA 50131

515-707-3836  
Phone Number

Attachments

\*\*\*\*\*

FOR OFFICE USE ONLY

Petition Received By: \_\_\_\_\_ Date: \_\_\_\_\_

Petition Filed: \_\_\_\_\_ Fee Paid: \_\_\_\_\_ Receipt Number: \_\_\_\_\_

## Zoning Descriptions for Simpson Property

Rev 7-20-16

### To be Rezoned R-1(75):

Beginning at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less, to the centerline of future Peckham Street; thence southerly along the centerline of future Peckham Street, a distance of 1,264 feet more or less to the north line of Creekside Estates, an official plat in the City of Johnston; thence southwesterly along the north line of said plat, a distance of 180 feet more or less, to the west line of said N1/2 of the NE Fractional 1/4, said line also being the east line of Hidden Hills, an official plat in the City of Johnston; thence north along said line, a distance of 1,228 feet more or less, to the point of beginning.

### To be Rezoned to R-3:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less, to the centerline of future Peckham Street; thence southerly along the centerline of future Peckham Street, 310 feet more or less and to the point of beginning; thence east, a distance of 467 feet more or less to the east line of future Outlot A; thence south along said east line, a distance of 833 feet more or less to the north line of Creekside Estates, an official plat in the City of Johnston; thence southwesterly along said north line, a distance of 710 feet more or less to the centerline of future Peckham Street; thence northerly along the centerline of future Peckham Street, a distance of 954 feet more or less to the point of beginning.

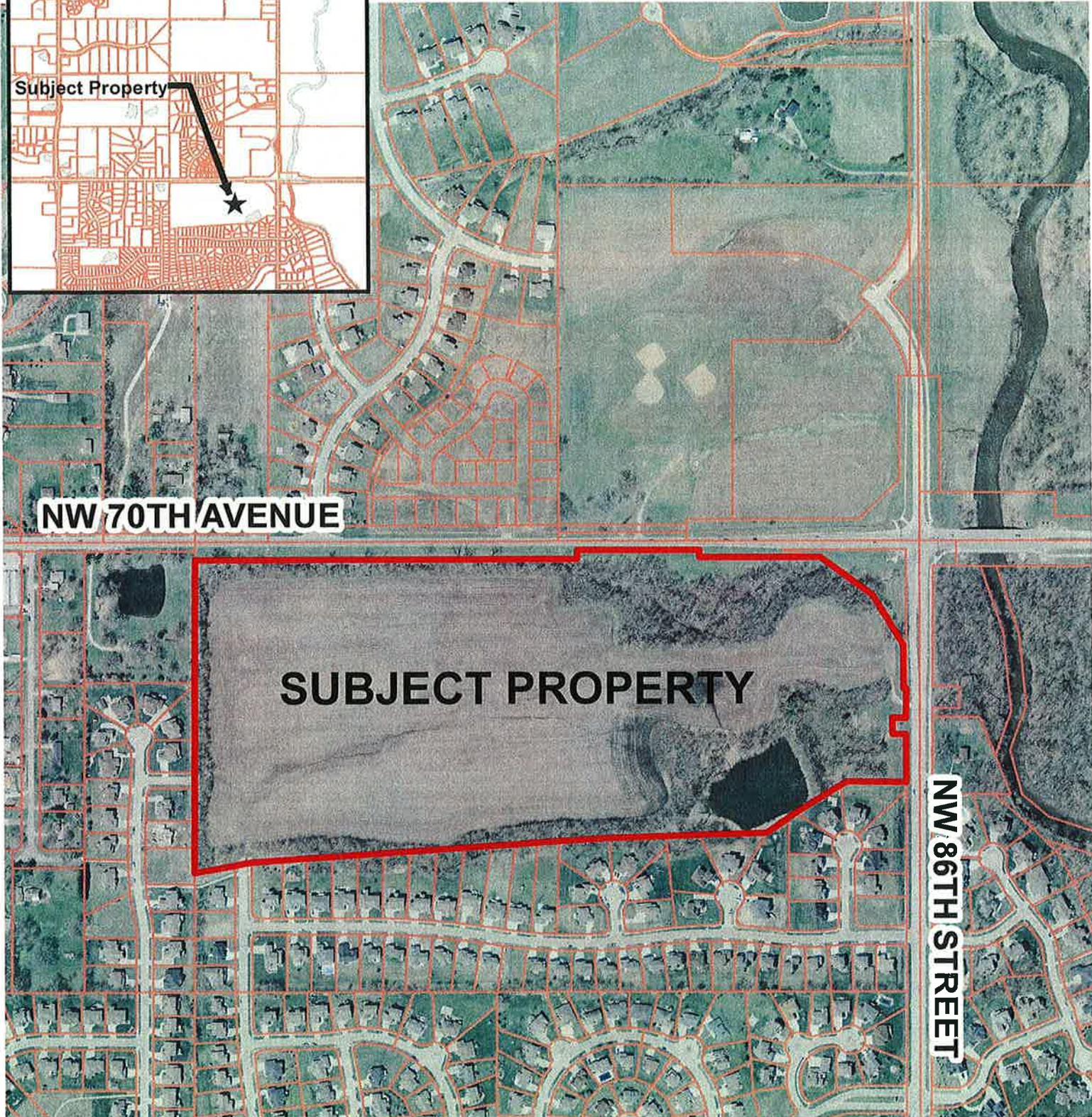
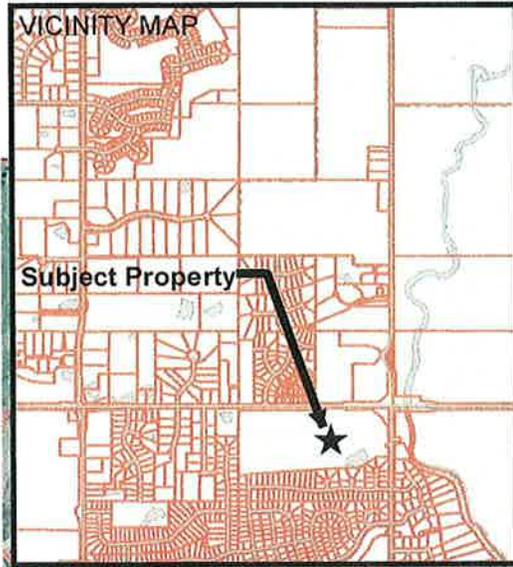
### To be Rezoned P-C:

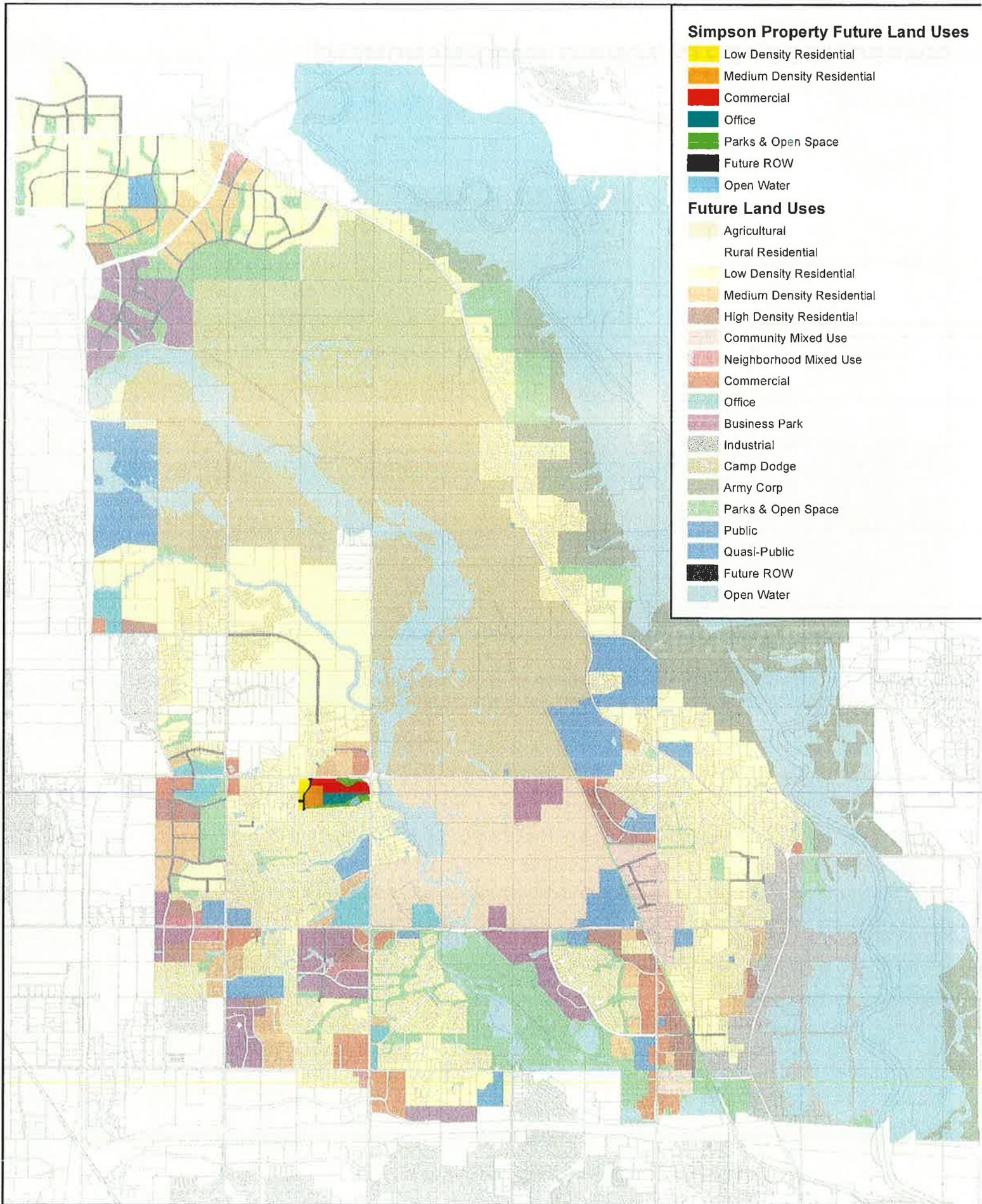
Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 878 feet more or less to the east line of future Outlot A; thence south along said east line, a distance of 1,142 feet to the north line of Creekside Estates, an official plat in the City of Johnston, and the point of beginning; thence easterly along said north line, extended ahead to the centerline of NW 86<sup>th</sup> Street, a distance of 1,823 feet more or less; thence north along said centerline, a distance of 266 feet more or less to the centerline of a future street extended westerly from NW 86<sup>th</sup> Street; thence westerly along the centerline of the future street extended westerly, a distance of 1,768 feet to the east line of the future Outlot A; thence south along the east line of Outlot A, a distance of 537 feet more or less to the point of beginning.

To be Rezoned C-2:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less to the centerline of future Peckham Street and the point of beginning; thence continuing east along said line, a distance of 2,234 feet more or less to the centerline of NW 86<sup>th</sup> Street and the east line of the N1/2 of the NE Fractional 1/4 of said Section 3; thence south along said line, a distance of 627 feet to the centerline of a future street extended westerly from NW 86<sup>th</sup> Street; thence westerly along the centerline of the future street extended westerly, a distance of 1,768 feet more or less to the east line of the future Outlot A; thence north along the east line of future Outlot A, a distance of 295 feet more or less; thence west, a distance of 466 feet more or less to the centerline of future Peckham Street; thence northerly along the centerline of future Peckham Street, 310 feet more or less to the point of beginning.

**PZ CASE 16-22  
SIMPSON PROPERTY ZONING MAP AMENDMENT**

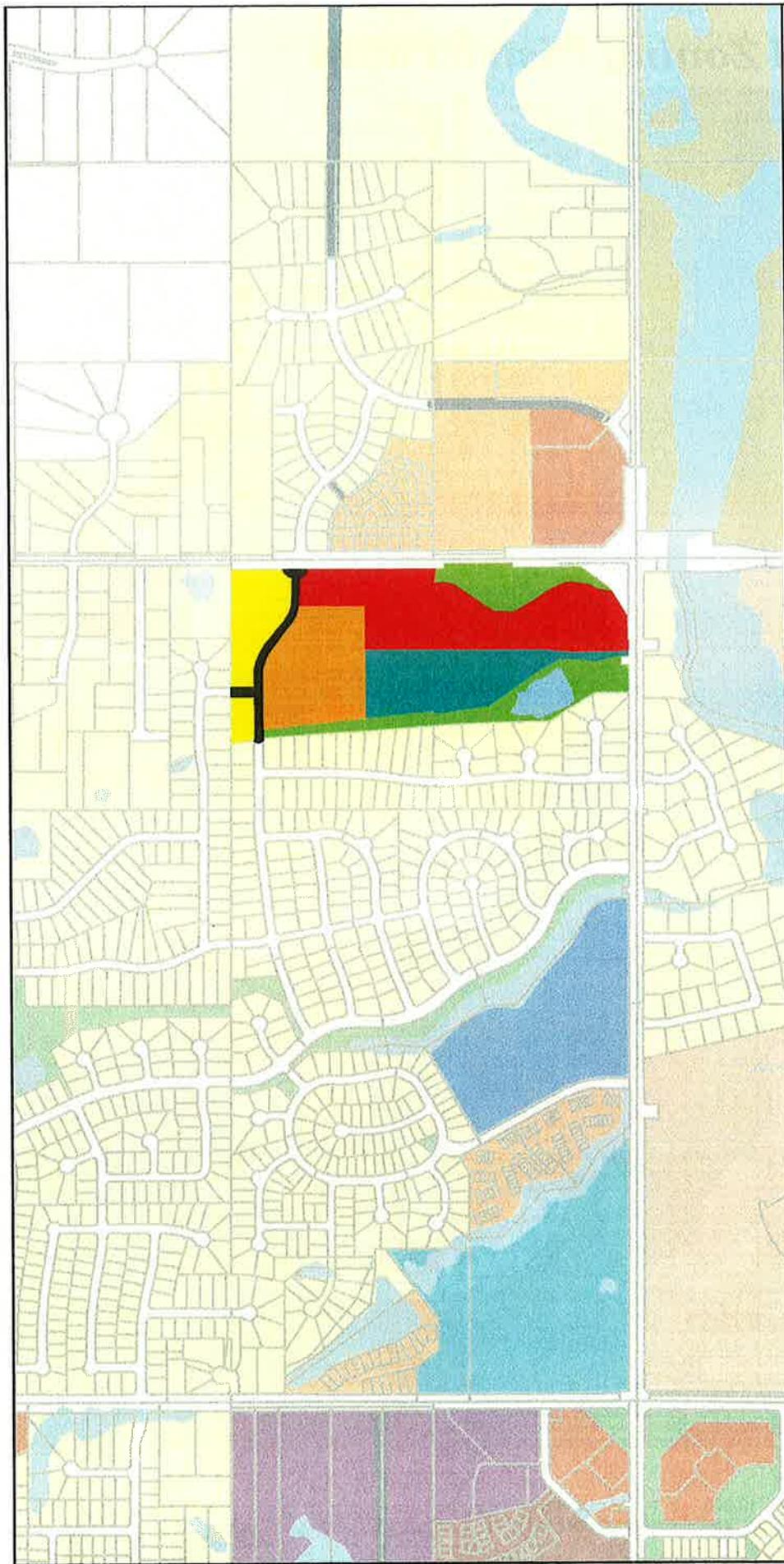




0 2,500 5,000 10,000 Feet



# Amendment #10 To The Future Land Use Map



## Legend

### Simpson Property Future Land Uses

- Low Density Residential
- Medium Density Residential
- Commercial
- Office
- Parks & Open Space
- Future ROW
- Open Water

### Future Land Uses

- Agricultural
- Rural Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Community Mixed Use
- Neighborhood Mixed Use
- Commercial
- Office
- Business Park
- Industrial
- Camp Dodge
- Army Corp
- Parks & Open Space
- Public
- Quasi-Public
- Future ROW
- Open Water

0 625 1,250 2,500 Feet



Amendment #10 To The  
Future Land Use Map

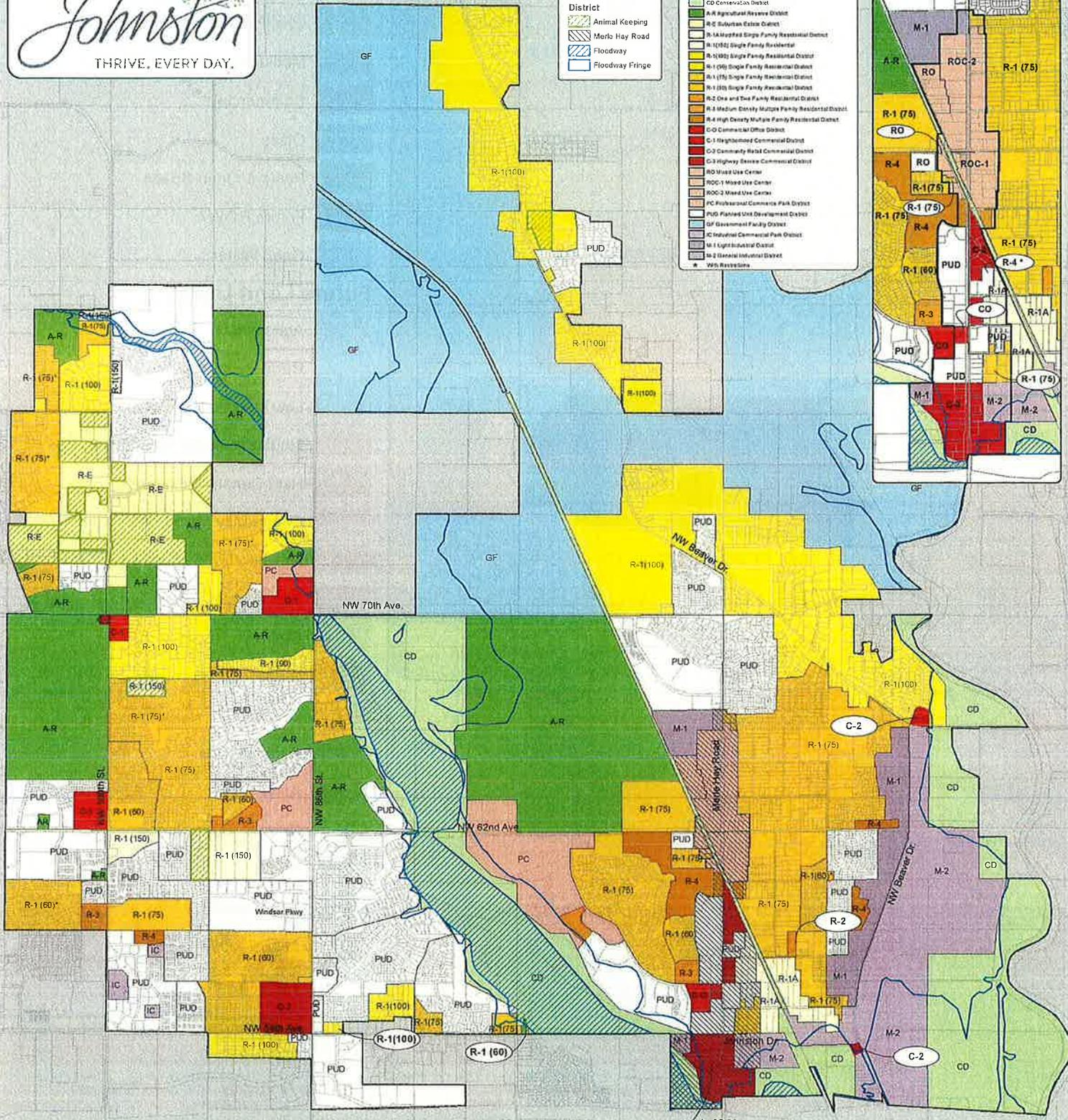
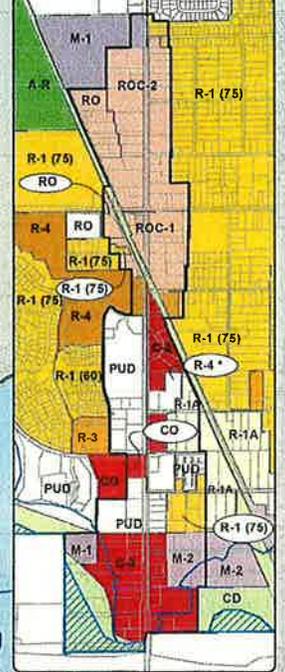


# Official Zoning District Map

- Overlay Zones**
- District**
  - Animal Keeping
  - Merle Hay Road
  - Floodway
  - Floodway Fringe

- Zoning District**
- CD Conservation District
  - A-R Agricultural Reserve District
  - R-E Suburban Estate District
  - R-1A Modified Single Family Residential District
  - R-1(100) Single Family Residential District
  - R-1(150) Single Family Residential District
  - R-1(75) Single Family Residential District
  - R-1(50) Single Family Residential District
  - R-2 One and Two Family Residential District
  - R-3 Medium Density Multiple Family Residential District
  - R-4 High Density Multiple Family Residential District
  - CO Commercial Office District
  - C-1 Neighborhood Commercial District
  - C-2 Community Retail Commercial District
  - C-3 Highway Service Commercial District
  - RO Mixed Use Center
  - ROC-1 Mixed Use Center
  - ROC-2 Mixed Use Center
  - PC Professional/Community Park District
  - PUD Planned Unit Development District
  - GF Government Facility District
  - IC Industrial Commercial Park District
  - SI Light Industrial District
  - M-1 General Industrial District
  - M-2 General Industrial District
  - \* With Restrictions

## Merle Hay Road Overlay



P:\Map\_ARC\Documents\City\Map\Projects\0319 City\Map\03 2nd P\View\_Cad\enr20150324.dwg

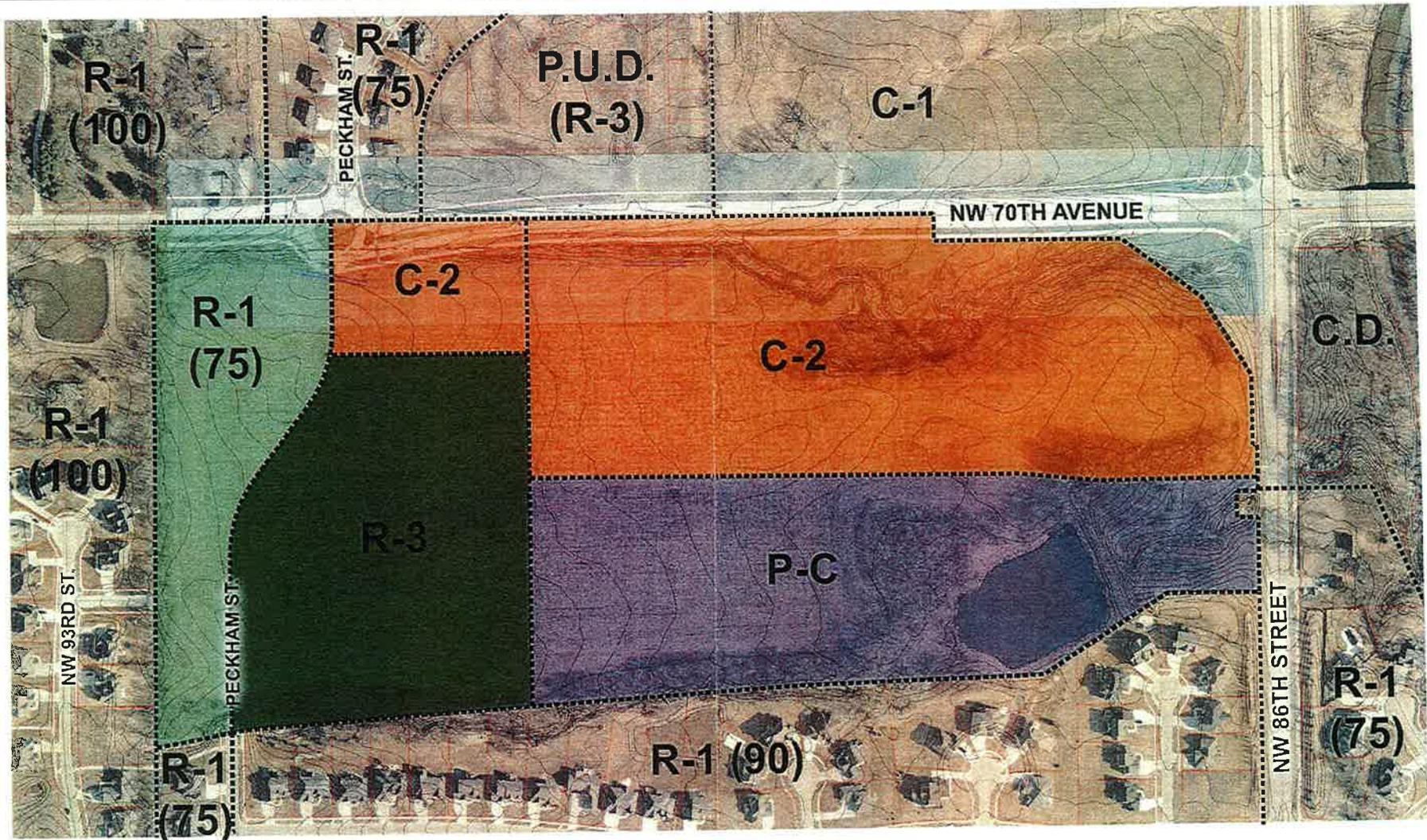
Map Updated August 10, 2014



Created by the City of Johnston Department of Community Development  
 6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033  
 As of Ordinance/Resolution 14-215; Sept. 15, 2014

This is to certify that this is the Official Zoning Map  
 referred to in Chapter 168.02 of the Johnston  
 Municipal Code as of 8/15/2014  
 Honorable Mayor Pamela B. Greenfield Date





Bishop  
Engineering



**SIMPSON PROPERTY - JOHNSTON, IOWA**

CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.

REZONING - EXHIBIT 'A'

DATE REC'D: 07/21/16

CASE NO.: P7 16-22

## **DEVELOPMENT AGREEMENT**

**Preparer:**

Clayton Ender  
City of Johnston  
PO Box 410, 6221 Merle Hay Road  
Johnston, IA 50131  
515-278-2344

**Return Document To:**

City of Johnston  
PO Box 410, 6221 Merle Hay Road  
Johnston, IA 50131

**Grantor: Simpson Enterprises, Inc.**

**Grantee: City of Johnston, Iowa**

**Legal Description: CORR PARCEL R BK 12609 PG 226 BEG NW COR  
THN E1841.13F S 60F E 446.01F SE235.9F SE 214.7F S 161.7F E 10F S 109.49F W  
50F S 60F E 50F S 177.19F TO N LN CREEKSIDE ESTS W 216.68F SW 195.99F  
SW 153.23F SW 583.13F SW 1305.51F SW 211.06F TO W LN N 1227.58F TO POB  
N 1/2 NE FRL 1/4 LESS 3.51A RD SEC 3-79-25**

## **DEVELOPMENT AGREEMENT**

This Development Agreement made this 19<sup>th</sup> day of September, 2016, by and between Simpson Enterprises, Inc. (hereinafter collectively referred to as "OWNER"), and the City of Johnston, an Iowa municipality with city offices at P.O. Box 410, Johnston, Iowa, 50131-0410 (hereinafter referred to as "City").

**WHEREAS**, OWNER wishes to develop certain property lying within the City of Johnston, Iowa described as follows:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less to the center line of future Peckham Street and the point of beginning; thence continuing east along said line, a distance of 906 feet more or less to a point on the southerly extension of the east line of Northwood Trail Plat 1, an official plat in the City of Johnston, extended to said center line of NW 70<sup>th</sup> St.; thence south along said southerly extension of the east line of Northwood Trail Plat 1, a distance of 607 feet more or less to the centerline of a future street extended westerly from NW 86<sup>th</sup> Street; thence westerly along the centerline of the future street extended westerly, a distance of 445 feet more or less to the east line of the future Outlot A; thence north along the east line of future Outlot A, a distance of 295 feet more or less; thence west, a distance of 466 feet more or less to the centerline of future Peckham Street; thence northerly along the centerline of future Peckham Street, 310 feet more or less to the point of beginning.

(hereinafter referred to as the "OWNER'S PROPERTY") as depicted as C-2 (West) on the map, which is hereby attached and made a part of this document as Exhibit "A".

**WHEREAS**, it is OWNER'S intent to have OWNER'S PROPERTY rezoned to the C-2, Community Retail Commercial District, to facilitate the development of OWNER'S PROPERTY, and

**WHEREAS**, the City is willing to rezone the OWNER'S PROPERTY to facilitate its development as long as OWNER agrees to certain conditions; and

**WHEREAS**, the parties agree that the City has a right to require this Development Agreement under the provisions of Iowa Code Section 414.5 and that all requirements of said Section 414.5 have been met and complied with; and

**NOW THEREFORE**, pursuant to the authority granted to the City of Johnston by Iowa Code Section 414.5 and in consideration of the proposed development and increased tax base to the City and other good and valuable

consideration, receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. **RESTRICTIONS.** OWNER agrees to the following:

The following uses shall not be permitted on OWNER'S PROPERTY:

- Bars/Taverns
- Billiard Parlors and Pool Halls
- Hotel/Motel
- Convenience Store
- Gas Station
- Restaurants with Drive-in Facilities, unless otherwise approved by the City Council as part of the site plan approval process
  - Coffee shops are exempt from this restriction.
- Temporary or Seasonal amusement enterprises, including carnivals and circuses
- Commercial sport or recreational enterprises, including non-profit amphitheatres, convention halls, and auditoriums

2. **AUTOMATIC REVERSION OF ZONING.** The parties further agree that if any area of OWNER'S property ceases to be used in conformance with the above conditions, that area of OWNER'S PROPERTY not in conformance with the above conditions shall have the property's zoning automatically revert to that of the A-R, Agricultural Reserve District, without further action of the Johnston City Council.

3. **AMENDMENTS.** No amendments or variations of the terms of this Agreement shall be valid or binding unless made in writing and executed by a duly authorized representative of each party to be bound thereto.

4. **BINDING EFFECT.** This Agreement is binding upon the parties hereto and their respective successors and assigns. The parties further agree that this Agreement may be filed with the Polk County Recorder so as to be part of a public record and notify third parties of the terms contained herein.

5. **VALIDITY OF AGREEMENT.** If any term of this Agreement is deemed or ruled invalid by a court of law for any reason, the parties agree that there would be a failure of consideration and that this Agreement would be null and void.

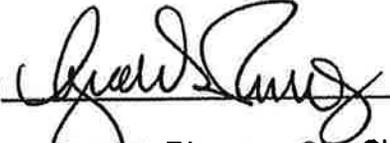
**WHEREFORE,** the parties have executed this Agreement on the date and year written above.

CITY OF JOHNSTON

ATTEST:

By: 

Paula S. Dierenfeld, Mayor

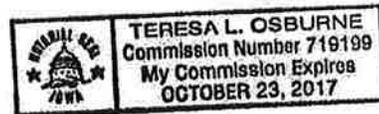
By:   
Cyndee Rhames, City Clerk

STATE OF IOWA, POLK COUNTY, ss:

On this 19<sup>th</sup> day of September, 2016, before me the undersigned, a Notary Public in and for the State of Iowa, personally appeared Paula S. Dierenfeld and Cyndee Rhames, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the **City of Johnston, Iowa**; that the seal affixed to the foregoing instrument to which this is attached is the corporate seal of the City; that the instrument was signed and sealed on behalf of the City by authority of its City Council, as contained in Resolution No. 6-195 passed the City Council on the 19<sup>th</sup> day of September, 2016, and that Paula S. Dierenfeld and Cyndee Rhames, as such officers, acknowledged the execution of the instrument to be the voluntary act and deed of the City, by it and by them voluntarily executed.



Notary Public in and for the State of Iowa



Simpson Enterprises, Inc.

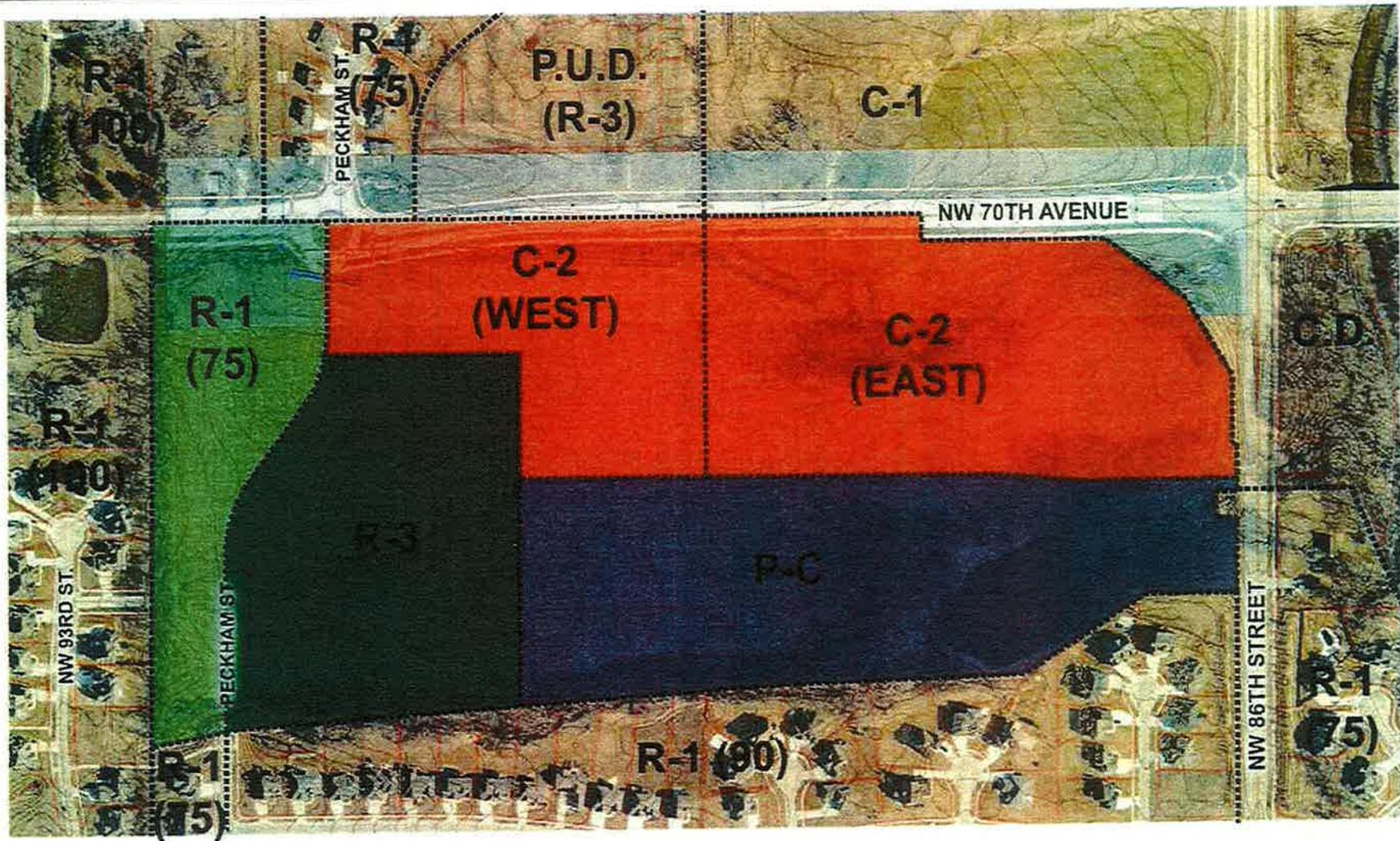
Jeff Simpson, President (Signature and Title)

BY: Jeff Simpson, President (Print Name and Title)

On this 14TH day of SEPTEMBER 2016, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared JEFFERY SIMPSON (Name) to me personally known, who, being by me duly sworn, did say that he/she is the PRESIDENT (Title) of Simpson Enterprises, Inc. executing the within and foregoing instrument; and that he/she acknowledged the execution of said instrument to be his/her voluntary act and deed of the members and managers of said corporation.

Rebekah Ann Davis REBEKAH DAVIS  
Notary Public, In and For the State of Iowa





Bishop  
Engineering



GRAPHIC SCALE  
0 10 20 30

SIMPSON PROPERTY - JOHNSTON, IOWA  
DEVELOPMENT AGREEMENT- EXHIBIT 'A'

SIMPSON ENTERPRISES & WESLEYLIFE NEIGHBORHOOD MEETING

07.28.2016 – 7:00 PM

WesleyLife Home Office – 5508 NW 88<sup>th</sup> Street, Johnston

ATTENDEES

Simpson Enterprises, representing the owner of 63 acre parcel:

Jeff Simpson, President of Simpson Enterprises  
Matt Simpson(son of Jeff), member Simpson Enterprises  
AJ Simpson(nephew of Jeff), member Simpson Enterprises  
Rick Baumhover, Bishop Engineering

WesleyLife, as party to purchase agreement with Simpson Enterprises for western 1/3<sup>rd</sup> of 63 acre Simpson parcel:

Rob Kretzinger, President & CEO  
Matt McNeill, VP of Marketing & Sales  
Calvin Shelangoski, Director of Finance

Neighborhood, as residents within 320 feet of parcel for which rezoning application has been made:

John De Phillips, Resident #1  
Eric Coleman, Resident #2  
Luke Freml, Resident #3  
Kurt Labenz, Resident #4  
Bob & Donna Fisher, Resident #5 & #6  
Paul Hartman, Resident #7  
Eduardo Carlin, Resident #8  
Unknown, Resident #9  
Unknown, Resident #10

MINUTES

WesleyLife opened the meeting by welcoming and thanking everyone for attending. WesleyLife, introduced Jeff Simpson as the owner of the 63 acre property immediately southwest of the intersection of 86<sup>th</sup> & 70<sup>th</sup>, for which application has made for rezoning. Simpson Enterprises proceeded to introduce two other members of Simpson Enterprises.

A brief history of the relationship between WesleyLife and Simpson Enterprises, explaining that discussions began fall of 2015 around WesleyLife developing a senior community on the property. Simpson Enterprises expressed excitement for WesleyLife's development on the western 1/3<sup>rd</sup> of the property and explained that no development is currently planned for the eastern 2/3<sup>rd</sup> of the property.

Rick Baumhover, Bishop Engineering, was introduced by Simpson Enterprises as the civil engineer engaged with the rezoning of the property. Rick explained that the property is currently zoned A-R for Agriculture while the 2030 city of Johnston comprehensive plan calls for R-3 Medium Density housing on the west and Commerce Office Park on the east. Development to the north of 70<sup>th</sup> was alluded to, identifying that a lot of development has been happening in the area with townhomes and other single family homes.

A question from a neighborhood resident was raised as to the meaning of the various zoning codes or acronyms displayed on the zoning map (attachment #1). Rick answered moving west to east on the map, identifying: R-1 (75) as 75 feet wide single family home lots on the western edge to be developed for single family homes; R-3 as Medium Density Residential, to be developed by WesleyLife for a senior living community; C-2 as commercial immediately south and adjacent to the 70<sup>th</sup> avenue arterial, to be developed for future use, which is unknown at this time; P-C as Professional Commerce, to be developed in the future by whomever purchases the eastern 2/3<sup>rd</sup> of the property from Simpson Enterprises. Rick clarified that WesleyLife was transacting on the western three lots (western 1/3<sup>rd</sup>) labeled R-1 (75) shaded in light green, R-3 shaded in green, and C-2 shaded in orange comprised of approximately 22 acres.

Questions regarding the pond on the eastern 2/3<sup>rd</sup> of the property were raised by a few residents. Rick explained that the future of the pond is unknown at this time. Simpson Enterprises added that there have been discussions with the City of Johnston to explore the possibility of the pond and the land immediately east of the pond becoming a park. Jeff reiterated that there has been no decision from the City and that a park is simply being explored as a possibility at this point.

Further questions and comments, unrelated to the zoning application, regarding the current state of the pond were discussed. Simpson Enterprises responded that the pond is under a treatment plan that he began in 2013.

Discussion circled back to detention accommodation with question as to whether or not watershed from the western ½ of the 63 acre property is going to the pond. Rick explained that WesleyLife would be responsible for accommodating storm water from the western 1/3<sup>rd</sup> of the 63 acre property. Additional comments were made about past experiences of extraordinary rainfall alluding to the various streams from 100<sup>th</sup> street that eventually feed into the pond.

WesleyLife presented a preliminary site plan showing early massing a medium-density market rate rental concept of the community. As presently contemplated for massing the community will offer (50) independent living apartments, (32) assisted living apartments, (18) memory care units, and (18) skilled nursing care units. The southernmost section of the site is being reserved for potential single family lots. Detention facilities are being planned for on the southeast portion of the site, just south of the entrance to the underground parking.

Potential new single family home lots are contemplated to the east of Peckham and comprise approximately 14 acres. The single family lots to the south of the senior living community may or may not be marketed towards WesleyLife's typical consumer, but the intent would be to attract a younger senior aged 55+.

Discussion shifted to the tree line to the south of the 63 acre property. Bishop Engineering explained that the tree line would stay and serve as a buffer. It was clarified that a bike trail would be required to be extended on the north side of the creek/tree line.

Questions on the size, scale, and character of WesleyLife's community were fielded as a neighborhood resident compared to WesleyLife's Edgewater community. WesleyLife's Johnston community will house approximately 130 residents as contemplated and will be residential in style. Pope Architects, project architect for WesleyLife, is currently working on a conceptual modern farmhouse design, reiterating that the intent is to blend the development into the community. Positive feedback from neighborhood residents was received on WesleyLife's reputation and the concept/design style of the senior living development.

The Development Team thanked everyone for attending and encouraged the neighborhood residents to leave their email address for future communications on the WesleyLife development. Meeting concluded at approximately 6:55 p.m..



**PLANNING & ZONING COMMISSION**

City of Johnston  
6221 Merle Hay Road, Johnston, IA 50131

Minutes  
Regular Meeting: Monday, August 29, 2016

**AGENDA**

**1. Call to Order**

Chairman Petersma called the meeting to order at 7:02 p.m.

**2. Roll Call**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Present</b>			X	X	X	X	X
<b>Absent</b>							

Severino entered the meeting at 7:04 p.m.

City Staff Present: David Wilwerding, Clayton Ender, Rebekah Davis

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**3. Approval of Agenda**

Petersma called for a vote to approve the agenda.

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**4. Approval of Meeting Minutes: Regular Meeting of July 25, 2016.**

Roll Call Vote:

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**5. PZ Case No. 16-22; Simpson Property Zoning Map Amendment: The applicant, Simpson Enterprises, Inc. has requested an amendment to the Johnston 2030 Future Land Use Map**

and a rezoning of their property from A-R, Agricultural Reserve District to R-1(75) Single-Family Residential District, C-2 Community Retail Commercial District, PC Professional Commerce Park District, and R-3 Medium Density Multiple Family Residential District.

Ender presented the staff report.

Johnson requested that the developer address the timeline of the project, assuming the approval of the rezoning.

Petersma inquired as to why there is a subdivision between the C-2 districts. Ender stated that the subdivision indicates the future division of land ownership.

Petersma noted that the C-2 West zoning district would be bound by the restrictions of the development agreement. Ender stated that C-2 West district would have the restrictions of the development agreement because the area is adjacent to the R-3 and R-1(75) zoning districts.

Rick Baumhover, Bishop Engineering, stated that the current comprehensive plan identified professional commerce and medium density residential in the subject property. In consideration of residential neighbors, zoning transitions have been proposed to gradually move to the commercial and professional commerce zoning districts. He reiterated that the subdivision of the C-2 zoning districts indicates the future ownership. In the future C-2 West will be transferred property.

Johnson inquired as to how the zoning district divisions were determined. Baumhover stated the zoning district divisions were determined by WesleyLife's site proposals for the amount of land required for each zoning district.

Petersma inquired if they had considered C-1 zoning as opposed to C-2. Baumhover responded that they were seeking restaurants that could accommodate a drive-thru. This amenity is permissible in C-2 zoning districts. He noted that WesleyLife is seeking restaurants for their residents.

Petersma opened for public comment at 7:23 p.m.

Karen Jeske, 6827 NW 88<sup>th</sup> Court, she believes that the WesleyLife project looks admirable however, she would like more explanation about their intention for the C-2 West zoning. She inquired about the status of the development agreement with respect to the condition of the pond, trail development and the proposed timeframe for completion.

James Hoyt, 6831 NW 88<sup>th</sup> Court, inquired about the timing, process and ownership for the proposed open space along the southern boundary of the subject property and tree removal.

Steve Kelting, 6814 Peckham Street, is concerned with the potential increase in traffic on Peckham Street. He believes that the proposed development may cause significant traffic increase on his street. He is concerned about how the R-3 zoning district will transition to the R-1(75) zoning to the south. He inquired as to the intention for the entire R-3 zoning district.

Greg Baldner, 9107 Wooded Point Drive, he is concerned with the type of buildings that will be built adjacent to his property. He does not desire a 3 story building behind his house.

Petersma closed for public hearing at 7:30 p.m.

Ender responded that the development agreement proposed is tied to the area defined as C-2 West. There is an easement for a bike trail along the southern boundary of the subject property; north of the creek. Trail development would occur with development of each individual parcel.

There would also be a trail that will extend along Peckham Street and connect with the trail system north of NW 70<sup>th</sup> Ave.

Petersma inquired as to what portions of land will be immediately affected. Matt McNeal, WesleyLife, responded that the portion of the transferred property that will be immediately affected is primarily in the proposed R-3 district. In the zoning transition, there will be 2 single story 18 unit cottages, which progress to a story and a half building, that then transition to a three story structure. They have attempted to give the project rise gradually to the commercial and professional commerce development. They hope that this will limit the traffic and noise from NW 70<sup>th</sup> Ave and provide the best experience for their residents. The C-2 West portion has been reserved for WesleyLife uses to be determined later; potentially an office location for WesleyLife, a community hub for home and commune based services or a café that ties to the program and product. The single family home development will be done through a partnership with another developer. WesleyLife will create the infrastructure and run utilities for the single family development. They would like to use the creek to create an amenity feature for residents of the neighborhood. They look forward to connecting to the trail system and adding to it around their development. Regarding the traffic concerns, they have proposed a 118 -120 unit project, 50 percent of the units will be parked 1:1 and of that only about 75% of those residents will be driving. Therefore, the total traffic generated from this development will be limited.

Baumhover stated that the applicant currently has no plans for the eastern portion of the subject property. C-2 represents the best flexibility for the property. They would prefer to see an office park to the south. The existing pond will stay and be cleaned up to provide stormwater detention for the property. The roundabout at NW 70<sup>th</sup> Ave will provide better traffic movement for the development. This property may only have another right-in-right out access point at the northern property boundary. The development agreement will restrict the uses allowable in the C-2 West district. The professional commerce district to the southeast is shown on the current land use map. There will be a 40 foot trail easement to the south however, the trail would not be constructed until the property is developed. The timing of the eastern development is uncertain. The WesleyLife timeline is as soon as possible but they are restricted by the improvements to NW 70<sup>th</sup> Ave.

Smith questioned why the restrictions are not consistent through-out the C-2 zoning district. Baumhover stated that the applicant would like to keep their options open with respect to the potential uses for the property being zoned C-2 with the standard restrictions of the zoning district. The C-2 West has additional restrictions of the development agreement because it is adjacent to residential properties.

Petersma questioned if the WesleyLife project will occupy the entire R-3 zoned district. McNeal stated that the R-3 zoning district would not be completely occupied by the Wesley Acres project and that they are seeking to mass the project as close to NW 70<sup>th</sup> Ave as possible.

Petersma inquired as to how many feet would not be used on the southern portion of the R-3 district. McNeal indicated on the map a portion along the tree line in the southern portion of the district would remain green space. Ender added that there is a 50 foot stream buffer requirement starting from the center of the stream. The stream buffer and the buffer requirement between the zoning districts will occupy much of the available space.

Petersma questioned what could potentially occupy the residual southern portion of the R-3 district. Ender stated that anything that would be permitted in the R3 zoning district would be allowed however, this ability is limited to the area available. Johnson questioned if there were a significant residual amount of space available, could an additional 3 story apartment building be built in the southern portion of the property. Ender stated that if WesleyLife subdivided their lot and the bulk requirements were met there could be an additional 3 story structure. Additionally, the R-3 zoning district is restricted to 8 units per acre.

Petersma inquired if the WesleyLife project could conform to a less dense zoning district. Ender stated that nursing, convalescent and assisted living uses are restricted to an R-3 zoning district.

Johnson is concerned about what we may open ourselves up to with the potential to subdivide the R-3 zoning district. Anderson believes that the WesleyLife design and project layout seems well thought out. She understands the concerns with the residual space along the southern portion of the R-3 district however; she believes that the use could also be single family homes. Petersma stated that WesleyLife has a vested interest in having good neighbors. He does not think that it would be likely that WesleyLife would sell the remaining portion of their property to a developer that would create a large imposing structure, with noisy neighbors.

Motion by Severino, second by Anderson to approve PZ Case No. 16-22; Simpson Property Zoning Map Amendment and the rezoning proposal.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**6. PZ Case No. 16-25; Northwoods Crossing Preliminary & Final Plat:** The applicant, Simpson Enterprises, Inc. has requested a minor subdivision of the subject property to allow for property transfer of Outlot 'A'. As a minor subdivision, no extension of streets or utilities is proposed.

Ender presented the staff report.

Johnson inquired if the outlot subdivision line on the plat was the same as the proposed rezoning subdivision discussed in the Simpson Property Zoning Map Amendment. Ender affirmed.

Petersma clarified that the entire parcel would be divided in to two outlots. Ender responded that the property transfer is dependent on the platting of the parcel into outlots. Petersma inquired as to why the property is being subdivided into outlots. Ender stated this would allow for the property transfer to occur.

Motion by Smith, second by Anderson to approve PZ Case No. 16-25; Northwoods Crossing Preliminary & Final Plat subject to the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. Address comments from Foth's review letter dated 8/9/16.
3. The Preliminary and Final Plats must be revised to provide street lots for additional right-of-way adjacent to NW 70<sup>th</sup> Avenue.
4. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.
5. The following documents must be recorded with the final plat:
  - Attorney's Title Opinion
  - Polk County Treasurer's Tax Certificate
  - Consent to Plat (Owner)
  - Consent to Plat [Lender (If Applicable)]
  - Trail easement as necessary

- Stream buffer easements
  - Petition and Waiver for NW 70<sup>th</sup> Avenue.
  - Warranty Deed Street Lots
  - Ground water hazard statement
  - Lender's partial release of Mortgage
6. Revise the preliminary and final plats to include the existing easement for bike path filed at book 11988 and page 570-572 on 12/12/2006.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**7. PZ Case No. 16-04; Wilkie Place Preliminary Plat:** The applicant, Capital City Development, LLC has submitted an amended preliminary plat that updates the original Wilkie Place Preliminary Plat to identify tree removal along the north, east, and south property boundaries.

Ender presented the staff report.

Smith inquired if all the trees would be removed. Ender stated there will be 158 trees greater than 6 inch caliper that will be removed.

Anderson requested that staff explain why the deemed the tree removal to be "necessary" and why "the original preliminary plat did not identify this tree removal was because it did not get properly updated prior to approval."

Chris Thompson, Cooper Crawford & Associates, when the initial survey was done there was an oversight on where the tree trip line was and where the tree trunks were in relation to the property line. The applicant would like to save the trees however, based on the stormwater requirements the detention basin is required were the tree line is.

Smith inquired if all the trees on the property would be removed. Thompson clarified that the trees in the southeast corner would be saved and 2 trees in the northeast corner would be saved. Additionally, there are trees just outside of the property line that will remain.

Johnson stated that based on the proposed location of the detention basin the tree removal conflict is self-explanatory. Thompson affirmed.

Petersma inquired as to why the trees in zone 4 (the outlot) would be removed. Thompson stated that there will be a significant amount of cut in the area and those trees would not survive. He expounded that the cut required to tie into existing contours and existing grade would cause the trees in zone 4 to die. Petersma noted that the property is at grade. Thompson clarified that the grade and infrastructure requirements for 64<sup>th</sup> Place would adversely affect the health of the trees in zone 4 causing them to die.

Pavlovec inquired as to what percentage of total count of trees in the tree line both in and outside of the subject property would be removed. Timothy Schutte, the applicant, stated that the majority of the tree line near the southern boundary is on the subject property. On the northern property boundary, there is a fence and the majority of the trees on the fence line were volunteer trees and have overgrown. He noted that they are required to plant trees. He estimated that about 40% of the trees are ash trees which may have issues in the future. Initially he desired to save the trees however, due to a miscommunication the trees have to be removed.

Petersma opened for public comment at 8:13 p.m.

No comment received.

Motion by Smith, second by Johnson to approve PZ Case No. 16-04; Wilkie Place Preliminary Plat subject to the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. All other conditions of Resolution 16-69; A Resolution Approving the Preliminary Plat for Wilkie Place, shall remain in full force and effect.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	
<b>Nay</b>							X
<b>Abstain</b>							

**8. PZ Case No. 16-23; Advantage Homes Warehouse Site Plan:** The applicant, Advantage Homes has submitted site plans for the development of a 4,000 square foot building, a 5,880 square foot building, and an 11,023 square foot outdoor storage area. The property is located on the northeast corner of NW 59th Avenue and NW 49th Street. The site is zoned M-1, Light Industrial, and is legally described as Lot 112 NW Beaver Business Park.

Ender presented the staff report.

Petersma clarified the fact that no employees will be regularly employed on the premises and that this warehouse will be exclusively used for storage. Ender affirmed based on the proposal, there will be no employees regularly employed on the premises.

Smith requested that the applicant address the concerns identified in the packet.

Kirk Hesse, Advantage Homes, the applicant, addressed the questions posed by Karen Bryson. He stated that the existing trees will remain on the south side of the property. A fence will be constructed; probably an 8 foot fence, the type and style will be determined later. Basic construction materials and equipment will be stored in the warehouse. He stated that there may be glue and various other chemicals stored in the warehouse however, there will not be a large amount of flammable, corrosive or dangerous materials stored. Equipment will be stored in the warehouse. Occasionally, they will receive a delivery from a semi truck but the majority of the trucks on site will be his. At this time he does not intend to have a sign. Typically, the hours of operation are from 7 a.m. to 5 p.m. or 6 p.m. but on occasion they may operate later than that.

Jim Bryson, 6005 Pinewood Court, he inquired about the material used in the construction of the fence. He requested that the fence provide somewhat of a sound barrier. He is concerned with the potential for noise from the trucks on the property. He inquired about the size of the trees that will be planted. He believes that mature trees would provide a protection for his property. He inquired if semi trucks would frequent the property. Hesse responded that they don't regularly receive deliveries from semi trucks.

Bryson believes that it would be important that semi trucks not frequent the neighborhood for the safety of the children in the area. He confirmed that the entire area will be asphalted. Ender affirmed. He inquired as to how high the outdoor storage would be. Hesse stated that there may

be some items stored outside that would be higher than the 8 foot fence. He questioned if there were any noise restrictions for the industrial property near residential homes. Petersma stated that City has a noise ordinance but, the buffer requirements are established to reduce the intrusion of the dissimilar zoning districts.

Bryson inquired as to the amount of noise expected from the property. Hesse stated desires to be a good neighbor. Hesse noted that the developers of the townhomes adjacent to his property were granted a waiver from the buffer requirements to change the located of the tree line. He stated that it does not appear that the majority of the trees that were proposed to create a buffer from the different zoning districts were ever planted in the adjacent townhome development. Hesse stated that he would be willing to plant more mature trees as a buffer. He does not believe that a fence would provide the best buffer for noise. He believes that the evergreen trees would provide the best sound and visual buffer.

Larry Rodgers, 6013 Pinewood Court, he is concerned with noise from semi tractor trailers and the outside storage. He inquired about parking and what would occur if in the future the number of regular employees were to increase.

Vic Piagentini, Associated Engineering Company of Iowa, stated that there is plenty parking for an increase of employees. He estimated that there will be 15 parking stalls but they were only required to have 4.

Rodgers confirmed that there will not be an office in the warehouse. Hesse affirmed, currently there will be no employees regularly employed on site however; he stated that he cannot definitively say that there will never be an office there in the future.

Gerald Schnepf, 6011 NW 49<sup>th</sup>, he would like to examine in detail the buffer requirements and believes that a berm would aid in creating a buffer. He is concerned with how the use of the property would be controlled. Johnson does not believe that a berm will be appropriate to accommodate the stormwater detention and retention requirements. Ender stated that the storm water quality and quantity is required to be addressed on the property. He expounded that placing a berm as a buffer may limit the functionality of the storm water quantity and quality receptacles on site. The overland flowage easement on the northern boundary of the property will restrict the use of a berm. Rodgers was concerned with the permeability of the asphalt. Ender clarified that the material is semi-permeable recycled asphalt millings. Rodgers exclaimed that even with the storm water constraint a berm could still be created.

Piagentini stated that the applicant is attempting to work within the constraints of the lot and has allowed for all the buffering requirements and will not remove any of the existing trees. He stated that the applicant is attempting to leave the southern portion of the property as is however, they do need to include swale meet the storm water detention requirements for the lot. Petersma believes that there is a substantial amount of trees on the applicant's property and adjacent properties. Additionally, he stated that no one can predict future use of the property.

Wilwerding noted that verification of the proposed of the use of the property will be completed before the issuance of the certificate of occupancy. He clarified that if the use of the building would change or alterations to the building were proposed to accommodate office use they would need to reconsider the site plan to determine if additional parking would be required.

Anderson added that she appreciated that the developer has agreed to add more mature trees to accommodate his neighbors.

Motion by Smith, second by Severino to approve PZ Case 16-23, the Site Plans for 4845 NW 59th Avenue with the following conditions:

The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.

1. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
2. No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
3. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
4. City Council acceptance of recycled asphalt millings as an acceptable dustless hard surface material on the subject site in satisfaction of chapter 166.33.3.F.(2) of the City of Johnston Code of Ordinances. Said material shall only be used in the fenced in outdoor storage area and practices put in place to insure the material does not flow onto adjacent properties or into the overland flowage easement.
5. **Prior to issuance of a grading permit the following items must be provided:**
  - a. Evidence that an overland flowage easement along the west property boundary of Lot 113 NW Beaver Business Park is being provided for the benefit of Lot 112 NW Beaver Business Park.
6. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Indicate the 150' fire hydrant coverage on the site plans.
  - b. The outdoor storage area must be screened from public right-of-way and adjacent properties, including the adjacent M-1 Light Industrial Zoned property and the townhomes to the north.
  - c. Include an engineer seal that will cover sheets 1 – 3.
  - d. Address Foth's review letter dated August 24, 2016.
7. **The architectural elevations must be amended and the following items shall be completed prior to issuance of a building permit:**
  - a. Include the square footage and percentage of the total area for each building material to be used on each side of both buildings.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	
<b>Nay</b>							
<b>Abstain</b>							

**9. Other Business**

**10. Adjournment**

Meeting adjourned at 8:52 PM.

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**Chair**

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**Secretary**



## Notice of Proposed Development *City of Johnston, Iowa*

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August 15, 2016

### **PZ Case No. 16-22; Simpson Property Comprehensive Plan Future Land Use Map Amendment and Simpson Property Zoning Map Amendment**

The property owner has requested an amendment to the Johnston 2030 Comprehensive Plan Future Land Use Map and a rezoning of 7.7 acres from A-R, Agricultural Reserve District, to R-1(75), Single-Family Residential District, and a rezoning of 28.2 acres from A-R, Agriculture Reserve District, to C-2, Community Retail Commercial District, and a rezoning of 17.9 acres from A-R, Agriculture Reserve District, to PC, Professional Commerce Park District, and a rezoning of 12.8 acres from A-R, Agriculture Reserve District, to R-3, Medium Density Multiple Family Residential District. The property is located on the southwest corner of NW 70th Avenue and NW 86th Street.

#### **Applicant / Property Owner:**

Simpson Enterprises, Inc.  
6108 Terrace Dr  
Johnston, IA, 50131

#### **Meeting Schedule:**

Planning and Zoning Commission, Monday, August 29, 2016  
City Council Meeting for First Reading (tentative), Monday, September 19, 2016

Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road and begin at 7:00 p.m. The public is welcome and invited to attend the above noted meetings and an opportunity will be provided for you to make comments on the proposed request.

#### **Staff Contact:**

Comments and questions about this application may be directed to:

Clayton Ender, Planner  
City of Johnston  
6221 Merle Hay Road, Box 410  
Johnston, IA 50131  
Phone: (515) 727-7763  
Email: [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com)

#### **Attachments:**

Aerial Vicinity Map  
Proposed Future Land Use Map Amendment  
Proposed Zoning Districts Map

## Notice of Public Meeting

September 6, 2016

The Johnston City Council will hold a Public Meeting at 7:00 p.m. on Monday, September 19th, 2016 in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road to consider the following item:

**PZ Case No. 16-22; Simpson Property Comprehensive Plan Future Land Use Map Amendment and Simpson Property Official Zoning Map Amendment**

The property owner has requested an amendment to the Johnston 2030 Comprehensive Plan's Future Land Use Map and a rezoning of 7.7 acres from A-R Agricultural Reserve District, to R-1(75) Single-Family Residential District, and a rezoning of 28.2 acres from A-R Agriculture Reserve District, to C-2 Community Retail Commercial District, and a rezoning of 17.9 acres from A-R Agriculture Reserve District, to PC Professional Commerce Park District, and a rezoning of 12.8 acres from A-R Agriculture Reserve District, to R-3 Medium Density Multiple Family Residential District. The property is located on the southwest corner of NW 70th Avenue and NW 86th Street.

If you have questions or comments on the above-described action, please contact the city staff person listed at the bottom of this card, or attend the meeting at the above-listed date and time. Additional information is available under the "proposed development" section of the City's website: <http://www.cityofjohnston.com/proposeddevelopment>.

Clayton Ender, Planner  
Johnston City Hall; 6221 Merle Hay Road; Johnston, IA 50131  
Phone: 727-7763; Email: [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com)

## PZ Case No. 16-22 City Council Mailing List

OWNER	MAILING ADDRESS	CITY, STATE, ZIP CODE
LUTHER SHAWHAN	9350 NW 70TH AVE	JOHNSTON, IA 50131-1871
STATE OF IOWA	800 LINCOLN WAY	AMES, IA 50010-6915
SIMPSON ENTERPRISES INC	6108 TERRACE DR	JOHNSTON, IA 50131-1590
TMI HOLDINGS LLC	512 NE MAIN ST	GRIMES, IA 50111-2188
AUGUSTINE HOMEOWNERS' ASSOCIATION	1820 NW 118TH ST	CLIVE, IA 50325-8265
NICHOLAS PARENZA	9112 WOODDED POINT DR	JOHNSTON, IA 50131-4724
THOMAS NEWTON	9120 WOODDED POINT DR	JOHNSTON, IA 50131-4724
PAUL HARTMAN	9123 WOODDED POINT DR	JOHNSTON, IA 50131-4724
DARYL DELL'ANNO	6826 NW 93RD ST	JOHNSTON, IA 50131-3079
ROBERTA KELTING	6814 PECKHAM ST	JOHNSTON, IA 50131-3056
DAVID BRIGGS	6818 PECKHAM ST	JOHNSTON, IA 50131-3056
ALLEN STOYE	6824 NW 87TH CT	JOHNSTON, IA 50131-4745
ROGER SANDERS	6825 NW 87TH CT	JOHNSTON, IA 50131-4745
KATHLEEN DE PHILLIPS (TRUSTEE)	9131 WOODDED POINT DR	JOHNSTON, IA 50131-4724
JONATHAN THOMPSON	9115 WOODDED POINT DR	JOHNSTON, IA 50131-4724
DARREN SCHNEIDER	6871 NW 86TH ST	JOHNSTON, IA 50131-1760
DENNIS THILGES	9128 WOODDED POINT DR	JOHNSTON, IA 50131-4724
JASON MIDDENDORF	6822 PECKHAM ST	JOHNSTON, IA 50131-3056
MARILYN FINNEY	4717 WOODLAND AVE	WEST DES MOINES, IA 50266-1766
POLK COUNTY	5885 NE 14TH ST	DES MOINES, IA 50313-1202
MICHAEL BREWINGTON	7109 NW 95TH CT	JOHNSTON, IA 50131-1812
SREEDHAR SOMISETTY	6728 AUGUSTINE CT	JOHNSTON, IA 50131-4700
NEIL MANDSAGER	6733 AUGUSTINE CT	JOHNSTON, IA 50131-4700
CRAIG CLASEN	6732 AUGUSTINE CT	JOHNSTON, IA 50131-4700
ABLN LLC	2900 DELAWARE AVE	DES MOINES, IA 50317-3545
KRAUSE HOLDINGS INC	6400 WESTOWN PKWY	WEST DES MOINES, IA 50266-7717
JUSTIN BOLES	7003 PECKHAM ST	JOHNSTON, IA 50131-4774
ABLN LLC	2900 DELAWARE AVE	DES MOINES, IA 50317-3545
NORTHWOOD TRAIL OWNERS ASSOCIATION	2900 DELAWARE AVE	DES MOINES, IA 50317-3545
SCOTT LANG	6819 NW 89TH CT	JOHNSTON, IA 50131-4743
GREG ARMITAGE	9019 WOODDED POINT DR	JOHNSTON, IA 50131-4742
HEATHER PEMBLE	6822 NW 89TH CT	JOHNSTON, IA 50131-4743
GREG BALDNER	9107 WOODDED POINT DR	JOHNSTON, IA 50131-4724
DOUGLAS JESKE	6827 NW 88TH CT	JOHNSTON, IA 50131-4746
GARY SCHENKELBERG	6833 NW 87TH CT	JOHNSTON, IA 50131-4745
LUKE FREML	6818 NW 89TH CT	JOHNSTON, IA 50131-4743
MITCHELL REDENIUS	6820 NW 87TH CT	JOHNSTON, IA 50131-4745

<b>OWNER</b>	<b>MAILING ADDRESS</b>	<b>CITY, STATE, ZIP CODE</b>
WILLIAM MC GINN	6823 NW 89TH CT	JOHNSTON, IA 50131-4743
KRISTINE VOORHEES	9011 WOODED POINT DR	JOHNSTON, IA 50131-4742
JASON FOX	8921 WOODED POINT DR	JOHNSTON, IA 50131-4751
ROBERT FISHER	6827 NW 89TH CT	JOHNSTON, IA 50131-4743
KURT LABENZ	6836 NW 87TH CT	JOHNSTON, IA 50131-4745
BRIAN TIGGES	9024 WOODED POINT DR	JOHNSTON, IA 50131-4742
CARL HARRIS	6822 NW 88TH CT	JOHNSTON, IA 50131-4746
TIMOTHY SALMON	6837 NW 87TH CT	JOHNSTON, IA 50131-4745
CHRISTOPHER KROEGER	7007 PECKHAM ST	JOHNSTON, IA 50131-4774
JOVETH MANESE	9104 WOODED POINT DR	JOHNSTON, IA 50131-4724
KEVIN WAETKE	9136 WOODED POINT DR	JOHNSTON, IA 50131-4724
DOUG GARDNER	9816 MCWILLIAMS DR	JOHNSTON, IA 50131-2913
ERIC COLEMAN	8929 WOODED POINT DR	JOHNSTON, IA 50131-4751
CHRISTIAN HOWELL	7006 PECKHAM ST	JOHNSTON, IA 50131-4774
DAVID COSLIN	9139 WOODED POINT DR	JOHNSTON, IA 50131-4724
TYLER RUPP	6828 NW 87TH CT	JOHNSTON, IA 50131-4745
SAMUEL ACHESON (TRUSTEE)	6832 NW 87TH CT	JOHNSTON, IA 50131-4745
MIA BOOM-IBES	9032 WOODED POINT DR	JOHNSTON, IA 50131-4742
MICHELLE CONANT	6823 NW 88TH CT	JOHNSTON, IA 50131
EDUARDO CARLIN	6829 NW 87TH CT	JOHNSTON, IA 50131-4745
JAMES HOYT (TRUSTEE)	6831 NW 88TH CT	JOHNSTON, IA 50131-4746
CINDY SOUTHARD	7002 PECKHAM ST	JOHNSTON, IA 50131-4774
DAVID BOEGE	9035 WOODED POINT DR	JOHNSTON, IA 50131-4742
KEVIN ALLEMAGNE	9027 WOODED POINT DR	JOHNSTON, IA 50131-4742
JEREMY RENGER	6826 NW 89TH CT	JOHNSTON, IA 50131-4743
GREGORY ELMING	6826 NW 88TH CT	JOHNSTON, IA 50131-4746
CHRISTOPHER MANNING	6821 NW 93RD ST	JOHNSTON, IA 50131-3079
CHRISTOPHER YOUNG	6825 NW 93RD ST	JOHNSTON, IA 50131
DALE WOODS	6822 NW 93RD ST	JOHNSTON, IA 50131-3079
PHILLIP MCKEE	6830 NW 93RD ST	JOHNSTON, IA 50131-3079
RICHARD PERLBERG	6812 NW 93RD ST	JOHNSTON, IA 50131-3079
DEREK NELSON	6816 NW 93RD ST	JOHNSTON, IA 50131-3079
GREGORY VINES	6907 NW 93RD ST	JOHNSTON, IA 50131-3094
THOMAS FOLDES	6908 NW 93RD ST	JOHNSTON, IA 50131-3131
EDGAR CABRERA	6903 NW 93RD ST	JOHNSTON, IA 50131-3094
JOHN STOVER	6829 NW 93RD ST	JOHNSTON, IA 50131-3079

<b>OWNER</b>	<b>MAILING ADDRESS</b>	<b>CITY, STATE, ZIP CODE</b>
HARLEE OLAFSON	6813 NW 93RD ST	JOHNSTON, IA 50131-3079
GARY LONGNECKER	7070 FOREST DR	JOHNSTON, IA 50131-1283
MARK KRAUSE	6833 NW 93RD ST	JOHNSTON, IA 50131-3079
BRADLEY MEYER	6834 NW 93RD ST	JOHNSTON, IA 50131-3079
DENISE HOBT (TRUSTEE)	6911 NW 93RD ST	JOHNSTON, IA 50131-3094
CAMP DODGE DEVELOPMENT COMPANY LC	9813 ILTIS DR	DES MOINES, IA 50322-1390
MATTHEW KUBOVICH	6900 NW 93RD ST	JOHNSTON, IA 50131-3131
ALLEN HENTSCHER	6904 NW 93RD ST	JOHNSTON, IA 50131-3131



**OFFICE OF THE CITY ADMINISTRATOR**  
 Johnston, Iowa  
 AGENDA COMMUNICATION

October 3, 2016 Meeting

**Subject:** Consider Resolution 16-204; approving the site plans for 8601 Thomas Avenue (PZ Case No. 16-27).

**ACTION REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Rvw

**SYNOPSIS:**

814 Development LLC has submitted site plans for the development of a 11,992 square foot child care facility with 17,241 square feet of outdoor playground area and a future 2,500 square foot retail building. The property is located on the northwest corner of Thomas Avenue and NW 86<sup>th</sup> Street. The site is zoned PUD in the Windsor Office Park PUD.

**RECOMMENDATION:**

**At their regular meeting on September 26, 2016 the Planning & Zoning Commission recommended approval of PZ Case 16-27, the Site Plans for 8601 Thomas Avenue with the following conditions:**

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
4. Architectural elevations for the 2,500 square foot retail building shall be submitted for review by the Planning and Zoning Commission and City Council prior to issuance of a building permit for the 2,500 square foot retail building.
5. Council acceptance of placement of the required north buffer landscaping within 50 feet of the north property boundary instead of within the 30 foot buffer easement along the north property boundary.
6. No exterior site lighting may be installed unless and until all photometric plans have been revised, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
7. **The site plans must be amended and the following items shall**

**be completed prior to the issuance of a building permit:**

- a. Update the engineer seal and landscape architect seal on the cover sheet to cover all pages of the site plan.
  - b. Update the sheet list table on the cover sheet and the sheet numbers on the bottom right of the site plans to identify all sheets of the site plans.
  - c. Update the open space planting schedule and the landscaping plan drawing to reflect the location, size, and species of the 15 open space trees which are required.
  - d. Update the landscaping plan to either remove the 6 PA from the buffer planting schedule or identify their location on the landscaping plan drawing.
  - e. Update the landscaping plan's buffer planting schedule and the landscaping plan drawing to either identify only 10 CD or identify the location of all 12 CD currently listed in the planting schedule.
  - f. Update the site plans to show that 90° parking spaces will be at minimum 9 feet wide by 18 feet long, this includes handicap parking spaces. Length may be reduced to 16 feet if front end overhang over an open space is available.
  - g. Update the site plans to identify that parking required for retail establishments greater than 2,000 square feet is 1 parking space for every 175 gross floor area.
  - h. Provide a detail drawing of the trash enclosure to insure adequate screening from public right-of-way is achieved.
  - i. Identify the size and location of the private storm sewer proposed from the west adjacent property to connect the west adjacent property's detention basin to the overland flowage easement.
  - j. Show on the site plans the private 30 foot storm sewer easement which is proposed by the west adjacent property on the northwest corner of the rainbow rascal property, grant said private 30 foot storm sewer easement for the benefit of the west adjacent property, and provide evidence that said private 30 foot storm sewer easement has been recorded with the Polk County Recorder's office.
  - k. A public access & sidewalk easement shall be identified on the site plans for any portion of the sidewalk not within public right-of-way, said public access & sidewalk easement shall be accepted by the City Council, and said public access & sidewalk easement shall be recorded with the Polk County Recorder's office.
8. Address Foth's review letter dated September 22, 2016.

Attachments:

- Vicinity Map
- Site Plans, prepared by Civil Engineering Consultants, Inc., dated September 19, 2016;
- Architectural Elevations prepared by Krieger Klatt Architects, dated August 30, 2016;
- Windsor Office Park PUD, Ordinance 782, approved October 3, 2005;
- Resolutions Amending the Windsor Office Park PUD;
- Development Review Comments by Staff, dated August 23, 2016;
- Development Review Comments by Foth Infrastructure & Environment, LLC, dated September 22, 2016;
- Development Notice;

## RESOLUTION 16-204

### A RESOLUTION APPROVING THE SITE PLANS FOR 8601 THOMAS AVENUE

**WHEREAS**, the Planning & Zoning Commission has reviewed this request during its regular meeting on September 26<sup>th</sup>, 2016, and recommended approval of PZ Case No. 16-27 with noted conditions;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that the Site Plans for 8601 Thomas Avenue is hereby approved subject to the following conditions,

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
4. Architectural elevations for the 2,500 square foot retail building shall be submitted for review by the Planning and Zoning Commission and City Council prior to issuance of a building permit for the 2,500 square foot retail building.
5. Council acceptance of placement of the required north buffer landscaping within 50 feet of the north property boundary instead of within the 30 foot buffer easement along the north property boundary.
6. No exterior site lighting may be installed unless and until all photometric plans have been revised, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
7. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Update the engineer seal and landscape architect seal on the cover sheet to cover all pages of the site plan.
  - b. Update the sheet list table on the cover sheet and the sheet numbers on the bottom right of the site plans to identify all sheets of the site plans.
  - c. Update the open space planting schedule and the landscaping plan drawing to reflect the location, size, and species of the 15 open space trees which are required.
  - d. Update the landscaping plan to either remove the 6 PA from the buffer planting schedule or identify their location on the landscaping plan drawing.
  - e. Update the landscaping plan's buffer planting schedule and the landscaping plan drawing to either identify only 10 CD or identify the location of all 12 CD currently listed in the planting schedule.
  - f. Update the site plans to show that 90° parking spaces will be at minimum 9 feet wide by 18 feet long, this includes handicap parking spaces. Length may be reduced to 16 feet if front end overhang over an open space is available.
  - g. Update the site plans to identify that parking required for retail establishments greater than 2,000 square feet is 1 parking space for every 175 gross floor area.

- h. Provide a detail drawing of the trash enclosure to insure adequate screening from public right-of-way is achieved.
  - i. Identify the size and location of the private storm sewer proposed from the west adjacent property to connect the west adjacent property's detention basin to the overland flowage easement.
  - j. Show on the site plans the private 30 foot storm sewer easement which is proposed by the west adjacent property on the northwest corner of the rainbow rascal property, grant said private 30 foot storm sewer easement for the benefit of the west adjacent property, and provide evidence that said private 30 foot storm sewer easement has been recorded with the Polk County Recorder's office.
  - k. A public access & sidewalk easement shall be identified on the site plans for any portion of the sidewalk not within public right-of-way, said public access & sidewalk easement shall be accepted by the City Council, and said public access & sidewalk easement shall be recorded with the Polk County Recorder's office.
8. Address Foth's review letter dated September 22, 2016.

**PASSED AND APPROVED** this 3<sup>rd</sup> day of October, 2016.

\_\_\_\_\_  
PAULA S. DIERENFELD, MAYOR

ATTEST:

\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Brown	---	---	---	---
Clabaugh	---	---	---	---
Cope	---	---	---	---
Lindeman	---	---	---	---
Temple	---	---	---	---

PROPERTY OWNER:	Windsor Office Park, LLC 3101 Ingersoll Avenue Des Moines, IA, 50312
APPLICANT:	814 Development LLC 1742 Crooks Road Troy, MI, 48084
REPRESENTATIVES:	Civil Engineering Consultants, Inc 2400 86 <sup>th</sup> Street Unit 12 Des Moines, IA, 50322
BACKGROUND & PRIOR APPROVALS:	No prior site plans have been approved for this site.
ZONING & BULK REQUIREMENTS:	<p>The site is part of the Windsor Office Park PUD which was rezoned to PUD on October 3, 2005. Within the PUD this site is part of Parcel A which regulates land uses as those consistent with the general use restrictions of the PC, Professional Commerce Park District, and commercial uses complimentary to a business park, including restaurants and cafes (drive in facilities not permitted), lounges (only in conjunction with restaurants), book stores, office equipment and supply stores, drug stores (drive in facilities permitted), postal services, copy centers, and other similar uses as approved by the City Council.</p> <p>Daycare facilities are permitted within the PC zoning district provided they meet the requirements for a daycare center in the CO, Commercial Office District. As proposed the site complies with the requirements for a daycare facility in the CO zoning district and the land use regulations for the Windsor Office Park PUD.</p>
TRAFFIC ACCESS & CIRCULATION:	<p>Buildings within the Windsor Office Park PUD shall comply with the setback requirements of the PC zoning district; 50 foot front yard setback, 50 foot rear yard setback, and 20 foot side yard setback. The site must also comply with the 50 foot PUD perimeter setback.</p> <p>Multiple occupancy of a lot by more than one principal building is permitted, if the site is developed as a complex and the approved site plan demonstrates that buildings are compatible in architectural design and use of exterior materials; organized in close physical proximity, utilizing a centralized open space, and provided parking areas are not located between buildings within the complex.</p> <p>The site is proposed to have one driveway on NW 86<sup>th</sup> Street. This driveway is a right-in right-out only access point.</p> <p>The site is also proposed to have an access point on Thomas Avenue. This will be a full access driveway.</p>

**PEDISTRIAN  
CIRCULATION &  
SIDEWALKS:**

A new 4 foot wide sidewalk will be installed along Thomas Avenue for the portion of this site abutting Thomas Avenue. A 5 foot by 5 foot passing area will be installed so that the sidewalk meets ADA requirements.

A new 5 foot wide sidewalk will be installed along NW 86<sup>th</sup> Street to the north property boundary. The sidewalk on the north adjacent property does not extend to their south property boundary however. Staff has been in contact with the Crescent Chase Condominiums property manager and is working on a resolution to this gap in the sidewalk network.

**PARKING AND  
LOADING:**

Day nursery schools and child care centers shall have five parking spaces, or one parking space for each five maximum client capacity, whichever is greater, plus additional spaces necessary to accommodate parking of vans and buses for client transport by the school or center.

Max client capacity is determined by the state license for the facility. Currently a state license for the child care center has not been procured, but the applicant is expecting a max client capacity of approximately 100 children. Based on this expected max client capacity the site would be required to have 20 parking spaces for the child care facility.

Retail stores over 2,000 square feet are required to have one parking space for each and every 175 square feet of gross floor area. This site would be required to have 14 parking spaces for the retail use on the site. Staff is recommending that the site plans be updated so that the parking note on the cover sheet reflects the correct parking requirement.

Combined the two uses will require the site to maintain 14 parking stalls plus 1 parking stall for each five maximum client capacity, or approximately 34 parking stalls. As proposed, the site will have 62 parking spaces. Based on the amount of parking provided, City of Johnston parking regulations would prohibit the child care facility from having a max client capacity greater than 240 children.

**PUBLIC UTILITIES:**

**WATER:** Water is available from Thomas Avenue.

**SANITARY SEWER:** Sanitary Sewer is available from Thomas Avenue.

**FIRE PROTECTION:**

The daycare building is required to be sprinklered and to have a knox box. The location of the fire department connection and the knox box for the daycare building are shown on the site plans.

The retail building would be required to have a knox box. The precise location of the knox box for the retail building would be determined at the time the building is constructed.

FLOODPLAIN:

The site is not located within the 100-year floodplain.

DRAINAGE:

The site generally drains to the north and east. The site will be graded to direct a portion of the site to an internal site storm sewer system that will direct the stormwater to a detention basin on the north side of the property. From this basin water will outflow to a storm sewer that crosses NW 86<sup>th</sup> Street where it will then overland flow south to a small channel that is opposite NW 86<sup>th</sup> Street from the Jethro's BBQ location.

The detention basin is designed to accommodate the water quantity volume and the water quality volume for the site. The site to the west would outlet their detention into this site. The design of this site's stormwater detention has taken into account the flow of the west adjacent site in a developed state.

The Planning and Zoning Commission has recommended that the site plans be updated to show the location and size of the proposed storm sewer for the west adjacent property and a private 30 foot storm sewer easement that is proposed by the neighboring property. This easement and storm sewer is necessary for the neighboring property to properly drain into the existing overland flowage easement.

ARCHITECTURE:

The Windsor Office Park PUD requires that buildings in the PUD adhere to the architectural standards for NW 86<sup>th</sup> Street, which requires 50% brick on any side of a building facing public right-of-way. Buildings in the Windsor Office Park PUD must also be at minimum 75% permanent material.

As proposed each elevation of the building would exceed 50% brick and would exceed 75% permanent material. Architectural elevations for the child care facility building have been attached to this staff report.

The Planning and Zoning Commission has recommended that architectural elevations for the 2,500 square foot retail building be submitted for review by the Planning and Zoning Commission and City Council prior to issuance of a building permit for the 2,500 square foot retail building.

OPEN SPACE:

30% of the site must be maintained as open space. As proposed 58% of the site will be maintained as open space.

LANDSCAPING:

The site is required to have 1 tree per 1,500 square feet of required open space and 1 shrub per 1,000 square feet of required open space. For the purpose of calculating open space landscaping requirements, the buffer area of the site is removed from the total lot area to determine required open space subject to open space landscaping requirements.

For this site, 15 trees and 23 shrubs are required. As proposed the site

indicates 13 trees and 33 shrubs. Staff is recommending that the landscaping plan be updated to identify the location, size, and species of the two missing open space trees.

**TREE REMOVAL:**

No tree removal is identified with this site plan.

**BUFFERS:**

The site is required to have one buffer area along the north property boundary. The following is the required buffer landscaping and that which is provided:

North Buffer		
	Required	Provided
Evergreen Trees	12	12
Overstory Trees	4	4
Understory Trees	16	16
Shrubs	32	34

The Planning and Zoning Commission has recommended that the landscaping plan be updated to either remove the 6 PA from the buffer planting schedule since these plantings are not shown on the drawing or include these plantings on the drawing. Staff is also recommending that the landscaping plan be updated to either update the buffer planting schedule and the drawing to identify only 4 CD on the northwest corner of the property or show the location of all 6 CD in this location.

The Planning and Zoning Commission has also recommended Council acceptance of placement of the required buffer landscaping within 50 feet of the north property boundary instead of within the 30 buffer easement along the north property boundary.

**NPDES PERMIT:**

A SWPPP and NPDES Permit are required and must be approved by City Staff prior to issuance of a City Grading Permit and any ground disturbing activity.

**SITE LIGHTING:**

No exterior site lighting may be installed unless and until all photometric plans have been revised, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.

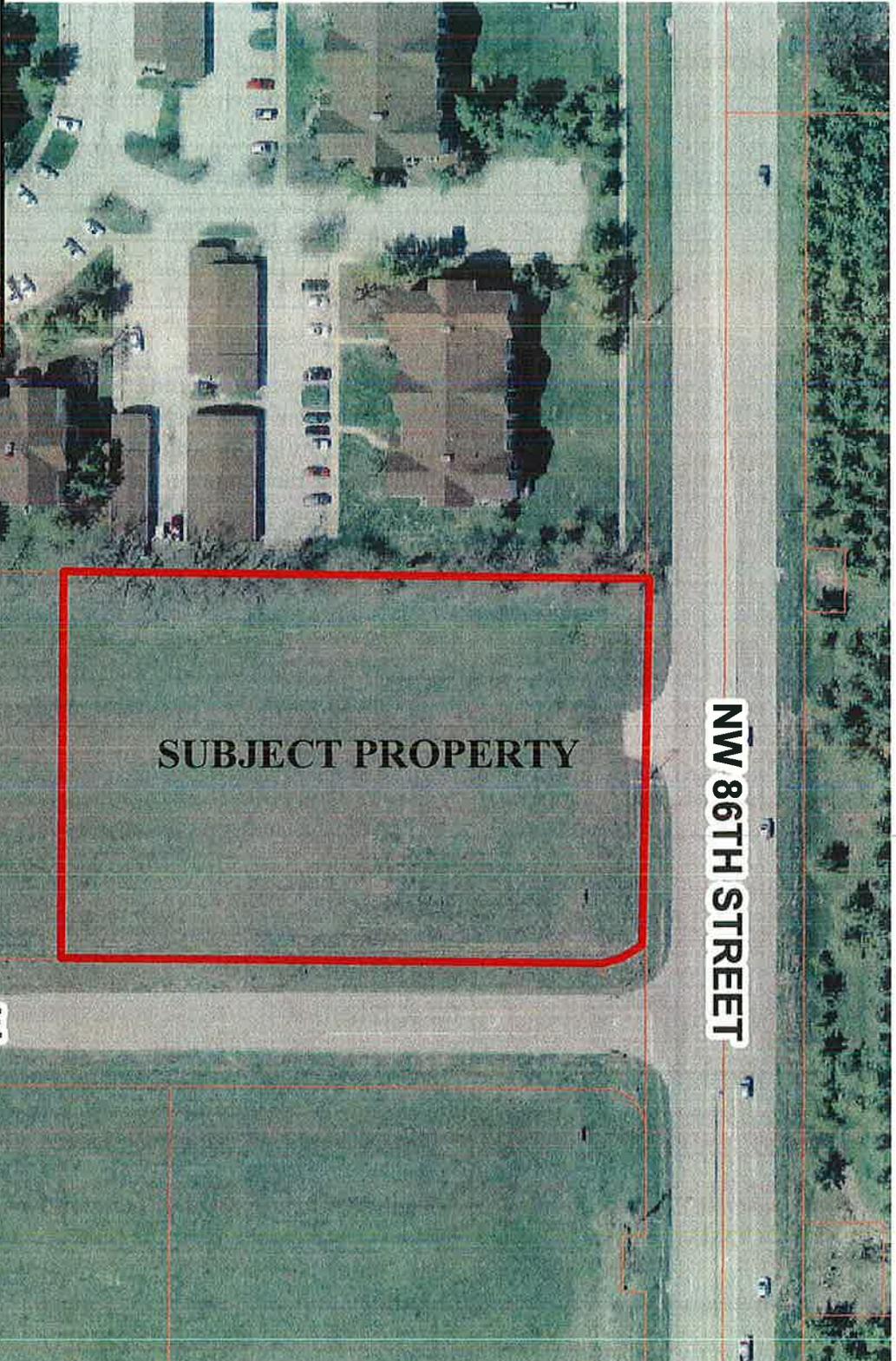
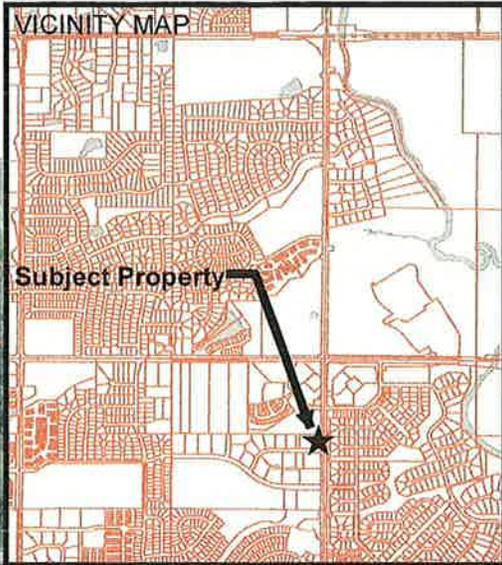
**PUBLIC NOTICE:**

Notice was placed on the City's website advertising the proposed development. A copy of the notice is attached; as of publication of this report no comments have been received.

**CONSULTANT COMMENTS:**

Foth Infrastructure & Environment, LLC has reviewed the Site Plan and offered comments in their September 22, 2016 review letter. The Planning and Zoning Commission has recommended a condition of approval requiring all outstanding comments from Foth's review letter be addressed prior to the issuance of a building permit.

**PZ CASE 16-27**  
**Rainbow Rascals Child Care Facility**



1 inch = 3,333 feet

Created by City of Johnston Department of Community Development  
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033

H:\Community Development\TP&Z\2016 PZ\PZ 16-27; Rainbow Child Care Center Site Plan\GIS\Aerial vicinity PZ 16-27.mxd

## ORDINANCE NO. 724

### AN ORDINANCE AMENDING THE JOHNSTON REVISED ORDINANCES OF 1999 BY AMENDING THE WINDSOR OFFICE PARK PUD (ORDINANCE 652) TO ALLOW LIMITED RETAIL AND SECOND STORY RESIDENTIAL USES.

Now Therefore, Be It Enacted by the City Council of the City of Johnston, Iowa that:

**SECTION 1. PURPOSE.** The purpose of this ordinance is to replace Ordinance 652 to amend the Windsor Office Park PUD to allow limited retail and second story residential uses within the development.

**SECTION 2. OFFICIAL PUD AMENDMENT.** Ordinance 652 is hereby repealed and replaced with the provisions noted within this Ordinance. The following legally defined property is hereby included within the Windsor Office Park PUD:

Lots 1 to 22 and Outlot Z, Windsor Office Park Plat 1, an official plat, City of Johnston, Polk County, Iowa.

**SECTION 3. MASTER PLAN PROVISIONS.** In accordance with Section 17.10.180.4 adopted herewith is the Master Plan for the above-described area being rezoned to Planned Unit Development consisting of the following development policies:

PUD Master Plan A conceptual plan for the development of the Planned Unit Development is hereby adopted as a PUD Master Plan to guide development of the area. The plan for Windsor Office Park as prepared by Civil Engineering Consultants and dated May 23, 2002 is hereby adopted. The master plans and those additional guidelines as identified herein shall constitute the zoning requirements of the properties.

It is the general purpose of this PUD to establish land uses and development requirements that are compatible with the land uses in the vicinity and achieve an exemplary professional office park. If it can be shown that the intent and purpose of these guidelines can be met through another means, the City Council can approve them in combination with a Site Plan Review.

A. Collector Street Standards. The PUD Master Plan shall accommodate turning lanes at the intersections of collectors within the projects. No parking would be allowed on Windsor Parkway. Right-of-way and pavement width shall be as follows:

1. Windsor Parkway west of NW 86<sup>th</sup> Street at 100': 5-lane roadway.
2. Windsor Parkway west of Parcels A & B; 80: 31', 37' with turning lane. ROW may drop to 70 feet in width where turning lanes or tapers do not exist.
3. NW 92<sup>nd</sup> Street; 2-lanes in 60'-80' ROW, 31'-37' with turning lane.

4. Extension of Windsor Drive to Greenwood Hills; 2-lanes, 60' ROW, 31'.
  5. North Access Drive off NW 86<sup>th</sup> Street; 2-lanes, 60'-80' ROW, with turning lane at Windsor Parkway and NW 86<sup>th</sup> Street.
- B. NW 86<sup>th</sup> Street Intersections with proposed and existing Windsor Parkway and new intersection. Developer to provide right-of-way and make the improvements to the intersection as required for the project. Improvements shall be designed in accordance with capacity requirements in accordance with the traffic analysis and subject to final City Council approval.

C. Land Use.

1. Parcel A is designated in the Comprehensive Plan as Business Park / Office. The land uses established for Parcel A shall be consistent with the general use restrictions of District PC, Professional Commerce Park, and commercial uses complimentary to a business park, including restaurants and cafes (drive-in facilities not permitted), lounges (only in conjunction with a restaurant), coffee shops, banks and similar financial institutions (drive-in facilities permitted), and other similar uses as approved by the City Council. Strip mall type structures will not be allowed.
2. Parcel B is designated in the Comprehensive Plan as Business Park Commercial. The land uses established for Parcel B shall be consistent with the general use restrictions of District PC, Professional Commerce Park, and commercial uses complimentary to a business park, including restaurants and cafes (drive-in facilities not permitted), lounges (only in conjunction with a restaurant), coffee shops, banks and similar financial institutions (drive-in facilities permitted), book stores, office equipment and supply stores, drug stores (drive-in facilities permitted), postal services, copy centers, and other similar uses as approved by the City Council. Strip mall type structures will not be allowed.
3. Parcel C is designated Business Park / Office. Permitted land uses shall consist of those permitted in District PC.
  - i) Uses permitted in District C-1 shall be permitted within Lots 9, 10, 16, 17, 18, 19 and 20, of Windsor Office Park Plat 1, with the following exceptions:

Automobile Parts Store, excluding parts installation and repair

Liquor Stores

Lounges, when in conjunction with a restaurant

Pet Shops

Tobacco Stores

Veterinary Clinics for household pets on an out-patient basis only, no overnight boarding or lodging except by Special Use Permit

The display of merchandise outside the building and the storage of merchandise or materials shall not be permitted

Convenience stores shall not be permitted, even by a Special Use Permit

Stand alone big box retail establishments shall be prohibited.

- ii) Mixed-use buildings with residential on the second story shall be allowed within Lots 4 to 20 of Windsor Office Park Plat 1, provided such mixed use buildings are reasonably designed to protect the residential use from noise or other similar matters associated with the commercial/office use. Residential uses of such mixed-use buildings shall not exceed the densities allowed in an R-4 zoning district. Garages for such residential units shall be located in the rear of such proposed buildings. The use of residential units is further restricted to residential apartment units and Horizontal Property Regimes, as defined under the provisions of Iowa Code Chapter 499B, or other related provisions; provided however the land use classification used for calculating real estate taxes shall not be changed from commercial to residential.

4. Parcel D is designated in the Comprehensive Plan as Business Park / Office. Permitted land uses shall consist of those permitted in District PC.

- D. Architectural Standards. The project shall adhere to the architectural requirements for NW 86<sup>th</sup> Street, which requires brick as the predominant material on the facades.
- E. Buffers. Provisions for buffers shall adhere to the requirements of Section 17.50.030. A development may request a reduction or waiver which the City Council may or may not grant as part of the resolution approving individual site plans. The developer is responsible for the entire buffer within the property boundaries
- F. Setbacks. The building setbacks for all parcels shall adhere to PC setbacks (front, 50'; rear, 50'; side, 20'). A 50-foot building setback is required adjacent to any R District boundary.
- G. Parking setback. All parking areas and driveway aisles shall setback 15 feet from public right-of-way.
- H. Building Heights. Building heights are to be restricted contiguous to the south and west boundaries of the project which abut existing or future platted single-family lots to preserve the existing views that are an asset to the area. Building heights shall be restricted to the building heights of existing contiguous dwelling units. Building heights, for the purposes of this provision, shall be measured at the ridgeline or top of the parapet wall as opposed to the average height of the building. Building heights

may increase one foot for each 10 feet of additional setback from the perimeter 50-foot building setback line.

- I. Open Space. The open space ratio of the PUD shall consist of 30 percent. The computation of the 30 percent would include the areas set aside for buffers as is typically done.
- J. Landscaping. The parkway shall be a distinguishing feature and unifying element of this project. Particularly the locations on Windsor Parkway where it intersects with collectors and with NW 86<sup>th</sup> Street. The developer shall submit a landscaping plan for street trees and other landscape elements. The plan may be implemented through efforts of the developer of the office park or the individual site developments. The landscape plan shall also address NW 86<sup>th</sup> Street. The landscape plan shall be approved prior to or in combination with any subdivision plat or approval of any construction plans for public improvements.
- K. Trail. Developer to provide pedestrian and trail access easements for both an east-west trail and a north-south trail through the subject site in conjunction with the subdivision improvements. A north-south connection shall be developed that would be located on the west boundary of the site or at a central location perhaps following the collectors. The trails extension northward could intersect with another planned trail north of NW 62<sup>nd</sup> Avenue and approximately ¼ mile west of NW 86<sup>th</sup> Street. This would also afford a safe crossing of NW 62<sup>nd</sup> Avenue for trail users if the collector intersection on NW 62<sup>nd</sup> Avenue is signalized in the future.
- L. Parkland. Developer to dedicate 3.75 acres of tillable land (no drainage ways or ditches) for parkland in the southwest portion of Parcel D in a configuration satisfactory to the City Council, after input from the Park Advisory Board and the Planning & Zoning Commission. The dedication to occur upon the platting of Parcel D from an outlot to platted lots.
- M. Signage. All signage be restricted to building signs and monument (ground) signs, excluding the normal directional and informational signs as allowed by the zoning ordinance. All building signs to be individual letters mounted on the wall or on a raceway.

**SECTION 3. REPEALER.** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**SECTION 4. SEVERABILITY CLAUSE.** If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

**SECTION 5. WHEN EFFECTIVE.** This ordinance shall be in full effect from and after its final passage, approval, and publication as provided by law.

Passed and approved by the Council this \_\_\_\_\_ day of \_\_\_\_\_, 2005.

*Brian J. Laurenzo*  
BRIAN J. LAURENZO, MAYOR

ATTEST:

*Stephanie L. Reynolds*  
STEPHANIE L. REYNOLDS, CITY CLERK

1st Reading: October 3, 2005

2nd Reading: waived

3rd Reading: waived

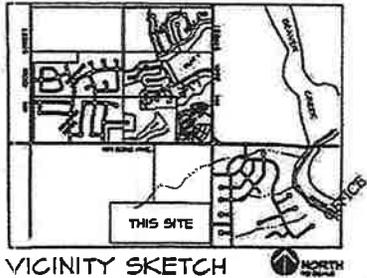
Passed: October 3, 2005

Signed: October 3, 2005

Published: October 7, 2005

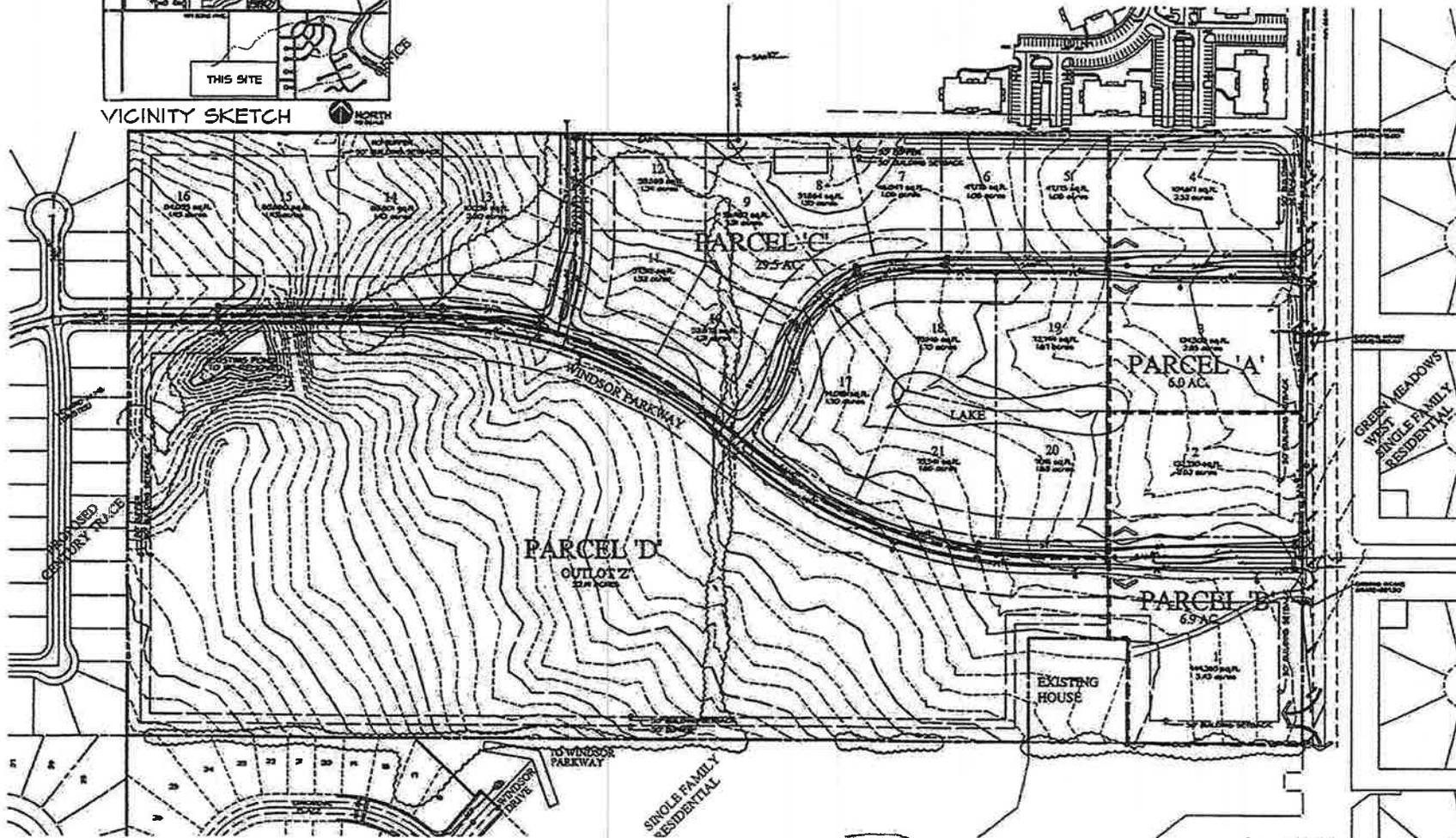
ROLL CALL VOTE:	1st Reading		2nd Reading		3rd Reading	
	Aye	Nay	Aye	Nay	Aye	Nay
Dierenfeld	<input checked="" type="checkbox"/>	_____	_____	_____	_____	_____
Davis	<input checked="" type="checkbox"/>	_____	_____	_____	_____	_____
Temple	<input checked="" type="checkbox"/>	_____	_____	_____	_____	_____
Wilson	<input checked="" type="checkbox"/>	_____	<u>waived</u>	_____	<u>waived</u>	_____
Underwood	<input checked="" type="checkbox"/>	_____	_____	_____	_____	_____

Q:\A-FILES\A-1200A\1201\1201PUD.dwg, 05/30/02 08:49:01 AM, mmorgan, 1:225.441



CITY OF JOHNSTON  
 5/30/02  
 P202-15

P.U.D. MASTER PLAN  
 WINDSOR OFFICE PARK



DATE: MAY 23, 2002

LANDSCAPE ARCHITECTURAL CONSULTANTS, INC.  
 A DIVISION OF CIVIL ENGINEERS & ARCHITECTS, P.C.  
 2400 60TH STREET, SUITE 13 DES MOINES, IOWA 50322-4379  
 PHONE: 515.276.9808 FAX: 515.276.7884

**RESOLUTION NO. 06-226**

**A RESOLUTION TO AMEND THE WINDSOR PARK PUD FOR PARCEL A TO DELETE REFERENCE TO STRIP MALLS.**

WHEREAS, the Planning & Zoning Commission reviewed this item at their October 9, 2006 meeting and recommended approval of PZ Case No. 06-50, now therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that:

The land uses allowed in Parcel A is amended as follows:

Parcel A is designated in the Comprehensive Plan as Business Park / Office. The land uses established for Parcel A shall be consistent with the general use restrictions of District PC, Professional Commerce Park, and commercial uses complimentary to a business park, including restaurants and cafes (drive-in facilities not permitted), lounges (only in conjunction with a restaurant), coffee shops, banks and similar financial institutions (drive-in facilities permitted), and other similar uses as approved by the City Council.

PASSED AND APPROVED this 16<sup>th</sup> day of October, 2006.

  
BRIAN J. LAURENZO, MAYOR

ATTEST:

  
STEPHANIE L. REYNOLDS, CITY CLERK

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Clabaugh	<u>✓</u>	<u>_____</u>	<u>_____</u>	<u>_____</u>
Davis	<u>✓</u>	<u>_____</u>	<u>_____</u>	<u>_____</u>
Dierenfeld	<u>✓</u>	<u>_____</u>	<u>_____</u>	<u>_____</u>
Temple	<u>_____</u>	<u>_____</u>	<u>✓</u>	<u>_____</u>
Tingley	<u>_____</u>	<u>_____</u>	<u>✓</u>	<u>_____</u>

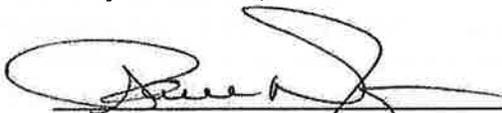
**RESOLUTION 11-142**

**A RESOLUTION APPROVING A MINOR AMENDMENT TO THE WINDSOR OFFICE PARK PUD**

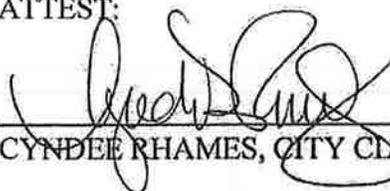
**WHEREAS**, the Planning and Zoning Commission reviewed the PUD amendment at their regular meeting on October 10<sup>th</sup>, 2011 and recommended approval;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that, the amended Windsor Office Park PUD Master Plan, eliminating the 15' parking setback as described in Section 3.G. of Ordinance No. 652, is hereby approved.

**PASSED AND APPROVED** this 17<sup>th</sup> day of October, 2011.

  
\_\_\_\_\_  
PAULA DIERENFELD, MAYOR

ATTEST:

  
\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Clabaugh	✓	—	—	—
Culbert	✓	—	—	—
Hibbs	✓	—	—	—
Kallen	✓	—	—	—
Lindeman	✓	—	—	—

**RESOLUTION 13-129**

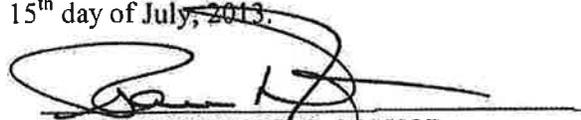
**A RESOLUTION APPROVING A MINOR AMENDMENT TO THE WINDSOR OFFICE PARK PUD**

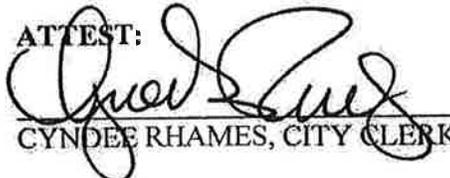
**WHEREAS**, the Planning & Zoning Commission has reviewed this request during its regular meeting on July 8, 2013, and recommends approval;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that, Section 3(C)(1) of the Windsor Office Park PUD is hereby amended as follows:

1. Parcel A is designated in the Comprehensive Plan as Business Park / Office. The land uses established for Parcel A shall be consistent with the general use restrictions of District PC, Professional Commerce Park, and commercial uses complimentary to a business park, including restaurants and cafes (drive-thru facilities not permitted, **except on Lot 2, Windsor Office Park Plat 1**), lounges (only in conjunction with a restaurant), coffee shops, banks and similar financial institutions (drive-thru facilities permitted), and other similar uses as approved by the City Council. Strip mall type structures will not be allowed, **except on Lot 2, Windsor Office Park Plat 1**.

**PASSED AND APPROVED** this 15<sup>th</sup> day of July, 2013.

  
PAULA DIERENFELD, MAYOR

**ATTEST:**  
  
CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>AYE</u>	<u>NAY</u>	<u>ABSENT</u>	<u>ABSTAIN</u>
Brown	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Clabaugh	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cope	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lindeman	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Temple	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



**MEMORANDUM**  
*City of Johnston, Iowa*

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SENT VIA EMAIL

DATE: August 23, 2016

TO: 814 Development LLC  
Harry Wolf, Windsor Office Park LLC  
Edward Arp, Civil Engineering Consultants

FROM: Clayton Ender, Planner

**RE: Rainbow Rascals Child Care Center Site Plans**

We have reviewed the proposed site plans for Rainbows Rascals Child Care Center at 8601 Thomas Avenue, and would note the following:

1. **Sheet 1:**

- a. Update the drawing index to identify each of the 4 pages.
- b. Landscape architect seal should state that it covers Sheets 1 – 4 (There is no page 5 or 6).
- c. An engineer seal is required on the site plans and should cover sheets 1 – 4.
- d. Site area shown on the vicinity sketch appears to be the Jethro's location opposite Thomas Avenue from the subject site. Update the vicinity sketch to the correct property.
- e. Note 5 should indicate that all construction will be to 2014 SUDAS and Johnston Supplemental Specifications.
- f. Note 10 regarding a potential traffic study is not required and may be removed from the site plans.
- g. Buffer area may be removed from the calculation to determine open space landscaping requirements. So for this site the area used to calculate open space landscaping would be determined as such:

26,764 SF (Required Open Space) – 10,956 SF (Buffer Area) = 15,808 SF

So for this site the minimum required open space landscaping would be 11 trees and 16 shrubs. Additional landscaping may be installed, and is encouraged, but the site plans should reflect the minimum requirements as outlined above.

**2. Sheet 2:**

- a. Indicate the 30' overland flowage and buffer easement along the north property boundary, include book and page number.
- b. Indicate the 10' Public Utility Easement along the south property boundary include book and page number.
- c. Indicate the 30' Public Utility Easement, Sanitary Sewer Easement, and Storm Sewer Easement along the east property boundary, include book and page number.
- d. Indicate the 50' Rear Yard Setback parallel to the west property boundary.

**3. Sheet 3:**

- a. Indicate the sanitary sewer line heading both north and south along NW 86<sup>th</sup> Street.
- b. Though not required, staff would suggest relocating the storm sewer intakes that are currently located in the center of the drive aisle to the curb line. Intakes in the center of drive aisles have proven to be difficult to maintain in the past, especially in high traffic areas.

**4. Sheet 4:**

- a. Provide separate plant schedules for buffer landscaping and open space landscaping.
- b. Discuss the 6 Prairefire Crabapple trees located along the east property boundary that are within the public utility easement, sanitary sewer easement, and storm sewer easement. There may be potential conflict with these trees and the sanitary sewer.
- c. There appears to be 1 tree located in the parking lot on the southwest corner of the property. Relocate this tree so that it is not being planted on pavement.

**5. General:**

- a. Will there be dumpsters? If so indicate the location on the site plans and provide screening from adjacent properties and public right-of-way.
- b. Indicate what is being used around the play areas. Chain link fence? Privacy fence?
- c. The sidewalk which will not connect with the sidewalk on the northeast portion of the property will need to be connected.
- d. Discuss the purpose of the crosshatched area on the south side of the property.
- e. Discuss the purpose of the speckled area on the north side of the property.

- f. In regards to fire protection:
  - i. Indicate 150 foot fire hydrant coverage radius from all nearby fire hydrants.
  - ii. Due to the size and occupancy of the building, an automatic sprinkler system and a fire alarm will be required. Indicate the location of the fire department automatic sprinkler system connection and include a note that a fire alarm is required.
  - iii. A fire hydrant shall be located within 100 feet of the fire department connection to the automatic sprinkler system.
  - iv. A knox box with keys to access the building in the event of an emergency shall be located near the front door of the building. Indicate the location of the required knox box.
- g. In regards to parking:
  - i. Discuss what the maximum client capacity as determined by State of Iowa licensing will be? Parking is based upon client capacity and sufficient parking shall be provided to accommodate max licensed capacity.
  - ii. Will this facility require parking for vans or busses? If so, indicate parking areas appropriately sized to accommodate those vehicles.
  - iii. Discuss the parking note for restaurant use since I don't see a restaurant use indicated on the site plans.
  - iv. 90° parking spaces must be at minimum 9 feet wide by 18 feet long. Update the parking dimensions and indicate a typical stall dimension with both length and width.
  - v. Based on the number of provided parking spaces, 3 parking spaces are required to be handicap accessible. Update the plans to accommodate 3 handicap parking spaces.
  - vi. Indicate the dimensions for the no parking area adjacent to the handicap parking stalls. There shall be at least one access area of 8 feet in width adjacent to a van accessible handicap stall and all handicap stalls shall have at minimum a 5 foot access space adjacent to it.
- h. Exterior lighting is not required, but if there will be any exterior lighting the applicant shall include 2 photometric plans for exterior lighting as an overlay on the proposed site: (1) entire site and (2) paved areas only. Include a written statement of percentages from initial to maintained foot-candle levels. Also include manufacturer's cut sheets for all proposed site lighting materials. The lighting requirements may be found at <http://www.cityofjohnston.com/index.aspx?NID=288>.
- i. All Stormwater Management Facilities will require a recorded maintenance agreement detailing the necessary ongoing maintenance of the facility. A template for this agreement may be found at <http://www.cityofjohnston.com/DocumentCenter/View/726>.

- j. A stormwater management report must be submitted for review. Please provide two copies of this report with the resubmittal of the site plans.

## 6. Architectural Elevations:

- a. Provide architectural elevations showing each side of the building.
- b. Provide square footage of each building material to be located on each side of the building.
- c. At minimum, 75% of each elevation must be composed of permanent material. Up to 25% of each elevation may be composed of trim. This calculation is determined from the total square footage of an elevation minus glass.
- d. At minimum, 50% of the elevations facing NW 86<sup>th</sup> Street and Thomas Avenue must be composed of brick. This calculation is determined from the total square footage of an elevation minus glass.
- e. Indicate all HVAC units on the architectural elevations. HVAC units must be screened from the public right-of-way and adjacent properties.

## 7. Looking Forward

- a. Signs are by a separate permit, but staff would note that within the Windsor Office Park PUD signage may only consist of building signs and freestanding monument signs. You are allowed one freestanding sign for each street frontage and you are allowed building signs with a total area equal to 5% of the wall area facing Thomas Ave and NW 86<sup>th</sup> Street.
  - b. An executed NPDES Permit, full SWPPP and City Grading Permit will need to be provided for review a minimum of 10 days prior your anticipated start date for any ground disturbing activities. A city grading permit is available at <http://www.cityofjohnston.com/documentcenter/view/1412>. Review and approval must occur prior to work beginning.
  - c. A building permit and building construction drawings will need to be provided for review a minimum of 14 days prior to your anticipated start date for building construction activities. A building permit may be acquired at the front desk of the Community Development Department office. Review and approval must occur prior to work beginning.
8. Please see additional comments on the site plan as provided by Foth Infrastructure and Environment, LLC and Johnston Public Works.
  9. Please include a cover sheet to accompany revisions which lists corrections made to the site plan.

This project is scheduled for a development review meeting on Wednesday, August 24<sup>th</sup>, 2016 at 2:30p.m. Four full size copies of revised plans, four 11 x 17 inch reductions and a PDF version of all site plans and two copies of the building elevations and two copies of any revised stormwater management reports must be submitted by Wednesday, August 31<sup>st</sup>, 2016 in order to proceed to the Planning and Zoning

Commission on Monday, September 12<sup>th</sup>, 2016 and to the City Council on Tuesday, September 19<sup>th</sup>, 2016.

If you have any questions, please contact me at 727-7763 or by email at [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com).

cc: File  
Josh DeBower, Foth Infrastructure and Environment  
Tyler Anderson, Foth Infrastructure and Environment  
Matt Greiner, Construction Inspector  
Craig Ver Huel, Fire Department  
David Wilwerding, Community Development Director  
Aaron Wolfe, Senior Planner



September 22, 2016

Clayton Ender, Planner  
City of Johnston, P.O. Box 410  
6221 Merle Hay Road  
Johnston, IA 50131

RE: Rainbow Child Care Center Site Plan  
Development Review 2  
Case No. PZ 16-27

Foth Infrastructure and Environment, LLC has completed a review of the Site Plan, Lighting Plan and Stormwater Management Plan received by the City September 16th, 2016 for the above referenced project. Based on our review, the following comments are offered:

**Stormwater Management Plan**

1. Label Drainage area size on the existing and pre-developed drainage area map.
2. Show the time of concentration path on the existing offside drainage map.
3. Provide the Runoff Peak Rates and required release rates of the proposed pond on the Storm Water Summary Data Sheet.
4. Verify all storm sewer sizes and slopes in the report as Pipes on Sheet 4 do not match what is being shown in report.
5. Provide the entire Hydraflow report to verify detention pond size and outlet being modeled matches what is being shown in the plans.
6. Provide intake capacity calculations that verify no ponding greater than 9", state clogging factors used.
7. Provide outlet velocity calculations to show what outlet protection is required at FES and RD outlet.

**Site Plan**

**Sheet 1**

8. No further comments.

**Sheet 2**

9. Handicap parking stalls are shown as 8-ft wide, per City of Johnston Code, all parking stalls shall be a minimum of 9-ft; applicant shall revise accordingly.
10. Applicant shall provide a sidewalk easement for the walk on private property or relocate sidewalk within right of way and relocate the power poles.

**Sheet 3**

11. Label pond storage information for the WQv and elevation, CPv and elevation (if applicable), 100-yr high water, overflow elevation and flow path.
12. Applicant shall provide spot elevations in the bottom of the detention pond.
13. Applicant shall provide detailed elevations and slopes on all sidewalks adjacent to the building and on ramps to handicap stalls to verify all pedestrian paths are ADA compliant.
14. What is the finish floor elevation of the retail building?
15. Revise erosion controls to match the new grading shown.
16. Roof drains need cleanouts shown.
17. Applicant shall rotate intake #4 to match #3.
18. Provide diameter of all SW-502 to verify manhole size.
19. Provide elevations for the openings of Intake #1.
20. Split Utilities onto a separate sheet to be able to show information more clearly.

8191 Birchwood Court, Suite L Johnston, IA 50131 (515) 254-1393 Fax: (515) 254-1642

21. Label all water main bend sizes and provide northing/easting information for asbuilt purposes.
22. Label all conflict points where sanitary crosses storm sewer and where water main crosses storm sewer; provide flowline information at these locations to verify clearance requirements.
23. Storm callout located in the retail building states it's a 12" RCP, but the pipe it should be pointing to is labeled as 18".
24. Show 6" subdrain in Bioretention trench and provide flow line and cleanout location information .

**Sheet 4**

25. Applicant shall specify seeding types and designate locations.
26. What screening is being proposed around the transformer?
27. How tall are the proposed trees going to be adjacent to NW 86<sup>th</sup> Street and will they conflict with the power lines as they grow?

**Sheet 5**

28. How will the 6" subdrain in the Bioretention trench be outletted?
29. Verify running slopes of all pedestrian ramps, along NW 86<sup>th</sup> Street the north ramp slopes scale to be 4.3% along the west edge and 5.56% along the east edge.
30. Slope arrows for the ramp south of the driveway off of NW 86<sup>th</sup> Street point south, but according to elevations the arrows should point north.
31. Detectable warnings should be placed at the back of curb not gutter as shown in the NW corner of NW 86<sup>th</sup> Street and Thomas Ave.

**Lighting Plan**

32. Average/minimum illuminance calculation appears to be a time.
33. Unable to verify where the lights are being installed, are they building mounted or pole mounted? If pole mounted what is the mounting height?
34. Highlight what luminaire is going to be used in the Luminaire data provided, appears to be a 700mA with 131 watt LED, but please verify.
35. Were the existing street lights included in the analysis of the site lighting?

Please contact me at 515.251.2564 if you have questions or comments.

Sincerely,

**Foth Infrastructure & Environment, LLC**



Joshua C. DeBower, P.E.  
*Lead Civil Engineer*

TMA: mms3



## Notice of Proposed Development *City of Johnston, Iowa*

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September 19<sup>th</sup>, 2016

### **PZ Case No. 16-27; Site Plans for 8061 Thomas Avenue**

814 Development LLC has submitted a site plan for the construction of an approximately 12,000 square foot child care facility and a future 2,500 square foot retail building. The site is located on the northwest corner of NW 86<sup>th</sup> Street and Thomas Avenue and is zoned as part of the Windsor Office Park PUD. Additional information is attached to this notice.

**Applicant:** 814 Development LLC  
1742 Crooks Road  
Troy, MI, 48084

### **Meeting Schedule:**

Planning and Zoning Commission, Monday, September 26, 2016  
City Council Meeting (tentative), Monday, October 3, 2016

Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road and begin at 7:00 p.m. The public is welcome and invited to attend the above noted meetings and an opportunity will be provided for you to make comments on the proposed request.

### **Staff Contact:**

Comments and questions about this application may be directed to:

Clayton Ender, Planner  
City of Johnston  
6221 Merle Hay Road, PO Box 410  
Johnston, IA 50131  
Phone: (515) 727-7763  
Email: [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com)

### **Attachments:**

Aerial Vicinity Map  
Site Plans



**PLANNING & ZONING COMMISSION**

City of Johnston  
 6221 Merle Hay Road, Johnston, IA 50131

Minutes  
 Regular Meeting: Monday, August 29, 2016

**AGENDA**

**1. Call to Order**

Chairman Petersma called the meeting to order at 7:00 p.m.

**2. Roll Call**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Present</b>	X	X	X	X	X	X	X
<b>Absent</b>							

**City Staff Present:** David Wilwerding, Aaron Wolfe, Rebekah Davis

**3. Approval of Agenda**

Petersma called for a vote to approve the agenda.

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X	X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**4. Approval of Meeting Minutes:** Regular Meeting of August 29, 2016.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X	X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**5. PZ Case No. 16-27; Site Plans for 8601 Thomas Avenue:** The applicant, 814 Development, LLC has submitted site plans for the development of a 11,992 square foot child care facility with 17,241 square feet of outdoor playground area and a future 2,500 square foot retail building. The property is located on the northwest corner of Thomas Avenue and NW 86th Street. The site is zoned PUD in the Windsor Office Park PUD.

Wolfe presented the staff report.

Severino inquired about the potential uses for the smaller 2,500 s.f. structure. Wolfe responded that the PUD permits professional commerce park district uses; which allow community retail

commercial uses. Wilwerding explained the building could have a retail use; there is enough parking for a small restaurant use.

Johnson questioned if there is a proposed use for the smaller structure. Wolfe stated that staff had not been informed of a proposed use for the additional building. If there is a proposed use for the building, staff recommends that the applicant provide that information so staff can consider if there would be any supplementary site requirements.

Petersma inquired if the smaller building could provide added capacity for more children and if this would be the use for the building would there be additional site requirements. Wolfe affirmed that the supplementary building could provide added capacity. Wilwerding noted the staff report outlined that the primary structure will have enough parking to accommodate 240 children; the applicant is anticipating 100 children. Petersma questioned if they had the maximum occupancy, would the parking conditions still be acceptable. Wilwerding stated if added capacity would be the use for the supplementary building they would want to verify that the site requirements were met prior to issuance of the permit.

Severino asked if the parking spaces would be shared with the adjacent property to the west. Wolfe stated that the parking lots will not be connected; he believes that the separate parking lots are advantageous for public safety because there will not be traffic passing thru the adjoining parking lots.

Johnson inquired if additional parking stalls were required, could the parking lot be expanded to the southwest corner of the subject property. Wolfe explained that parking stalls could be added up to 5 feet to the property line. They have more than the required amount of open space therefore, adding parking stalls would not impede on this requirement.

Petersma noted northeast of the subject property, the site plan illustrates an absent sidewalk identified as "sidewalk by others". He inquired as to how the sidewalk would be completed in conjunction with the proposed site. Wolfe stated that Ender has been in contact with the adjacent property owner to stress the importance of connecting their sidewalk to that of the proposed site. There is approximately 30 feet of sidewalk that needs to be completed. Wilwerding explained that the adjacent property owner has been cooperative with their request to complete his portion of the sidewalk. When the site plan for the northern adjacent property was proposed it did not depict the sidewalk therefore, the sidewalk was constructed on private property and not extended to the property line. An easement has been granted to complete the sidewalk on private property.

Bart Turk, Civil Engineering Consultants, Inc., stated on behalf of the applicant, that their hours of operation are from 6 a.m. to 6 p.m. Monday thru Friday. They do not require a loading zone because all of their deliveries are completed with a small van. Outside play is typically one or two classrooms at a time; never the entire building at once. There is a need in the community for before and after school care; they have a small 14 passenger bus for busing children. There will be not large summer parties or graduation parties that will cause any parking problems. Each class will have their own small graduation ceremony. Daily each parent has to park and walk their child into the facility. There will be no curbside drop-offs which alleviates concerns regarding traffic stacking. Peak drop-off and pick-up hours are from 6:00 a.m. to 9:30 a.m. and from 3:00 p.m. to 6:00 p.m. They do not have a set start time. Their food program is precooked heat and serve style so, there will not be any grease generated from this method. The dumpster service is typically once a week but may be twice a week.

Motion by Johnson, second by Anderson to approve PZ Case No. 16-27; Site Plans for 8601 Thomas Avenue with the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.

2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
4. Architectural elevations for the 2,500 square foot retail building shall be submitted for review by the Planning and Zoning Commission and City Council prior to issuance of a building permit for the 2,500 square foot retail building.
5. Council acceptance of placement of the required north buffer landscaping within 50 feet of the north property boundary instead of within the 30 foot buffer easement along the north property boundary.
6. No exterior site lighting may be installed unless and until all photometric plans have been revised, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
7. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Update the engineer seal and landscape architect seal on the cover sheet to cover all pages of the site plan.
  - b. Update the sheet list table on the cover sheet and the sheet numbers on the bottom right of the site plans to identify all sheets of the site plans.
  - c. Update the open space planting schedule and the landscaping plan drawing to reflect the location, size, and species of the 15 open space trees which are required.
  - d. Update the landscaping plan to either remove the 6 PA from the buffer planting schedule or identify their location on the landscaping plan drawing.
  - e. Update the landscaping plan's buffer planting schedule and the landscaping plan drawing to either identify only 10 CD or identify the location of all 12 CD currently listed in the planting schedule.
  - f. Update the site plans to show that 90° parking spaces will be at minimum 9 feet wide by 18 feet long, this includes handicap parking spaces. Length may be reduced to 16 feet if front end overhang over an open space is available.
  - g. Update the site plans to identify that parking required for retail establishments greater than 2,000 square feet is 1 parking space for every 175 gross floor area.
  - h. Provide a detail drawing of the trash enclosure to insure adequate screening from public right-of-way is achieved.
  - i. Identify the size and location of the private storm sewer proposed from the west adjacent property to connect the west adjacent property's detention basin to the overland flowage easement.
  - j. Show on the site plans the private 30 foot storm sewer easement which is proposed by the west adjacent property on the northwest corner of the rainbow rascal property, grant said private 30 foot storm sewer easement for the benefit of the west adjacent property, and provide evidence that said private 30 foot storm sewer easement has been recorded with the Polk County Recorder's office.
  - k. A public access & sidewalk easement shall be identified on the site plans for any portion of the sidewalk not within public right-of-way, said public access & sidewalk easement shall be accepted by the City Council, and said public access & sidewalk easement shall be recorded with the Polk County Recorder's office.
8. Address Foth's review letter dated September 22, 2016.

**Roll Call Vote:**

	<b>Spencer</b>	<b>Severino</b>	<b>Johnson</b>	<b>Smith</b>	<b>Pavlovec</b>	<b>Petersma</b>	<b>Anderson</b>
<b>Aye</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>

<b>Nay</b>							
<b>Abstain</b>							

**6. PZ Case No. 16-29; Site Plans for 8711 Thomas Avenue:** The applicant, Elsie John Properties, LLC has submitted site plans for the development of a 12,162 square foot dance studio. The property is located at 8711 Thomas Avenue in the Windsor Office Park.

Wolfe presented the staff report.

Severino inquired if there is enough open space on the property for more parking if it is needed. Wolfe stated that a fair amount of the site is occupied by the detention basin. Chuck Bishop, Bishop Engineering, 3501 104th St, Urbandale, Iowa, stated that he believes this property has a unique use that is not addressed in the City's parking requirements. Bishop explained the parking formula: 1 space for every 3 occupants, plus 1 stall per employee, this totals 52 required parking stalls. There will be 139 occupants, who will likely not be on site at the same time. There may be some overlap in occupants due to the different class times. They calculated the parking based on all the occupants being present at the same time. If required, they could expand the parking lot the north cutting into detention pond; this would require that they construct a retaining wall.

Petersma inquired if classes typically began after school. Sabetha Mumm, the applicant, stated that her business is currently located at 5860 Merle Hay Rd, Johnston, Iowa; occupying two building their students have to walk through the parking lot to attend their classes. They have proposed to build a larger facility which will meet all their needs in one building. Typically, class schedules are staggered every 15 minutes; this method should relieve some of the traffic concerns. Typically their operating hours are from 4 p.m. to 10 p.m. Monday thru Friday. On occasion they may have dance rehearsals on the weekend.

Johnson inquired regarding the use of the overhead door on the eastside of the building. The applicant stated that the overdoor is for props that are currently housed in off-site facilities. The overhead door opens into the storage room. Johnson inquired if any parking spaces would be occupied by a van or a trailer. The applicant stated that they do have one prop trailer that will likely occupy the northeast parking stall.

Petersma stated that there is not a proper category for the parking requirements of a dance studio. Frequently, there will be an overlap in individuals from different classes occupying the parking spaces. Wolfe stated that the parking requirements of a dance studio are likened to sites with a similar use, like that of trade schools and centers for learning; which have various start times for classes and may also experience an overlap in occupants. Petersma believes that there should be better categorization of parking requirements for similar sites with periodic large turnover and periods of lull. Wolfe stated that there have been discussions regarding improving the parking ordinance and believes that this subject will be addressed in the future.

Severino inquired if the applicant has spoken with the adjacent property owner to the east regarding using their lot for overflow parking. The applicant stated that she has not had discussions with the adjacent property owner. Severino noted that both adjacent sites will have similar peak hours in the evenings and it is the commission's primary concern is to ensure that everyone is safe during the peak traffic times. The applicant believes that having her own access point from the street and not sharing a lot with the adjacent property owner should relieve the concerns of both sites sharing traffic.

Anderson stated that she believes that the dance studio is a great project. Petersma inquired as to the estimated time of construction. The applicant stated, with a 6 month timeline they are seeking to be in the building before the start of the fall classes in 2017.

Johnson inquired about the parking circulation of the parking lot and does not believe that the proposed layout facilitate a quick turnover in traffic. Bishop stated that the parking areas to the north are likely for the staff. Although the parking spaces to the northeast are dead end spaces, attempting to bring the east drive north would cause them to lose 6 parking spaces. Wolfe clarified that an access aisle needs to be 24 feet wide, requiring 6 parking spaces. Johnson believes that if there is a front and back parking space available in the center aisle north of the east access, someone will cut-through rather than the drive around the aisle to park. Bishop stated that many parents, depending on the age of the child, will likely pull-in, drop their child off at the front door and exit.

Johnson inquired as to how many staff members would be there at one time. The applicant stated at this time there would be 5.

Johnson asked for more description on the semi-concealed fastener on the exterior metal panels. Kevin Barber, Shiffler and Associates Architects, 1440 Locust St #100, Des Moines, Iowa, stated that the semi-concealed is a corrugated metal panel is set on the recessed side and the screws are concealed inside a "shadow line". Johnson commented although staff has stated that the panels meet the city's architectural requirements; the architectural metal panels are a pole barn pattern of material. Wolfe stated that a definition for architectural steel should be specified in our ordinance.

Motion by Smith, second by Spencer to approve PZ Case No. 16-29; Site Plans for 8711 Thomas Avenue subject to the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
4. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
5. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Address items 1-15 of the review letter provided by consulting engineer Foth Infrastructure and Environment dated September 22, 2016.
  - b. A recorded easement is necessary to install approximately 36' of storm sewer pipe and an outlet structure on the east-adjacent property.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X	X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**7. Other Business**

Presentation and Discussion of the "Recreation Amenities for Apartment and Townhouse Developments" report as prepared by the Neighborhood Development Corporation.

Wilwerding presented the Neighborhood Development Corporation report.

Johnson asked if the dedicated amenity area would be included in the open space requirement and if walking trails could be recommended as a recreational amenity. Wilwerding responded that the recreational amenities would be a dedicated area included in the open space requirement.

Spencer inquired if any amenities would be recommended or required. Wilwerding stated that it is suggested to have playground and in larger complexes a sports lot.

Johnson inquired as to how the minimum 30 bedroom threshold was determined. Wilwerding stated that the requirement would be illogical for a single building compared to a complex. The 30 bedroom threshold was a starting point. Johnson believes that 30 bedrooms is a high.

Severino inquired if there was a maximum height requirement for multifamily buildings. Wilwerding responded that generally 50 feet is the maximum height allowable in a R-3 zoning district. Severino is concerned that developers would consider adding levels to their buildings to compensate for the loss in area to required recreational amenities. Wilwerding added that the normal cap is 16 units per acre. At that density, the 75 s.f. per bedroom fits on the site. He evaluated these requirements against 62W, which is 26.5 units per acre, against the proposed amenity requirements and they exceeded the minimum; the building is shaped like an "E" with 2 courtyards containing a pool and a lawn with park benches shade structures and grills. They do not have a playground but they would still exceed the recreational amenities requirement. The underground parking facilitates the open space and amenities. Anderson noted that 62W is on 62<sup>nd</sup> Ave near the school where there is a playground and that it would be reasonable to consider the distance of multifamily complexes to existing schools and parks.

Severino stated that recommending a playground is an admirable idea however, it would not occupy the youth creating the majority of the problems. He would not like the amenity requirement to overlook the age group that needs amenities to reduce the number of instances. He suggests an amenity recommendation tailored to teenagers and young adults would better address the target demographic.

Anderson inquired if clubhouse amenities, such as a climbing wall or an indoor basketball court would meet the recreational amenities requirement. Wilwerding stated that the report is not specific to clubhouse amenities however; the motivation of the requirement is to create a space where people can congregate and engage in constructive activities.

Petersma suggested that the sports court be the initial requirement then increase to requiring a playground for larger complexes. There should be a trade-off between the parkland dedication requirements and that of recreational amenities. Wilwerding stated that it has been discussed whether or not the recreational amenities requirement superseded the parkland dedication requirement. The thought is that the recreational amenities would be in addition to the parkland dedication requirements however, there is some thought that if they are putting in these amenities there should be some trade-off given on the parkland requirement. The parkland dedication requirement tends to be lower for apartment complexes because there are less people per unit.

Petersma stated that it would be reasonable if the developer is permitted to intrude upon the open space requirement with the recreational amenities and not be penalized.

Johnson noted that the parkland dedication figure is unbiased between single family residences and multifamily residences. Wilwerding explained that the figure is 5 acres of parkland per 1,000 residents. Wolfe added the discrepancy is in the number of persons per unit. Wilwerding clarified that in a multifamily the figure is 1.6 and in a single family dwelling

the figure is 2.98 people per unit. Johnson noted that in a single family the children can play in the backyard however, that is not the case in a multifamily; this is not an equitable formula.

Severino stated that park space is setup for the community's use where as the recreational amenities requirement is specifically for the residents of the complex. A balance needs to be created because the recreational amenities for the complex are not for the community. Wilwerding agreed.

Severino stated that he believes that it is a good idea. Petersma agrees if Council would like to explore and if it's cost effective. Spencer thinks it's a good plan to keep the youth occupied. Petersma stated that the recreational amenities requirement should be effective in addressing the goal of lowering the number of incidents among the youth in multifamily dwellings.

Anderson stated that it would be interesting to report the count of incidents by season and by month; in the Midwest there are significant months out of the year where it is difficult to get outside. Petersma added that he would like to see the report address Midwestern models of recreational amenities. Wilwerding stated that he does not believe that there are any examples of a Midwestern recreational amenities model.

Pavlovec would like to see clubhouse amenities addressed in the report because many of the recommendations would not be practical in the winter months.

Johnson stated as an example, that the teenage residents of 62W may appreciate a skateboarding in the far wing of the parking. Anderson added that interesting and artistic walk ways that direct you to the various green spaces could be included in the recommended amenities. Wilwerding noted that one of the projects on the west side created a map distributed by the management that depicting the resident's location to trails and parks in the area.

Anderson inquired if a public hearing would be the next step. Wilwerding affirmed and clarified that they would like to get further with the development process and create the framework of an ordinance. Petersma suggested that the public hearings include multifamily residents or be held at multifamily complexes. Wilwerding noted that the police department has established good working relationships with the management staff at multifamily complexes to facilitate such open communication.

## **8. Adjournment**

Meeting adjourned at 8:04 PM.

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**Chair**

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**Secretary**

Client:  
Rainbow Child Care Center  
1732 Crooks Rd  
Troy, MI 48064

Project:  
Rainbow Child Care Center  
New Construction  
NWC of NW 68 St & Thomas  
Johnston, IA

Issued:  
8.30.16 SPA Submittal

Seal:

Note:  
Do not scale drawings. Use  
calculated dimensions only.  
Verify existing conditions in field.

North Arrow:

Sheet Title:  
Exterior Elevations

Scale:

Project Number:  
16-136

Sheet Number:

A.201



Rear Elevation Material Calculations:  
Total Porcelain = 200 sq. ft.  
Total Brick/Stone = 147 sq. ft. (147 sq. ft. @ 16.5 sq. ft./unit = 8.91 units)  
Total Siding = 160 sq. ft.  
Total Trim/Detail = 134 sq. ft.  
Total = 541 sq. ft. @ 1.17 sq. ft./unit = 462 units

Rear Elevation  
Scale: 3/16" = 1'-0"



Right Elevation Material Calculations:  
Total Porcelain = 1,332 sq. ft.  
Total Brick/Stone = 301 sq. ft. (301 sq. ft. @ 16.5 sq. ft./unit = 18.25 units)  
Total Siding = 1,207 sq. ft.  
Total Trim/Detail = 281 sq. ft.  
Total = 2,921 sq. ft. @ 1.17 sq. ft./unit = 2,500 units

Right Elevation  
Scale: 3/16" = 1'-0"

SYMBOL	ITEM	MANUFACTURER	MODEL	COLOR / FINISH	NOTES
M-1	BRICK	BRAMPTON BRICK	CROSSROADS SERIES	COLOR - JASPER	IF BRICK IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE
M-2	ASPHALT SHINGLES	GAF ROOFING	TIMBERLINE HD - LIFETIME SHINGLES	COLOR - WEATHERED WOOD	-
M-3	BREAK METAL TRIM	QUALITY EDGE	TRULINE EMBOSSED TRIM COIL	COLOR - B07 (CLAY)	-
M-4	VINYL SIDING	GEORGIA PACIFIC	FOREST EDGE DOUBLE 5' SIDING	MSI	-
M-5	STONE VENER	-	-	-	VER. W/ OWNER FOR MANUFACTURER, MODEL, AND COLOR
M-6	PRE-FIN ALUMINUM GUTTER	MASTIC HOME EXTERIORS	6" GUTTER COIL - 27 GAUGE	COLOR - ROYAL BROWN (VERIFY W/OWNER)	-
M-7	SELS	T.S.D.	LIMESTONE	VARIEGATED	-
M-8	CEDAR TRIM BOARD	-	CEDAR	NATURAL & SEALED	-
M-9	SPLITFACE C.M.U.	MICHIGAN CERTIFIED CONCRETE	SPLIT FACED	VAOLS	IF BLOCK IS NOT READILY AVAILABLE PROVIDE OPTIONS FOR OWNER TO APPROVE

Keyed Elevation Notes:

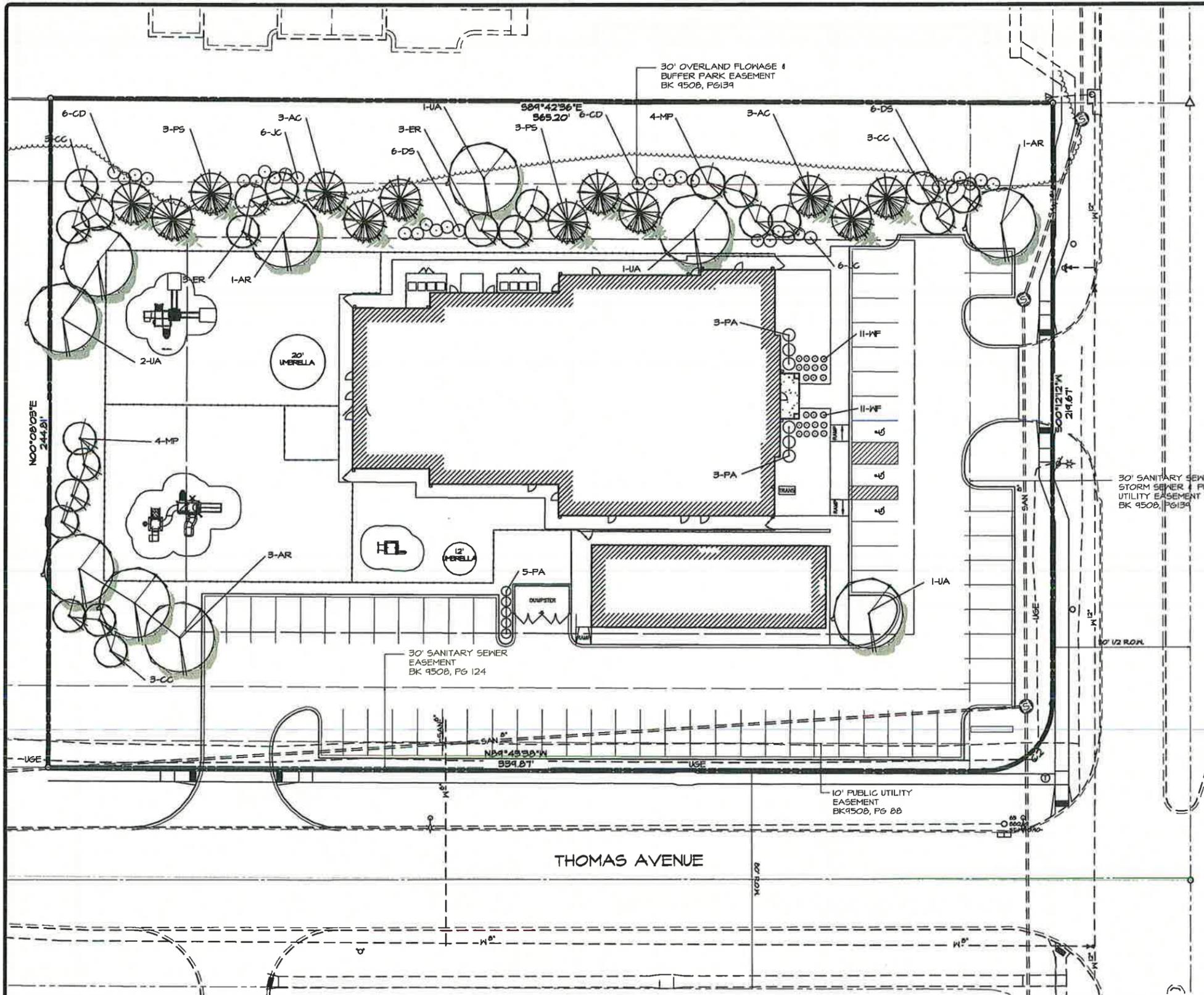
1. TYPICAL LEAVE - SEE DETAIL FOR MORE INFORMATION
2. BRICK SOLDER COURSE (TYP.)
3. SILL SLOPED TO ALLOW WATER RUNOFF WITH DRIP EDGE
4. 1X2 TRIM BRD. ON 1X6 RAKE BRD. ON 1X6 SUB-RAKE BRD. WITH PRE-FINISHED ALUMINUM WRAP
5. 1/2" AETER PANEL (PAINT)
6. PRE-FINISHED ALUMINUM GUTTER AND DOWNSPOUT - VERIFY CONNECTION DETAIL AND LOCATION WITH CIVIL ENGINEER
7. PROVIDE LOUVERED DORMERS FOR MECHANICAL INTAKE (VER. W/ MECH. DRAWINGS)
8. LINE OF DRAFT STOPPING
9. LINE OF BUILDING BEYOND
10. CONDENSING UNIT. SEE MECH. DRAWINGS FOR EXACT LOCATIONS
11. 60MIL EPDM ROOF FULLY ADHERED

General Elevation Notes:

1. ALL TRIM BOARDS (I.D.O.) WILL BE CLAD IN PRE-FIN. ALUM. - DETERMINE GAUGE PER RAINBOW CHILD CARE CENTER SPECS.
2. EXTERIOR BRICK IS TO BE STANDARD SEE - COURSE OUT QUORN CORNERS
3. EXTERIOR WINDOWS ARE JELDWEN THEY ARE OPERABLE AND HAVE SCREENS. SCREENS ARE TO BE 16 MESH OR BETTER.
4. DO NOT SCALE HATCHING. REFER TO BUILDING SECTIONS & WALL SECTIONS FOR PROPER CONSTRUCTION METHODS A\_300 - A\_305
5. SIGNAGE TO BE INSTALLED BY G.C. AS DIRECTED BY OWNER







**PLANTING SCHEDULE**

BUFFER	OPEN SPACE	PLANT SPECIES	SIZE	QUANTITY	NOTES
AR	2	Acer rubrum Red Maple	2 1/2" Cal.	B4B	See Plan
UA	2	Ulmus americana American Elm	2 1/2" Cal.	B4B	See Plan
CC	6	Crotaegus crugellii 'cockspur' Thornless Hawthorn	2" Cal.	Cont.	See Plan
ER	6	Cercis canadensis Eastern Redbud	10" HT.	Cont.	Multi-trunk
MP	4	Malus species Prairie Fire Crabapple	2" Cal.	Cont.	See Plan
PS	6	Pinus strobus White Pine	6'-8" Ht.	T5/B4B	See Plan
AC	6	Abies concolor White Fir	6'-8" Ht.	T5/B4B	See Plan
JC	12	Juniperus chinensis Sea Green Juniper	#3	Cont.	See Plan
CD	12	Corypters divaricata 'Snow Fairy' Variegated Blue Mist Spirea	#2	Cont.	See Plan
MF	22	Heigala 'Tara' Variegated Mj Monet Malva	#2	Cont.	See Plan
DS	12	Diervilla sessilifolia Cool Splash Honeyuckle	#2	Cont.	See Plan
PA	6	Prunella coccinea Birds Nest Spruce	#2	Cont.	See Plan

NW 86TH STREET

THOMAS AVENUE



Civil Engineering Consultants, Inc.  
2400 86th Street, Unit 12, Des Moines, Iowa 50322  
515.276.4884 Fax: 515.276.7084 mail@cecclac.com

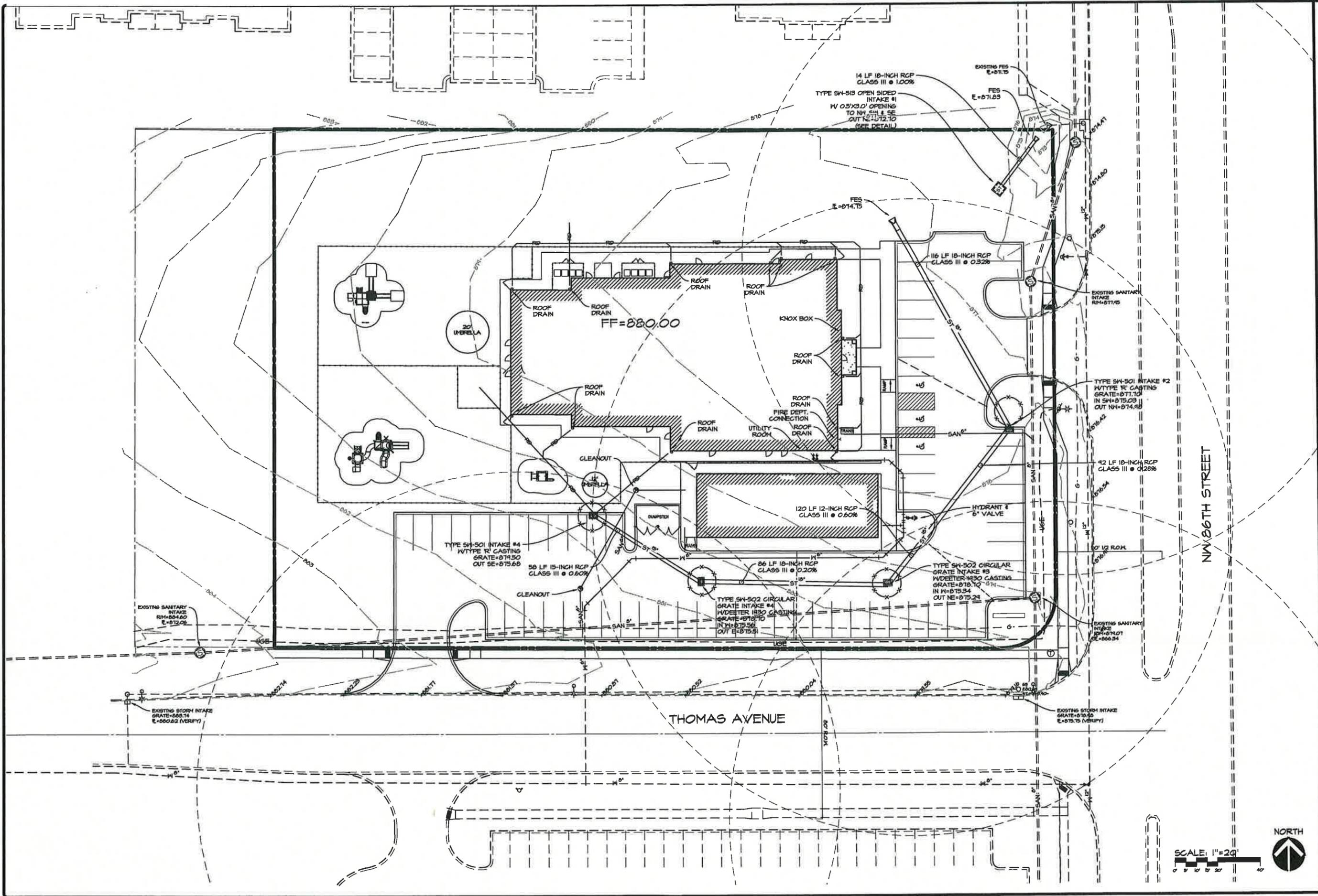
**CEC**

DATE	REVISED	COMMENTS
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DATE OF SURVEY: ARP & P.S.  
DESIGNED BY: JAS  
DRAWN BY: JAS

**RAINBOW RASCALS**  
JOHNSTON, IOWA  
LANDSCAPE PLAN

A-1011

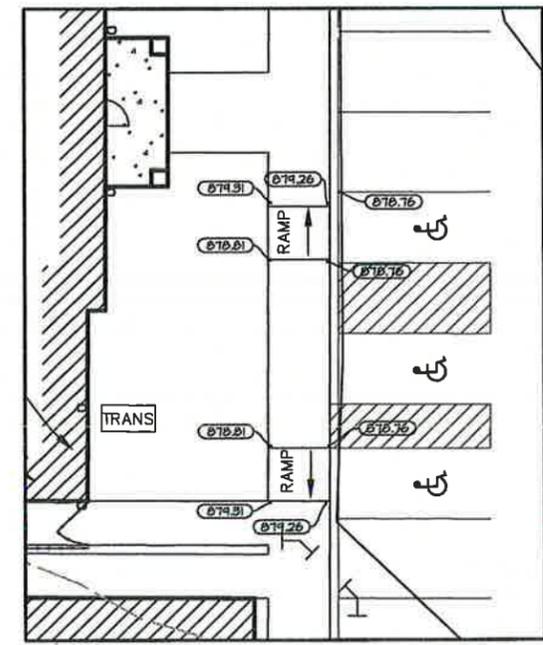
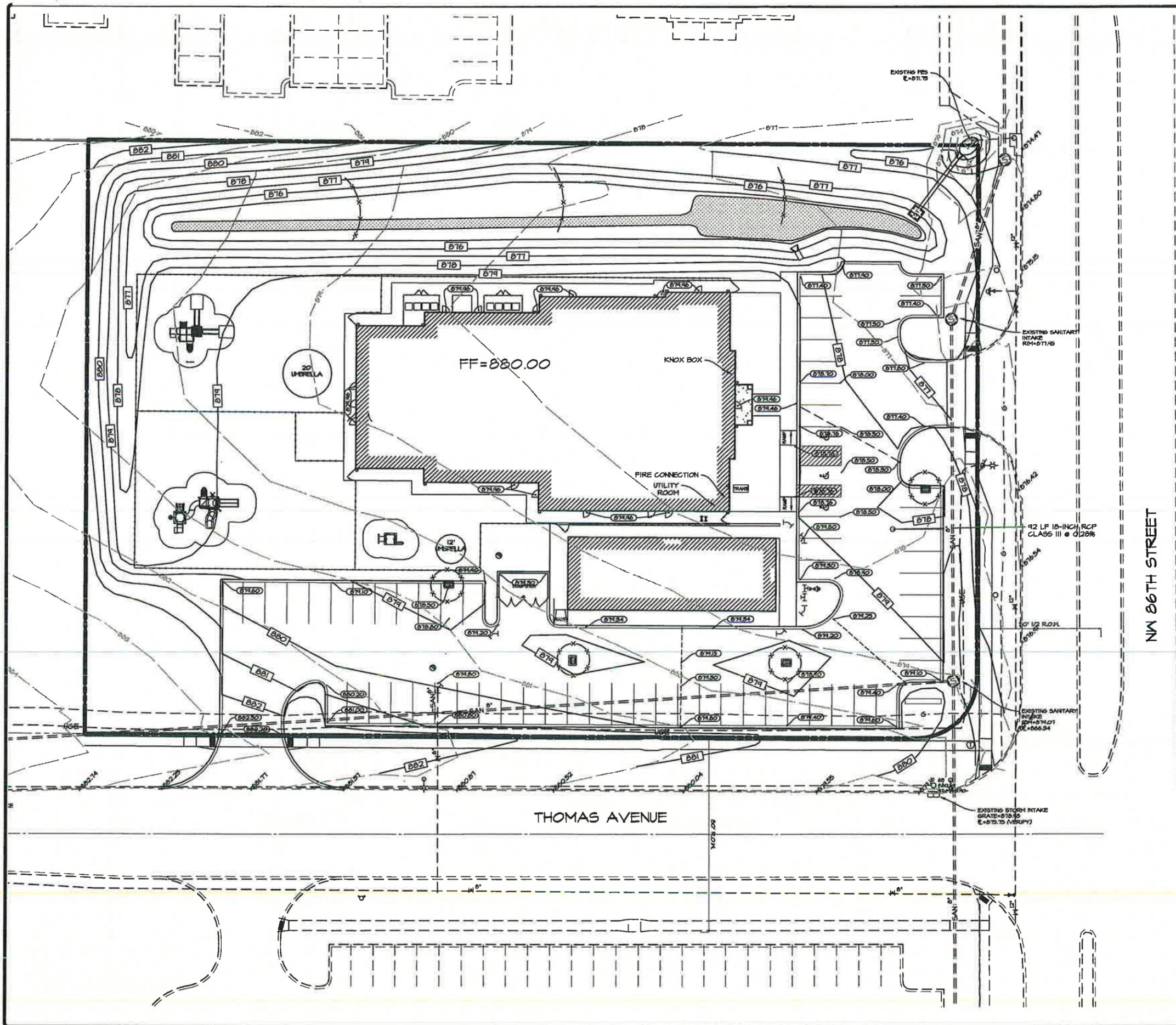


DATE:	CR-14-16	REVISIONS	COMMENTS
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DATE OF SURVEY: ARP & PLS  
 DESIGNED BY: ARP & PLS  
 DRAWN BY: JAG

RAINBOW RASCALS  
 JOHNSTON, IOWA  
 UTILITY PLAN





HC RAMP DETAIL  
SCALE 1"=10'

NW 86TH STREET

THOMAS AVENUE



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2400 86th Street, Unit 12 - Des Moines, Iowa 50322  
515.276.4884 - Fax: 515.276.7084 - mail@cecinc.com

**CEC**

DATE	BY	REVISIONS	COMMENTS
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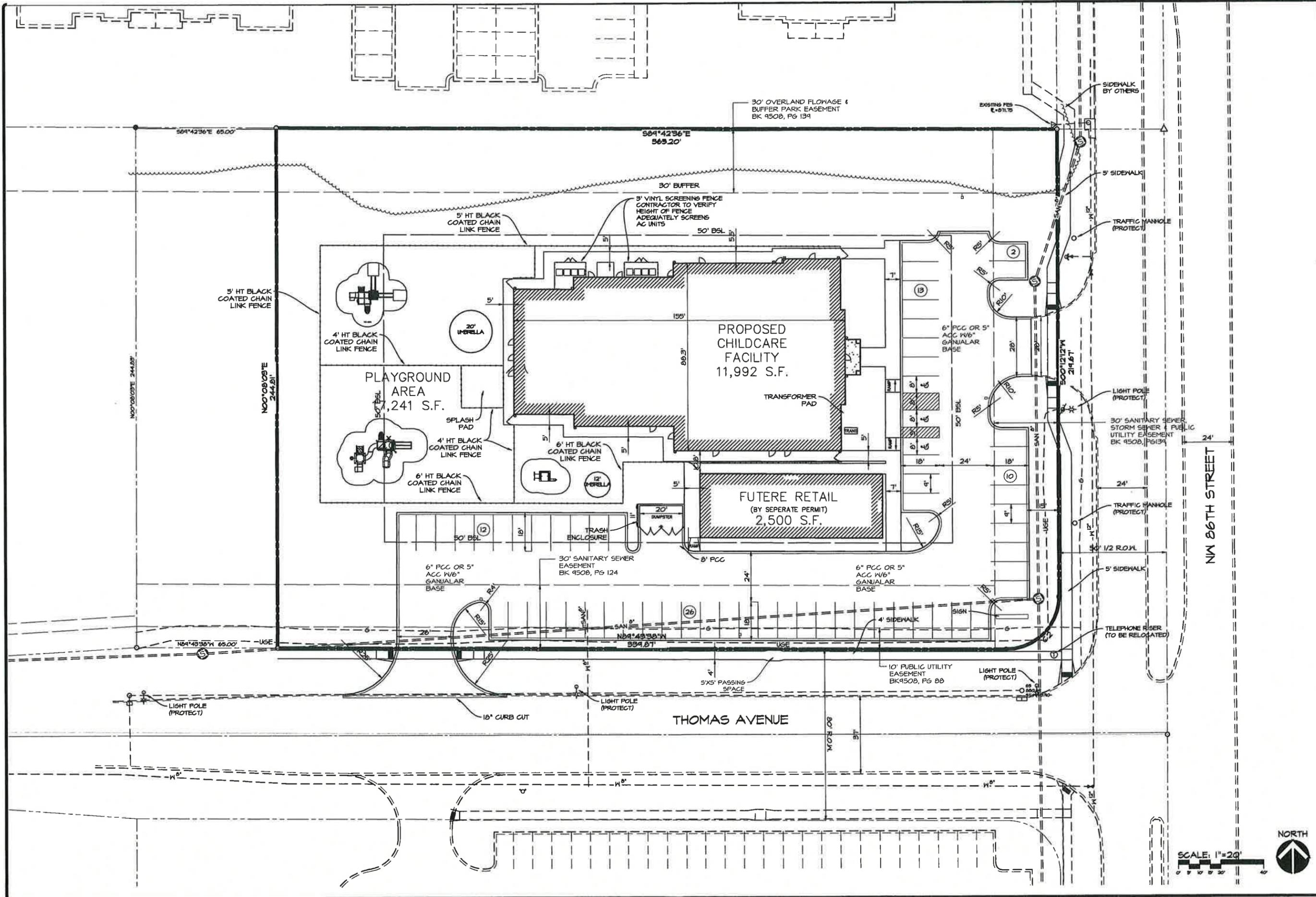
DATE OF SURVEY: \_\_\_\_\_  
DESIGNED BY: ARP & PJS  
DRAWN BY: JAS

**RAINBOW RASCALS**  
JOHNSTON, IOWA

**GRADING PLAN**

SHEET  
9 of 5

A-1811



SCALE: 1"=20'



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DATE	CR-14-16	REVISIONS	COMMENTS
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DATE OF SURVEY: \_\_\_\_\_  
 DESIGNED BY: ARP & PLS  
 DRAWN BY: JAG

RAINBOW RASCALS  
 JOHNSTON, IOWA  
 DIMENSION PLAN

SHEET  
 2  
 9 of 5  
 A-1011

# RAINBOW RASCALS

## SITE PLAN OF JOHNSTON, IOWA



VICINITY SKETCH



**OWNER**  
WINDSOR OFFICE PARK LLC  
301 INDEPENDENCE AVE  
DES MOINES, IA 50312

**DEVELOPER**  
RAINBOW RASCALS IA-  
JOHNSTON LLC  
1732 CROOKS ROAD  
TROT, MICHIGAN 48064  
(248-519-9148)

**ZONING**  
P.U.D. - PLANNED UNIT DEVELOPMENT  
ORDINANCE #124 APPROVED OCTOBER 3, 2005

**PARKING**  
REQUIRED: 1 SPACE PER 5 CHILDREN  
5/1000 SF RETAIL

PROVIDED: 62 SPACES

SITE AREAS	AREA	PERCENT
BUILDING	14,442 SF	16%
PAVING	29,336 SF	26%
OPEN SPACE	51,823 SF	50%
TOTAL AREA	95,601 SF	100%

**OPEN SPACE**  
REQUIRED = 26,764 SF. (30.0%)  
PROVIDED = 51,823 SF. (50.0%)

**IMPERVIOUS AREA**  
TOTAL IMPERVIOUS SURFACE  
= 49,300 SF

**SETBACKS**  
FRONT YARD = 50'  
REAR YARD = 50'  
SIDE YARD = 20'

**LANDSCAPING REQUIREMENTS**  
REQUIRED: PER 1500 SF OF OPEN SPACE  
0.4/212 SF - 10/156 (BUFFER) X 30% = 23/411 SF/1500 = 15 UNITS  
1 TREES X 15 = 15 TREES  
PER 1000 SF OF OPEN SPACE  
0.4/212 SF - 10/156 (BUFFER) X 30% = 23/411 SF/1000 = 23 UNITS  
1 SHRUB X 23 = 23 SHRUBS

**BUFFER REQUIREMENTS**  
REQUIRED: PER 100 LF  
3 EVERGREEN, 1 OVERSTORY, 4 UNDERSTORY & 8 SHRUBS  
365/100 = 4 REQUIRED  
12 EVERGREEN  
4 OVERSTORY  
16 UNDERSTORY  
32 SHRUBS

**Sheet List Table**

Sheet Number	Sheet Title
1	COVER
2	DIMENSION PLAN
3	GRADING & UTILITY PLAN
4	LANDSCAPE PLAN
5	DETAILS

**NOTES**

- ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
  - CITY OF JOHNSTON ENGINEER
  - RAINBOW RASCALS
  - CIVIL ENGINEERING CONSULTANTS, INC.
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2014 SUDAS AND CITY OF JOHNSTON SUPPLEMENTAL SPECIFICATIONS.
- PROVIDE 2" CONCRETE BOXOUT AROUND ALL INTAKES AND MANHOLES WITHIN PAVED AREAS.
- ALL DEBRIS SPILLED ON CITY ROAD AND ADJOINING PROPERTY SHALL BE REMOVED BY OWNER/CONTRACTOR IN TIMELY FASHION.
- CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE. EDGES SHALL BE ROUNDED BUT NOT ROLLED.
- THIS SITE IS NOT WITHIN THE 100 YEAR FLOOD PLAIN, REFER TO FEMA COMMUNITY PANEL NO. ZONE 'X', COMMUNITY PANEL NO 190745 0005D JULY 14, 2000.

**PLANTING NOTES**

- ALL SITE WORK, SODDING AND LANDSCAPING SHALL MEET THE REQUIREMENTS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS).
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z601-2004)
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- THE CONTRACTOR SHALL REMOVE THE TREE STAKES ONE YEAR AFTER INSTALLATION.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL TREES, SHRUBS, BEDS & GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3" SHREDDED BARK MULCH.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER OF THE UTILITY.
- ONE WEEK PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL STAKE LOCATION OF PLANTS FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE DIGGING HOLES.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, MUST BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- CONTACT MUNICIPAL ARBORIST PRIOR TO REMOVAL AND PLANTING OF ALL STREET TREES AT 515-208-0623
- NO STAKING OF STREET TREES IS ALLOWED IN THE R.O.M.
- REMOVE ALL WIRE, THINE AND BURLAP FROM THE ROOTBALLS OF STREET TREES.
- TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY DPS. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS, AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF GIBBERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER
- ALL DISTURBED AREAS SHALL BE SEEDED OR SOODED.

**LEGAL DESCRIPTION**

LOT 3, EXCEPT THE WEST 65.00 FEET, WINDSOR OFFICE PARK FLAT 1, AN OFFICIAL PLAT RECORDED IN BOOK 4508, PAGE 80 AT THE POLK COUNTY RECORDER'S OFFICE, CITY OF JOHNSTON, POLK COUNTY, IOWA.

**GRADING NOTES**

- STRIP A MINIMUM OF 6" OF TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT, INCLUDING WASTE AND/OR BORROW AREAS. ADDITIONAL STRIPPING MAY BE REQUIRED TO ADEQUATELY REMOVE THE ORGANICS AND SOFT SEDIMENTS.
- ALL AREAS WHICH ARE TO RECEIVE EMBANKMENT SHALL HAVE THE TOP 12-INCHES DISCED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED.
- ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF FURNING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL MATERIAL.
- ALL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95.0% OF STANDARD PROCTOR DENSITY WITH MOISTURE LIMITS SET FORTH IN THE SOILS REPORT.
- MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
- GRADING CONTRACTOR SHALL STOCKPILE TOP SOIL FOR SHOULDERING & SEED/500 BEDS.
- FINISHED GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FOOT OF PLAN GRADE. PAVED AREAS SHALL BE WITHIN 0.10 FOOT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.
- TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6-INCHES ON ALL LANDSCAPED AREAS AND 8-INCHES INSIDE RIGHT OF WAY.
- BACKFILL TO THE TOP OF ALL CURBS.
- ALL ELEVATIONS ARE TO THE GUTTER GRADE UNLESS NOTED OTHERWISE.
- FILTER SOCK SHALL BE INSTALLED AROUND INTAKES AND SHALL REMAIN UNTIL PAVING IS IN PLACE AND GROUND COVER IS ESTABLISHED.
- COVER AND/OR FILTER SOCK AROUND ALL INTAKES PRIOR TO PAVING TO PREVENT SEDIMENTATION FROM ENTERING THE STORM SEWER.
- ALL EXISTING TILE LINES ENCOUNTERED SHALL BE RESTORED OR ROUTED TO A STORM SEWER WHETHER ACTIVE OR NOT.
- ALL DEBRIS SPILLED ON CITY ROAD AND ADJOINING PROPERTY SHALL BE REMOVED BY OWNER/CONTRACTOR IN A TIMELY FASHION.
- REFER TO THE CUSTOM SOIL RESOURCE REPORT FOR POLK COUNTY, IOWA RAINBOW RASCALS BY THE COOPERATIVE SOIL SURVEY.

**UTILITY NOTES**

- ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SUDAS, STATEWIDE URBAN DESIGN AND SPECIFICATIONS, 2014 VERSION AND THE CITY OF JOHNSTON SUPPLEMENTAL SPECIFICATIONS
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.
- ALL EXISTING TILE LINES ENCOUNTERED SHALL BE RESTORED OR ROUTED TO A STORM SEWER WHETHER ACTIVE OR NOT.
- ALL STORM SEWER SHALL BE CONSTRUCTED WITH A PLUMBING PERMIT.
- A FIRE ALARM WILL BE REQUIRED FOR THE DAYCARE BUILDING.

**GENERAL LEGEND**

<p>--- PLAT BOUNDARY</p> <p>--- SECTION LINE</p> <p>--- LOT LINE</p> <p>--- CENTERLINE</p> <p>--- EASEMENT LINE</p> <p>FLARED END SECTION</p> <p>DRAIN BASIN OR SEDIMENT RISER</p> <p>DRAIN BASIN WITH SOLID GRATE</p> <p>WATER VALVE</p> <p>FIRE HYDRANT ASSEMBLY</p> <p>BLOW-OFF HYDRANT</p> <p>SCOUR STOP MAT</p> <p>TURF REINFORCEMENT MAT</p> <p>ST" WATER SEWER WITH SIZE</p> <p>W" WATER SEWER WITH SIZE</p> <p>W" WATER SERVICE</p> <p>PROPOSED CONTOUR</p> <p>SILT FENCE</p> <p>1234 ADDRESS</p> <p>RIPRAP</p>	<p>--- LOT LINE</p> <p>o SANITARY/STORM MANHOLE</p> <p>d WATER VALVE</p> <p>d FIRE HYDRANT</p> <p>o STORM SEWER SINGLE INTAKE</p> <p>o STORM SEWER DOUBLE INTAKE</p> <p>o STORM SEWER ROUND INTAKE</p> <p>FLARED END SECTION</p> <p>DECIDUOUS TREE</p> <p>CONIFEROUS TREE</p> <p>SHRUB</p> <p>POWER POLE</p> <p>STREET LIGHT</p> <p>GUY ANCHOR</p> <p>ELECTRIC TRANSFORMER</p> <p>GAS METER</p> <p>TELEPHONE RISER</p> <p>SIGN</p> <p>- CATV - UNDERGROUND TELEVISION</p> <p>- UGE - UNDERGROUND ELECTRIC</p> <p>- UGF - UNDERGROUND GAS</p> <p>- UGFO - UNDERGROUND FIBER OPTIC</p> <p>- UGT - UNDERGROUND TELEPHONE</p> <p>- OHE - OVERHEAD ELECTRIC</p> <p>- SAN" - SANITARY SEWER WITH SIZE</p> <p>- ST" - STORM SEWER WITH SIZE</p> <p>- W" - WATER MAIN WITH SIZE</p> <p>- 926 - EXISTING CONTOUR</p> <p>TREELINE</p> <p>B.S.L. BUILDING SETBACK LINE</p> <p>P.U.E. PUBLIC UTILITY EASEMENT</p> <p>M.O.E. MINIMUM OPENING ELEVATION</p>
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**BENCHMARKS**  
BURY BOLT ON HYDRANT 300' +/- WEST OF INTERSECTION OF THOMAS & 26TH STREET ON THE SOUTH SIDE OF THOMAS AVENUE = 889.75

**CERTIFICATION**

	<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>PATRICK J. SHEPARD, IOWA LIC. NO. 12265 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2011 PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1 - 4</p>
	<p>I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>EDWARD H. ARP, IOWA RES. NO. 250 PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1 - 4</p>



**CEC**  
Civil Engineering Consultants, Inc.  
2400 86th Street, Unit 12, Des Moines, Iowa 50322  
515.276.4884 - Fax: 515.276.7084 - mail@cecinc.com

DATE	REVISIONS	COMMENTS
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DATE OF SURVEY: \_\_\_\_\_  
DESIGNED BY: ARP, P.E.  
DRAWN BY: JAG

**RAINBOW RASCALS**  
JOHNSTON, IOWA

COVER

SHEET 1 OF 5  
A-1811

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

October 3, 2016



**Subject:** Consider Resolution 16-205 approving the site plans for Dance Vision, located at 8711 Thomas Avenue (PZ Case 16-29).

**ACTIONS REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Review

AW

**SYNOPSIS:**

Elsie John Properties, LLC has submitted site plans for the development of a 12,162 square foot dance studio. The property is located at 8711 Thomas Avenue in the Windsor Office Park.

**RECOMMENDATION:**

**The Planning & Zoning Commission recommends approval of PZ Case 16-29, the Site Plans for 8711 Thomas Avenue with the following conditions:**

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
4. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
5. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Address items 1-15 of the review letter provided by consulting engineer Foth Infrastructure and Environment dated September 22, 2016.
  - b. A recorded easement is necessary to install approximately 36' of storm sewer pipe and an outlet structure on the east-adjacent property.

Attachments:

- Vicinity Map
- Site Plans, prepared by Bishop Engineering dated 9/14/16;
- Architectural Elevations prepared by Shiffler Associates, dated 9/14/16;
- Development Review Comments by Staff;
- Development Review Comments by Foth Infrastructure & Environment, LLC, dated 9/22/16;
- Windsor Office Park PUD;
- Mailing Notice;

## RESOLUTION 16-205

### A RESOLUTION APPROVING THE SITE PLANS FOR DANCE VISION AT 8711 THOMAS AVENUE

WHEREAS, on September 26<sup>th</sup>, 2016 the Johnston Planning and Zoning Commission recommended approval of the site plans for Dance Vision at 8711 Thomas Avenue subject to conditions.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that:

**The Site Plans are hereby approved with the following conditions:**

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
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  - a. Address items 1-15 of the review letter provided by consulting engineer Foth Infrastructure and Environment dated September 22, 2016.
  - b. A recorded easement is necessary to install approximately 36' of storm sewer pipe and an outlet structure on the east-adjacent property.

**PASSED AND APPROVED** this 3<sup>rd</sup> Day of October, 2016

\_\_\_\_\_  
PAULA DIERENFELD, MAYOR

ATTEST:

---

CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

PROPERTY OWNER/APPLICANT:	Elsie John Properties, LLC 5860 Merle Hay Road Johnston, IA 50131
REPRESENTATIVES:	Bishop Engineering 3501 104 <sup>th</sup> Street Urbandale, IA 50322
BACKGROUND & PRIOR APPROVALS:	<p>The subject property is located within the Windsor Office Park Planned Unit Development, approved by ordinance 652 on August 5, 2002.</p> <p>The Preliminary Plat for Windsor Office Park was approved on August 19, 2002 via Resolution 02-145.</p> <p>The Final Plat for Windsor Office Park was approved on November 18, 2002 via Resolution 02-212.</p> <p>The PUD was amended on October 3, 2005 via Ordinance 724.</p> <p>The PUD has been variously amended by resolutions 06-226 on October 16, 2006, 11-142 on October 17<sup>th</sup>, 2011, and 13-129 on July 15<sup>th</sup>, 2013.</p>
ZONING & BULK REQUIREMENTS:	<p>Windsor Office PUD. Allowed uses are those of the PC, Professional Commerce Park District. The PC district allows the proposed use, which, while not specifically listed, is permitted under 168.07.2.D. as a use that is consistent with the characteristics of other allowed uses of the district (health, athletic or fitness centers/clubs, day care).</p> <p>Minimum Bulk Requirements for the subject lot follow:</p> <p style="padding-left: 40px;">Front Setback: 50 ft. Side yard: 20 ft. Sum of both side yard setbacks = 40 ft. Rear Yard: 50 ft.</p>
TRAFFIC ACCESS & CIRCULATION:	The site has two points of access on Thomas Avenue. This will be a full access driveway.
PEDISTRIAN CIRCULATION & SIDEWALKS:	A four-foot wide sidewalk will be installed along Thomas Avenue Thomas Avenue.
PARKING AND LOADING:	In determining the required parking for the subject property, staff utilized the provision for colleges, trade schools and other places of learning – which requires 1 space for every person regularly employed (maximum working shift) plus one space for each three student desks or classroom seating facilities. While the studio won't have seating, each room would

have a maximum capacity for students. The client capacity is estimated at 139 persons and the applicant reports five employees. These numbers lend a parking requirement of 52 parking stalls. The site plan is in compliance with 52 stalls.

**PUBLIC UTILITIES:**

**WATER:** A six-inch connection will be made to the existing stub on the north side of Thomas Avenue to serve the building's sprinkler system. A two-inch domestic connection will branch from the aforementioned six-inch service line. A separate six-inch service line will be bored and cased under Thomas Avenue to serve a proposed fire hydrant to be installed near the building's southeast corner.

**SANITARY SEWER:** Sanitary Sewer is already stubbed to the subject property and a connection will be made on the north side of Thomas Avenue.

**FIRE PROTECTION:**

At 12,162 square feet, the building must be sprinkled for fire protection.

**FLOODPLAIN:**

The site is not located within the 100-year floodplain.

**DRAINAGE:**

The site generally drains to the north and east. Stormwater generated from the site will be directed to a detention basin on site near the north property line. This basin outlets to the east-adjacent property, and thereafter outlets to existing storm sewer at NW 86<sup>th</sup> Street and eventually discharging to Beaver Creek. An easement is necessary to install approximately 36' of storm sewer pipe and an outlet structure on the east-adjacent property. Staff recommends a condition of approval requiring the applicant to obtain such an easement prior to issuance of a building permit. The detention basin is design to accommodate the water quantity volume and the water quality volume.

**ARCHITECTURE:**

Chapter 166.35 of the City Code requires 75% of the building's wall area (excluding glass) to consist of permanent materials, to include a combination of brick, architectural concrete panels, textured concrete block, architectural steel, and stone panels. In addition, the PUD requires the project adhere to the architectural requirements for buildings within 300' of NW 86<sup>th</sup> Street (Chapter 166.35.D), which states that nonresidential buildings abutting Merle Hay Road, NW 86<sup>th</sup> Street and NW 62<sup>nd</sup> Avenue shall have brick constitute at least 50% of the wall area that faces the arterial street, excluding glass.

The materials proposed for this site meet the above-stated requirements, with brick constituting 51% of the building exterior facing Thomas Avenue, and the alternate building sides comprised primarily of architectural metal panels. The metal panels are 26 gauge with a 35-year factory finish and semi-concealed fasteners. See attached cut sheets.

OPEN SPACE:

The total site area is 62,286 s.f.. The open space ratio for this PUD requires a minimum of 30% of the total property area, or 18,686 s.f.. The site is in compliance with 46% open space, or 28,895 s.f..

LANDSCAPING:

The site is required to have 1 tree per 1,500 square feet of required open space and 1 shrub per 1,000 square feet of required open space. For the purpose of calculating open space landscaping requirements, the buffer area of the site is removed from the total lot area to determine required open space subject to open space landscaping requirements.

For this site, 13 trees and 19 shrubs are required and the site plan is in compliance.

BUFFERS:

The site is required to have a 30' buffer along the north property boundary. The following is the required buffer landscaping and that which is provided:

North Buffer Area		
	Required	Provided
Evergreen Trees	8	8
Overstory Trees	3	3
Understory Trees	10	10
Shrubs	20	20

NPDES PERMIT:

A SWPPP and NPDES Permit are required and must be approved by City Staff prior to issuance of a City Grading Permit and any ground disturbing activity.

SITE LIGHTING:

No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.

ADJACENT OWNER  
NOTICE:

A notice of the proposed development has been posted to the city's website.

CONSULTANT  
COMMENTS:

Foth Infrastructure & Environment, LLC has reviewed the Site Plan and offered comments in their September 22, 2106 review letter. Staff recommends a condition of approval requiring all outstanding comments from Foth's review letter be addressed prior to the issuance of a building permit.



September 22, 2016

Aaron Wolfe, Senior Planner  
City of Johnston, P.O. Box 410  
6221 Merle Hay Road  
Johnston, IA 50131

RE: Dance Vision Site Plan  
Development Review 2  
Case No. PZ 16-29

Foth Infrastructure and Environment, LLC has completed a review of the Site Plan and Storm Water Management Plan received by the City September 14th, 2016 for the above referenced project. Based on our review, the following comments are offered:

**Storm Water Management Plan**

1. Calculations provided meet the requirements of Johnston City code however due to the 0.99" opening necessary for the WQv control, there is a high risk of clogging due to small debris that will pass thru the trash rack/screen on the 15" FES, recommend converting the standpipe to a perforated riser or drilling a series of holes.
2. Provide inlet capacity calculations to verify ponding depths, include clogging factors assumed.
3. With the storm sewer revision to only have one intake in the NE corner of the parking lot, applicant shall provide a channel calculation to verify the depth of flow east of the Hydrant Assembly #1 during the 100 year event.

**Site Plan**

**Sheet C.01**

4. No further comments.

**Sheet C1.1**

5. Show and label each tree to be removed, include type and size.

**Sheet C2.1**

6. No further comments.

**Sheet C3.1**

7. How much cut is being proposed at the driveway locations? Will there be a need to lower the existing electric, fiber optic and gas lines?

**Sheet C4.1**

8. Specify the diameter of structure C2, recommend 60" diameter due to the internal standpipe and if someone needs to maintenance.

**Sheet C5.1**

9. How deep does the root structure of a Growlo Sumac grow? Several are shown being install on top of a gas line and fiber line along Thomas Ave behind back of curb.

**Sheet C6.1**

10. No further comments.

**Sheet C7.1**

11. Applicant shall show the flow arrows to depict the drainage patterns.
12. Applicant shall show and label the area of soil disturbance.
13. While the sheet lists the quantities of stabilization measures, it refers to the Landscaping plan which is not included in the SWPPP document.
14. Applicant shall include erosion control measures east of the east driveway to protect silts entering over the existing curb on Thomas Ave.
15. Refer to SWPPP review for complete review of the narrative.

Please contact me at 515.251.2564 if you have questions or comments.

Sincerely,

**Foth Infrastructure & Environment, LLC**



Joshua C. DeBower, P.E.  
*Lead Civil Engineer*

TMA: mms3



# MEMORANDUM

## *City of Johnston, Iowa*

---

SENT VIA EMAIL

DATE: April 19, 2016

TO: Sabetha Mumm, Elsie John Properties, LLC  
Chuck Bishop, Bishop Engineering

FROM: Aaron Wolfe, Senior Planner

RE: **Dance Vision Development Review**

We have reviewed the proposed site plan for Dance Vision, 8711 Thomas Avenue, and would note the following:

1. The Zoning classification is correctly listed as PUD, but the Ordinance number and the date of approval for the PUD are not listed on the site plan. The Ordinance number is 724 with approval on October 5, 2005. Also, name of PUD should be listed (Windsor Office PUD).
2. Applicant shall submit a recorded "lot tie agreement" inextricably linking two subject lots (currently the setback envelope is depicted as if one lot). Such an agreement will also negate need for an ingress/egress cross-access easement for shared parking and access between two subject properties.
3. Provide evidence of an overland flowage easement for east-neighboring property.
4. 5 gray dogwood are depicted in the buffer area; however, only 2 are listed in the landscape schedule. 11 Fragrant Sumac are shown in the buffer area; however, the landscape schedule lists 14. Appears as if labels are perhaps reversed. Please reconcile the inconsistency.
5. Open space required is listed as 20% on sheet C5.1. Please amend to read 30%.
6. Due to the size and use of the building, a sprinkler system is required. Please include such a note on the site plan.
7. Parking in front of the fire department sprinkler connection must be labeled "No Parking" to allow unobstructed access to the FDC.
8. An executed NPDES Permit, full SWPPP and City Grading Permit will need to be provided prior to any ground disturbing activities.
9. All HVAC units must be shown on the site plan and must be screened from view. If located on rooftop, elevation drawings should indicate rooftop systems and screening.

10. Provide an elevation of the trash enclosure.
11. Elevations must be amended to include total square footage of each building elevation, and area and percentage devoted to each material utilized.
12. All stormwater management facilities (swales, basins, bioretention, etc.) require a recorded maintenance agreement detailing the necessary ongoing maintenance of the facility.
13. The applicant shall include 2 photometric plans as an overlay on the proposed site: (1) entire site and (2) paved areas only. Include a written statement of percentages from initial to maintained foot-candle levels. Also include manufacturer's cut sheets for all proposed site lighting materials. <http://cityofjohnston.com/index.aspx?NID=288>
14. Please include a cover sheet to accompany revisions which lists corrections made to the site plan.
15. Please see additional comments on the site plan as provided by Foth Infrastructure and Environment, LLC.

This project is scheduled for a development review meeting on Wednesday, September 7<sup>th</sup>, 2016 at 3:30p.m. Four full size copies of revised plans, four 11 x 17 inch reductions and a PDF version of all site plans and building elevations and two copies of any revised stormwater management reports must be submitted by Wednesday, September 14, 2016 in order to proceed to the Planning and Zoning Commission on September 26, 2016 and to the City Council on October 3<sup>rd</sup>, 2016.

If you have any questions, please contact me at 727-7766 or by email at [awolfe@cityofjohnston.com](mailto:awolfe@cityofjohnston.com).

cc: Josh DeBower, Foth  
Matt Greiner, Construction Inspector  
David Wilwerding, Community Development Director

## ORDINANCE NO. 724

### AN ORDINANCE AMENDING THE JOHNSTON REVISED ORDINANCES OF 1999 BY AMENDING THE WINDSOR OFFICE PARK PUD (ORDINANCE 652) TO ALLOW LIMITED RETAIL AND SECOND STORY RESIDENTIAL USES.

Now Therefore, Be It Enacted by the City Council of the City of Johnston, Iowa that:

**SECTION 1. PURPOSE.** The purpose of this ordinance is to replace Ordinance 652 to amend the Windsor Office Park PUD to allow limited retail and second story residential uses within the development.

**SECTION 2. OFFICIAL PUD AMENDMENT.** Ordinance 652 is hereby repealed and replaced with the provisions noted within this Ordinance. The following legally defined property is hereby included within the Windsor Office Park PUD:

Lots 1 to 22 and Outlot Z, Windsor Office Park Plat 1, an official plat, City of Johnston, Polk County, Iowa.

**SECTION 3. MASTER PLAN PROVISIONS.** In accordance with Section 17.10.180.4 adopted herewith is the Master Plan for the above-described area being rezoned to Planned Unit Development consisting of the following development policies:

PUD Master Plan A conceptual plan for the development of the Planned Unit Development is hereby adopted as a PUD Master Plan to guide development of the area. The plan for Windsor Office Park as prepared by Civil Engineering Consultants and dated May 23, 2002 is hereby adopted. The master plans and those additional guidelines as identified herein shall constitute the zoning requirements of the properties.

It is the general purpose of this PUD to establish land uses and development requirements that are compatible with the land uses in the vicinity and achieve an exemplary professional office park. If it can be shown that the intent and purpose of these guidelines can be met through another means, the City Council can approve them in combination with a Site Plan Review.

A. Collector Street Standards. The PUD Master Plan shall accommodate turning lanes at the intersections of collectors within the projects. No parking would be allowed on Windsor Parkway. Right-of-way and pavement width shall be as follows:

1. Windsor Parkway west of NW 86<sup>th</sup> Street at 100': 5-lane roadway.
2. Windsor Parkway west of Parcels A & B; 80: 31', 37' with turning lane. ROW may drop to 70 feet in width where turning lanes or tapers do not exist.
3. NW 92<sup>nd</sup> Street; 2-lanes in 60'-80' ROW, 31'-37' with turning lane.

Veterinary Clinics for household pets on an out-patient basis only, no overnight boarding or lodging except by Special Use Permit

The display of merchandise outside the building and the storage of merchandise or materials shall not be permitted

Convenience stores shall not be permitted, even by a Special Use Permit

Stand alone big box retail establishments shall be prohibited.

- ii) Mixed-use buildings with residential on the second story shall be allowed within Lots 4 to 20 of Windsor Office Park Plat 1, provided such mixed use buildings are reasonably designed to protect the residential use from noise or other similar matters associated with the commercial/office use. Residential uses of such mixed-use buildings shall not exceed the densities allowed in an R-4 zoning district. Garages for such residential units shall be located in the rear of such proposed buildings. The use of residential units is further restricted to residential apartment units and Horizontal Property Regimes, as defined under the provisions of Iowa Code Chapter 499B, or other related provisions; provided however the land use classification used for calculating real estate taxes shall not be changed from commercial to residential.

4. Parcel D is designated in the Comprehensive Plan as Business Park / Office. Permitted land uses shall consist of those permitted in District PC.

- D. Architectural Standards. The project shall adhere to the architectural requirements for NW 86<sup>th</sup> Street, which requires brick as the predominant material on the facades.
- E. Buffers. Provisions for buffers shall adhere to the requirements of Section 17.50.030. A development may request a reduction or waiver which the City Council may or may not grant as part of the resolution approving individual site plans. The developer is responsible for the entire buffer within the property boundaries
- F. Setbacks. The building setbacks for all parcels shall adhere to PC setbacks (front, 50'; rear, 50'; side, 20'). A 50-foot building setback is required adjacent to any R District boundary.
- G. Parking setback. All parking areas and driveway aisles shall setback 15 feet from public right-of-way.
- H. Building Heights. Building heights are to be restricted contiguous to the south and west boundaries of the project which abut existing or future platted single-family lots to preserve the existing views that are an asset to the area. Building heights shall be restricted to the building heights of existing contiguous dwelling units. Building heights, for the purposes of this provision, shall be measured at the ridgeline or top of the parapet wall as opposed to the average height of the building. Building heights

*Brian J. Laurenzo*  
BRIAN J. LAURENZO, MAYOR

ATTEST:

*Stephanie L. Reynolds*  
STEPHANIE L. REYNOLDS, CITY CLERK

1st Reading: October 3, 2005

2nd Reading: waived

3rd Reading: waived

Passed: October 3, 2005

Signed: October 3, 2005

Published: October 7, 2005

ROLL CALL VOTE:	1st Reading		2nd Reading		3rd Reading	
	Aye	Nay	Aye	Nay	Aye	Nay
Dierenfeld	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
Davis	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
Temple	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
Wilson	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
Underwood	<input checked="" type="checkbox"/>	<input type="checkbox"/>				

**RESOLUTION NO. 06-226**

A RESOLUTION TO AMEND THE WINDSOR PARK PUD FOR PARCEL A TO DELETE REFERENCE TO STRIP MALLS.

WHEREAS, the Planning & Zoning Commission reviewed this item at their October 9, 2006 meeting and recommended approval of PZ Case No. 06-50, now therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that:

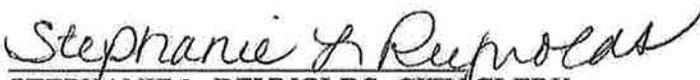
The land uses allowed in Parcel A is amended as follows:

Parcel A is designated in the Comprehensive Plan as Business Park / Office. The land uses established for Parcel A shall be consistent with the general use restrictions of District PC, Professional Commerce Park, and commercial uses complimentary to a business park, including restaurants and cafes (drive-in facilities not permitted), lounges (only in conjunction with a restaurant), coffee shops, banks and similar financial institutions (drive-in facilities permitted), and other similar uses as approved by the City Council.

PASSED AND APPROVED this 16<sup>th</sup> day of October, 2006.

  
BRIAN J. LAURENZO, MAYOR

ATTEST:

  
STEPHANIE L. REYNOLDS, CITY CLERK

<b>ROLL CALL VOTE:</b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Clabaugh	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Davis	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dierenfeld	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Temple	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tingley	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

RESOLUTION 13-129

A RESOLUTION APPROVING A MINOR AMENDMENT TO THE WINDSOR OFFICE PARK PUD

WHEREAS, the Planning & Zoning Commission has reviewed this request during its regular meeting on July 8, 2013, and recommends approval;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that, Section 3(C)(1) of the Windsor Office Park PUD is hereby amended as follows:

- 1. Parcel A is designated in the Comprehensive Plan as Business Park / Office. The land uses established for Parcel A shall be consistent with the general use restrictions of District PC, Professional Commerce Park, and commercial uses complimentary to a business park, including restaurants and cafes (drive-thru facilities not permitted, except on Lot 2, Windsor Office Park Plat 1), lounges (only in conjunction with a restaurant), coffee shops, banks and similar financial institutions (drive-thru facilities permitted), and other similar uses as approved by the City Council. Strip mall type structures will not be allowed, except on Lot 2, Windsor Office Park Plat 1.

PASSED AND APPROVED this 15th day of July, 2013.

Handwritten signature of Paula Dierenfeld, Mayor, over a horizontal line.

PAULA DIERENFELD, MAYOR

ATTEST:

Handwritten signature of Cyndee Rhames, City Clerk, over a horizontal line.

CYNDEE RHAMES, CITY CLERK

ROLL CALL VOTE table with columns: AYE, NAY, ABSENT, ABSTAIN and rows: Brown, Clabaugh, Cope, Lindeman, Temple. All AYE boxes are checked.



## Notice of Proposed Development *City of Johnston, Iowa*

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September 22<sup>nd</sup>, 2016

### **PZ Case No. 16-29; Site Plans for 8711 Thomas Avenue**

Elsie John Properties, LLC has submitted site plans for the development of a 12,162 square foot dance studio. The property is located at 8711 Thomas Avenue in the Windsor Office Park. The site is located north of Thomas Avenue in the Windsor Office Planned Unit Development. Additional information is attached to this notice.

**Applicant:** Elsie John Properties, LLC  
5860 Merle Hay Road  
Johnston, IA 50131

### **Meeting Schedule:**

Planning and Zoning Commission, Monday, September 26, 2016

City Council Meeting (tentative), Monday, October 3, 2016

Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road and begin at 7:00 p.m. The public is welcome and invited to attend the above noted meetings and an opportunity will be provided for you to make comments on the proposed request.

### **Staff Contact:**

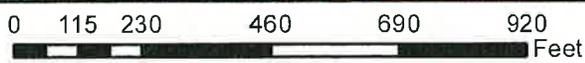
Comments and questions about this application may be directed to:

Aaron Wolfe, Senior Planner  
City of Johnston  
6221 Merle Hay Road, PO Box 410  
Johnston, IA 50131  
Phone: (515) 727-7766  
Email: [awolfe@cityofjohnston.com](mailto:awolfe@cityofjohnston.com)

### **Attachments:**

Aerial Vicinity Map  
Site Plans

# 8711 Thomas Avenue Vicinity Map

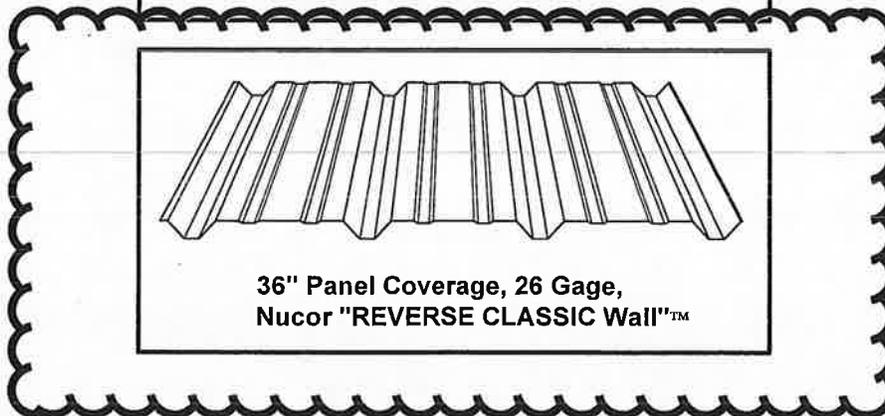
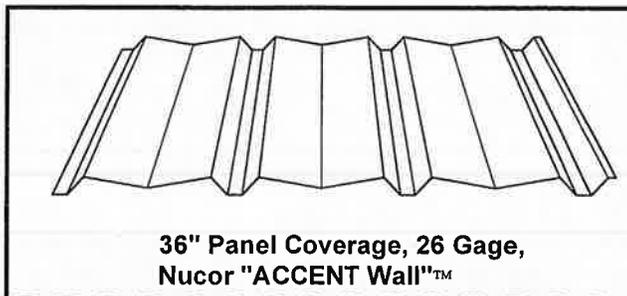
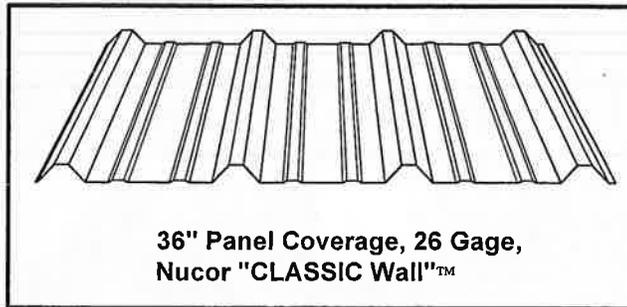




# PRODUCT & ENGINEERING MANUAL

## NUCOR WALL SYSTEMS

Nucor standard wall panels are available as components of one of Nucor Building Systems' Standard Wall Systems.



Information about the available panel finishes and erection details is available at the Nucor Building Systems website at the below link.

### Nucor Wall System Panels

The following page outlines the span capacities for the Nucor standard wall panel profiles.

LAST REVISION  
DATE: 03/11/15  
BY: AAJ CHK: MDK

DETAIL NAME IF APPLICABLE  
**SH0030PE.DWG**

**6.0.5**



# PRODUCT & ENGINEERING MANUAL

## NUCOR REVERSE CLASSIC WALL™ PROPERTY AND SPAN TABLES

Nucor Reverse Classic Wall™ Panel - 26 Gage: Fy = 50 ksi									
Panel Material Information					Panel Properties per foot of panel width				
					Top in Compression			Bottom in Compression	
Panel Gage	Thickness (in.)	Yield (Ksi)	Tensile (Ksi)	Panel Wt. (Psf)	Ix (Gross) (in <sup>4</sup> )	Sx (eff.) (in <sup>3</sup> )	Ma (Kip-in.)	Sx (eff.) (in <sup>3</sup> )	Ma (Kip-in.)
26	0.0177	50	65	0.86	0.0493	0.047	1.4017	0.040	1.2040

### Wind Pressure (psf): Panel: (Stress, Deflection, and Web Crippling)

Span (Ft)	Simple Span			2 Equal Spans			3 Equal Spans		
	Stress	Deflection		Stress	Deflection		Stress	Deflection	
		L/60	L/240		L/60	L/240		L/60	L/240
4.0	60	n/c	52	56	n/c	n/c	56	n/c	n/c
4.5	48	n/c	37	48	n/c	n/c	50	n/c	n/c
5.0	38	n/c	27	38	n/c	n/c	41	n/c	n/c
5.5	32	n/c	20	32	n/c	n/c	34	n/c	n/c
6.0	27	n/c	15	27	n/c	n/c	29	n/c	n/c
6.5	23	n/c	12	23	n/c	n/c	24	n/c	23
7.0	20	n/c	10	20	n/c	n/c	21	n/c	18

### Wind Suction (psf): Panel: (Stress and Deflection)

Span (Ft)	Simple Span			2 Equal Spans			3 Equal Spans		
	Stress	Deflection		Stress	Deflection		Stress	Deflection	
		L/60	L/240		L/60	L/240		L/60	L/240
4.0	52	n/c	n/c	60	n/c	n/c	75	n/c	n/c
4.5	41	n/c	37	48	n/c	n/c	59	n/c	n/c
5.0	33	n/c	27	38	n/c	n/c	48	n/c	n/c
5.5	27	n/c	20	32	n/c	n/c	40	n/c	38
6.0	23	n/c	15	27	n/c	n/c	33	n/c	29
6.5	20	n/c	12	23	n/c	n/c	28	n/c	23
7.0	17	n/c	10	20	n/c	n/c	25	n/c	18

### Wind Suction (psf): Fasteners: (Pull-out, Pull-Over, and Tensile Failure)

Span (Ft)	Purlin Thickness						
	0.060	0.067	0.075	0.089	0.099	0.105	0.120
4.0	59	59	59	59	59	59	59
4.5	52	52	52	52	52	52	52
5.0	47	47	47	47	47	47	47
5.5	43	43	43	43	43	43	43
6.0	39	39	39	39	39	39	39
6.5	36	36	36	36	36	36	36
7.0	34	34	34	34	34	34	34

n/c = value does not control (i.e. value is greater than controlling stress value)

Contact the engineering team for capacities with different panel configurations.

LAST REVISION  
 DATE: 03/11/15  
 BY: AAJ CHK: MDK



**PLANNING & ZONING COMMISSION**

City of Johnston  
 6221 Merle Hay Road, Johnston, IA 50131

Minutes  
 Regular Meeting: Monday, August 29, 2016

**AGENDA**

**1. Call to Order**

Chairman Petersma called the meeting to order at 7:00 p.m.

**2. Roll Call**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Present</b>	X	X	X	X	X	X	X
<b>Absent</b>							

**City Staff Present:** David Wilwerding, Aaron Wolfe, Rebekah Davis

**3. Approval of Agenda**

Petersma called for a vote to approve the agenda.

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X	X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**4. Approval of Meeting Minutes:** Regular Meeting of August 29, 2016.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X	X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**5. PZ Case No. 16-27; Site Plans for 8601 Thomas Avenue:** The applicant, 814 Development, LLC has submitted site plans for the development of a 11,992 square foot child care facility with 17,241 square feet of outdoor playground area and a future 2,500 square foot retail building. The property is located on the northwest corner of Thomas Avenue and NW 86th Street. The site is zoned PUD in the Windsor Office Park PUD.

Wolfe presented the staff report.

Severino inquired about the potential uses for the smaller 2,500 s.f. structure. Wolfe responded that the PUD permits professional commerce park district uses; which allow community retail

commercial uses. Wilwerding explained the building could have a retail use; there is enough parking for a small restaurant use.

Johnson questioned if there is a proposed use for the smaller structure. Wolfe stated that staff had not been informed of a proposed use for the additional building. If there is a proposed use for the building, staff recommends that the applicant provide that information so staff can consider if there would be any supplementary site requirements.

Petersma inquired if the smaller building could provide added capacity for more children and if this would be the use for the building would there be additional site requirements. Wolfe affirmed that the supplementary building could provide added capacity. Wilwerding noted the staff report outlined that the primary structure will have enough parking to accommodate 240 children; the applicant is anticipating 100 children. Petersma questioned if they had the maximum occupancy, would the parking conditions still be acceptable. Wilwerding stated if added capacity would be the use for the supplementary building they would want to verify that the site requirements were met prior to issuance of the permit.

Severino asked if the parking spaces would be shared with the adjacent property to the west. Wolfe stated that the parking lots will not be connected; he believes that the separate parking lots are advantageous for public safety because there will not be traffic passing thru the adjoining parking lots.

Johnson inquired if additional parking stalls were required, could the parking lot be expanded to the southwest corner of the subject property. Wolfe explained that parking stalls could be added up to 5 feet to the property line. They have more than the required amount of open space therefore, adding parking stalls would not impede on this requirement.

Petersma noted northeast of the subject property, the site plan illustrates an absent sidewalk identified as "sidewalk by others". He inquired as to how the sidewalk would be completed in conjunction with the proposed site. Wolfe stated that Ender has been in contact with the adjacent property owner to stress the importance of connecting their sidewalk to that of the proposed site. There is approximately 30 feet of sidewalk that needs to be completed. Wilwerding explained that the adjacent property owner has been cooperative with their request to complete his portion of the sidewalk. When the site plan for the northern adjacent property was proposed it did not depict the sidewalk therefore, the sidewalk was constructed on private property and not extended to the property line. An easement has been granted to complete the sidewalk on private property.

Bart Turk, Civil Engineering Consultants, Inc., stated on behalf of the applicant, that their hours of operation are from 6 a.m. to 6 p.m. Monday thru Friday. They do not require a loading zone because all of their deliveries are completed with a small van. Outside play is typically one or two classrooms at a time; never the entire building at once. There is a need in the community for before and after school care; they have a small 14 passenger bus for busing children. There will be not large summer parties or graduation parties that will cause any parking problems. Each class will have their own small graduation ceremony. Daily each parent has to park and walk their child into the facility. There will be no curbside drop-offs which alleviates concerns regarding traffic stacking. Peak drop-off and pick-up hours are from 6:00 a.m. to 9:30 a.m. and from 3:00 p.m. to 6:00 p.m. They do not have a set start time. Their food program is precooked heat and serve style so, there will not be any grease generated from this method. The dumpster service is typically once a week but may be twice a week.

Motion by Johnson, second by Anderson to approve PZ Case No. 16-27; Site Plans for 8601 Thomas Avenue with the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.

2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
4. Architectural elevations for the 2,500 square foot retail building shall be submitted for review by the Planning and Zoning Commission and City Council prior to issuance of a building permit for the 2,500 square foot retail building.
5. Council acceptance of placement of the required north buffer landscaping within 50 feet of the north property boundary instead of within the 30 foot buffer easement along the north property boundary.
6. No exterior site lighting may be installed unless and until all photometric plans have been revised, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
7. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Update the engineer seal and landscape architect seal on the cover sheet to cover all pages of the site plan.
  - b. Update the sheet list table on the cover sheet and the sheet numbers on the bottom right of the site plans to identify all sheets of the site plans.
  - c. Update the open space planting schedule and the landscaping plan drawing to reflect the location, size, and species of the 15 open space trees which are required.
  - d. Update the landscaping plan to either remove the 6 PA from the buffer planting schedule or identify their location on the landscaping plan drawing.
  - e. Update the landscaping plan's buffer planting schedule and the landscaping plan drawing to either identify only 10 CD or identify the location of all 12 CD currently listed in the planting schedule.
  - f. Update the site plans to show that 90° parking spaces will be at minimum 9 feet wide by 18 feet long, this includes handicap parking spaces. Length may be reduced to 16 feet if front end overhang over an open space is available.
  - g. Update the site plans to identify that parking required for retail establishments greater than 2,000 square feet is 1 parking space for every 175 gross floor area.
  - h. Provide a detail drawing of the trash enclosure to insure adequate screening from public right-of-way is achieved.
  - i. Identify the size and location of the private storm sewer proposed from the west adjacent property to connect the west adjacent property's detention basin to the overland flowage easement.
  - j. Show on the site plans the private 30 foot storm sewer easement which is proposed by the west adjacent property on the northwest corner of the rainbow rascal property, grant said private 30 foot storm sewer easement for the benefit of the west adjacent property, and provide evidence that said private 30 foot storm sewer easement has been recorded with the Polk County Recorder's office.
  - k. A public access & sidewalk easement shall be identified on the site plans for any portion of the sidewalk not within public right-of-way, said public access & sidewalk easement shall be accepted by the City Council, and said public access & sidewalk easement shall be recorded with the Polk County Recorder's office.
8. Address Foth's review letter dated September 22, 2016.

**Roll Call Vote:**

	<b>Spencer</b>	<b>Severino</b>	<b>Johnson</b>	<b>Smith</b>	<b>Pavlovec</b>	<b>Petersma</b>	<b>Anderson</b>
<b>Aye</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>

<b>Nay</b>							
<b>Abstain</b>							

**6. PZ Case No. 16-29; Site Plans for 8711 Thomas Avenue:** The applicant, Elsie John Properties, LLC has submitted site plans for the development of a 12,162 square foot dance studio. The property is located at 8711 Thomas Avenue in the Windsor Office Park.

Wolfe presented the staff report.

Severino inquired if there is enough open space on the property for more parking if it is needed. Wolfe stated that a fair amount of the site is occupied by the detention basin. Chuck Bishop, Bishop Engineering, 3501 104th St, Urbandale, Iowa, stated that he believes this property has a unique use that is not addressed in the City’s parking requirements. Bishop explained the parking formula: 1 space for every 3 occupants, plus 1 stall per employee, this totals 52 required parking stalls. There will be 139 occupants, who will likely not be on site at the same time. There may be some overlap in occupants due to the different class times. They calculated the parking based on all the occupants being present at the same time. If required, they could expand the parking lot the north cutting into detention pond; this would require that they construct a retaining wall.

Petersma inquired if classes typically began after school. Sabetha Mumm, the applicant, stated that her business is currently located at 5860 Merle Hay Rd, Johnston, Iowa; occupying two building their students have to walk through the parking lot to attend their classes. They have proposed to build a larger facility which will meet all their needs in one building. Typically, class schedules are staggered every 15 minutes; this method should relieve some of the traffic concerns. Typically their operating hours are from 4 p.m. to 10 p.m. Monday thru Friday. On occasion they may have dance rehearsals on the weekend.

Johnson inquired regarding the use of the overhead door on the eastside of the building. The applicant stated that the overdoor is for props that are currently housed in off-site facilities. The overhead door opens into the storage room. Johnson inquired if any parking spaces would be occupied by a van or a trailer. The applicant stated that they do have one prop trailer that will likely occupy the northeast parking stall.

Petersma stated that there is not a proper category for the parking requirements of a dance studio. Frequently, there will be an overlap in individuals from different classes occupying the parking spaces. Wolfe stated that the parking requirements of a dance studio are likened to sites with a similar use, like that of trade schools and centers for learning; which have various start times for classes and may also experience an overlap in occupants. Petersma believes that there should be better categorization of parking requirements for similar sites with periodic large turnover and periods of lull. Wolfe stated that there have been discussions regarding improving the parking ordinance and believes that this subject will be addressed in the future.

Severino inquired if the applicant has spoken with the adjacent property owner to the east regarding using their lot for overflow parking. The applicant stated that she has not had discussions with the adjacent property owner. Severino noted that both adjacent sites will have similar peak hours in the evenings and it is the commission’s primary concern is to ensure that everyone is safe during the peak traffic times. The applicant believes that having her own access point from the street and not sharing a lot with the adjacent property owner should relieve the concerns of both sites sharing traffic.

Anderson stated that she believes that the dance studio is a great project. Petersma inquired as to the estimated time of construction. The applicant stated, with a 6 month timeline they are seeking to be in the building before the start of the fall classes in 2017.

Johnson inquired about the parking circulation of the parking lot and does not believe that the proposed layout facilitate a quick turnover in traffic. Bishop stated that the parking areas to the north are likely for the staff. Although the parking spaces to the northeast are dead end spaces, attempting to bring the east drive north would cause them to lose 6 parking spaces. Wolfe clarified that an access aisle needs to be 24 feet wide, requiring 6 parking spaces. Johnson believes that if there is a front and back parking space available in the center aisle north of the east access, someone will cut-through rather than the drive around the aisle to park. Bishop stated that many parents, depending on the age of the child, will likely pull-in, drop their child off at the front door and exit.

Johnson inquired as to how many staff members would be there at one time. The applicant stated at this time there would be 5.

Johnson asked for more description on the semi-concealed fastener on the exterior metal panels. Kevin Barber, Shiffler and Associates Architects, 1440 Locust St #100, Des Moines, Iowa, stated that the semi-concealed is a corrugated metal panel is set on the recessed side and the screws are concealed inside a “shadow line”. Johnson commented although staff has stated that the panels meet the city’s architectural requirements; the architectural metal panels are a pole barn pattern of material. Wolfe stated that a definition for architectural steel should be specified in our ordinance.

Motion by Smith, second by Spencer to approve PZ Case No. 16-29; Site Plans for 8711 Thomas Avenue subject to the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. No exterior site lighting may be installed unless and until a photometric layout and manufacturer’s cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston’s site lighting requirements as established by Resolution 99-56 for staff review.
4. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
5. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Address items 1-15 of the review letter provided by consulting engineer Foth Infrastructure and Environment dated September 22, 2016.
  - b. A recorded easement is necessary to install approximately 36’ of storm sewer pipe and an outlet structure on the east-adjacent property.

**Roll Call Vote:**

	<b>Spencer</b>	<b>Severino</b>	<b>Johnson</b>	<b>Smith</b>	<b>Pavlovec</b>	<b>Petersma</b>	<b>Anderson</b>
<b>Aye</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>
<b>Nay</b>							
<b>Abstain</b>							

**7. Other Business**

Presentation and Discussion of the “Recreation Amenities for Apartment and Townhouse Developments” report as prepared by the Neighborhood Development Corporation.

Wilwerding presented the Neighborhood Development Corporation report.

Johnson asked if the dedicated amenity area would be included in the open space requirement and if walking trails could be recommended as a recreational amenity. Wilwerding responded that the recreational amenities would be a dedicated area included in the open space requirement.

Spencer inquired if any amenities would be recommended or required. Wilwerding stated that it is suggested to have playground and in larger complexes a sports lot.

Johnson inquired as to how the minimum 30 bedroom threshold was determined. Wilwerding stated that the requirement would be illogical for a single building compared to a complex. The 30 bedroom threshold was a starting point. Johnson believes that 30 bedrooms is a high.

Severino inquired if there was a maximum height requirement for multifamily buildings. Wilwerding responded that generally 50 feet is the maximum height allowable in a R-3 zoning district. Severino is concerned that developers would consider adding levels to their buildings to compensate for the loss in area to required recreational amenities. Wilwerding added that the normal cap is 16 units per acre. At that density, the 75 s.f. per bedroom fits on the site. He evaluated these requirements against 62W, which is 26.5 units per acre, against the proposed amenity requirements and they exceeded the minimum; the building is shaped like an "E" with 2 courtyards containing a pool and a lawn with park benches shade structures and grills. They do not have a playground but they would still exceed the recreational amenities requirement. The underground parking facilitates the open space and amenities. Anderson noted that 62W is on 62<sup>nd</sup> Ave near the school where there is a playground and that it would be reasonable to consider the distance of multifamily complexes to existing schools and parks.

Severino stated that recommending a playground is an admirable idea however, it would not occupy the youth creating the majority of the problems. He would not like the amenity requirement to overlook the age group that needs amenities to reduce the number of instances. He suggests an amenity recommendation tailored to teenagers and young adults would better address the target demographic.

Anderson inquired if clubhouse amenities, such as a climbing wall or an indoor basketball court would meet the recreational amenities requirement. Wilwerding stated that the report is not specific to clubhouse amenities however; the motivation of the requirement is to create a space where people can congregate and engage in constructive activities.

Petersma suggested that the sports court be the initial requirement then increase to requiring a playground for larger complexes. There should be a trade-off between the parkland dedication requirements and that of recreational amenities. Wilwerding stated that it has been discussed whether or not the recreational amenities requirement superseded the parkland dedication requirement. The thought is that the recreational amenities would be in addition to the parkland dedication requirements however, there is some thought that if they are putting in these amenities there should be some trade-off given on the parkland requirement. The parkland dedication requirement tends to be lower for apartment complexes because there are less people per unit.

Petersma stated that it would be reasonable if the developer is permitted to intrude upon the open space requirement with the recreational amenities and not be penalized.

Johnson noted that the parkland dedication figure is unbiased between single family residences and multifamily residences. Wilwerding explained that the figure is 5 acres of parkland per 1,000 residents. Wolfe added the discrepancy is in the number of persons per unit. Wilwerding clarified that in a multifamily the figure is 1.6 and in a single family dwelling

the figure is 2.98 people per unit. Johnson noted that in a single family the children can play in the backyard however, that is not the case in a multifamily; this is not an equitable formula.

Severino stated that park space is setup for the community's use where as the recreational amenities requirement is specifically for the residents of the complex. A balance needs to be created because the recreational amenities for the complex are not for the community. Wilwerding agreed.

Severino stated that he believes that it is a good idea. Petersma agrees if Council would like to explore and if it's cost effective. Spencer thinks it's a good plan to keep the youth occupied. Petersma stated that the recreational amenities requirement should be effective in addressing the goal of lowering the number of incidents among the youth in multifamily dwellings.

Anderson stated that it would be interesting to report the count of incidents by season and by month; in the Midwest there are significant months out of the year where it is difficult to get outside. Petersma added that he would like to see the report address Midwestern models of recreational amenities. Wilwerding stated that he does not believe that there are any examples of a Midwestern recreational amenities model.

Pavlovec would like to see clubhouse amenities addressed in the report because many of the recommendations would not be practical in the winter months.

Johnson stated as an example, that the teenage residents of 62W may appreciate a skateboarding in the far wing of the parking. Anderson added that interesting and artistic walk ways that direct you to the various green spaces could be included in the recommended amenities. Wilwerding noted that one of the projects on the west side created a map distributed by the management that depicting the resident's location to trails and parks in the area.

Anderson inquired if a public hearing would be the next step. Wilwerding affirmed and clarified that they would like to get further with the development process and create the framework of an ordinance. Petersma suggested that the public hearings include multifamily residents or be held at multifamily complexes. Wilwerding noted that the police department has established good working relationships with the management staff at multifamily complexes to facilitate such open communication.

## **8. Adjournment**

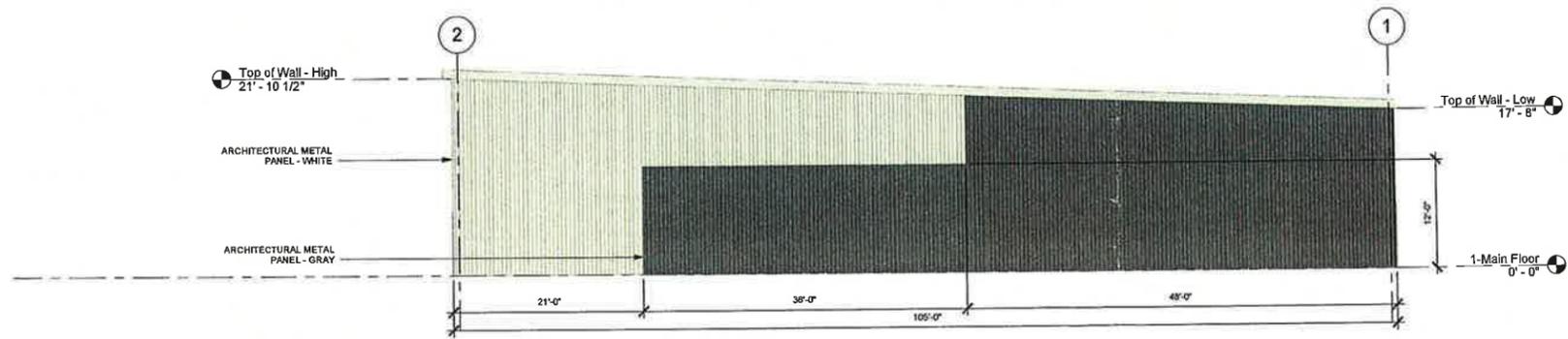
Meeting adjourned at 8:04 PM.

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**Chair**

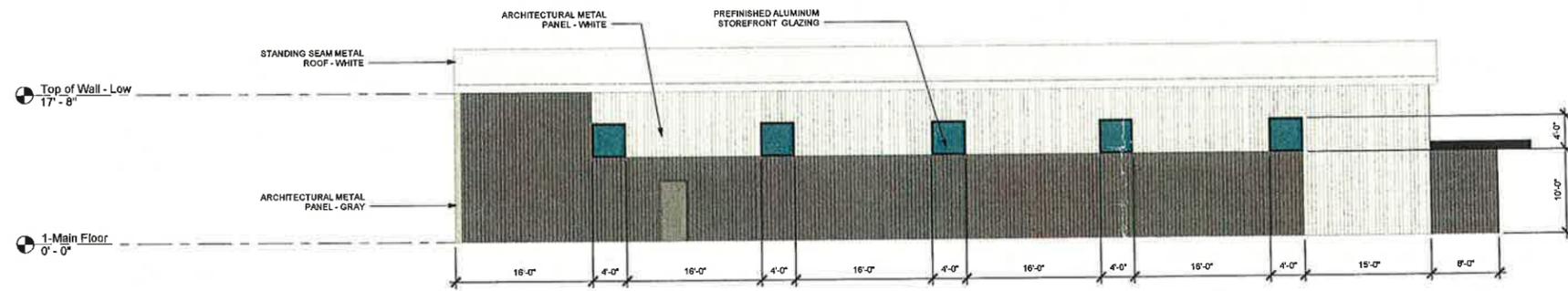
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**Secretary**



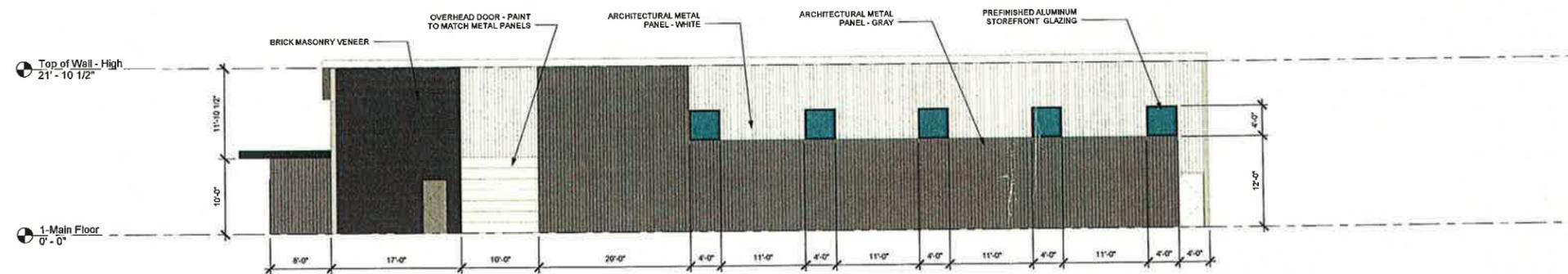
METAL PANEL = 2075sf  
TOTAL = 2075sf

1 Exterior Elevation - North  
1/8" = 1'-0"



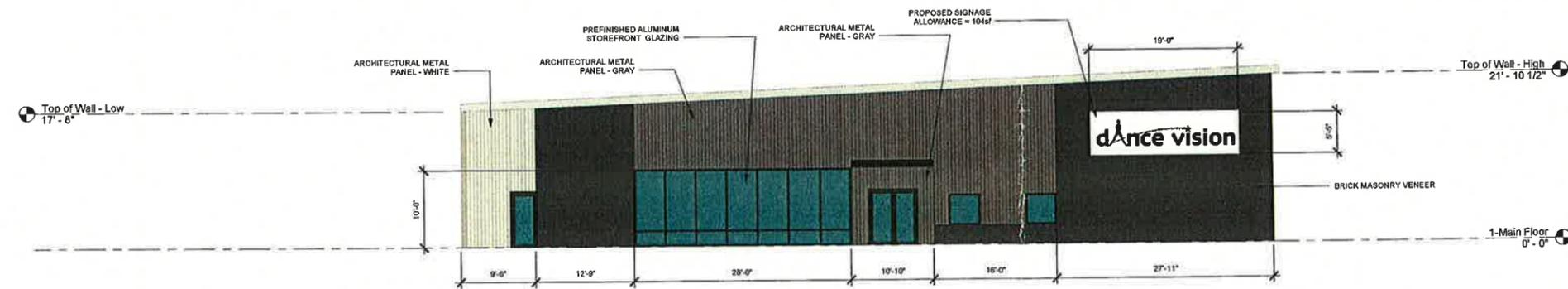
METAL PANEL = 2032sf  
GLAZING = 80sf  
TOTAL = 2112sf

2 Elevation 2 - West Copy 1  
1/8" = 1'-0"



METAL PANEL = 2040sf  
MASONRY = 371sf  
GLAZING = 180sf  
TOTAL = 2591sf

3 Elevation 3 - East Copy 1  
1/8" = 1'-0"



METAL PANEL (49%) = 832sf  
MASONRY (51%) = 864sf  
GLAZING = 379sf  
TOTAL = 2075sf  
SIGNAGE @ 5% = 104sf

4 Elevation 4 - South Construction  
1/8" = 1'-0"



NOT FOR CONSTRUCTION

DANCE VISION

8711 THOMAS AVE., JOHNSTON, IOWA

15080	

A2

CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.  
DATE REC'D: 09/14/2010

PRELIMINARY - NOT FOR CONSTRUCTION

# DANCE VISION STUDIO SITE IMPROVEMENT PLAN

## SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 DEMO PLAN / EX. CONDITIONS
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C7.1 SWPPP

## PROPERTY DESCRIPTION:

LOT 4 AND THE WEST 65.00 FEET OF LOT 3 IN WINDSOR OFFICE PARK PLAT 1, AN OFFICIAL PLAT NOW INCLUDED IN AND FORMING A PART OF THE CITY OF JOHNSTON, POLK COUNTY, IOWA.

SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD, SAID TRACT OF LAND CONTAINS 1.43 ACRES (82,286 SQUARE FEET) MORE OR LESS.

ADDRESS:  
8711 THOMAS AVENUE  
JOHNSTON, IA 50131

OWNER / PREPARED FOR:  
ELSIE JOHN PROPERTIES LLC  
CONTACT: SABETHA MUMM  
5859 MERLE HAY ROAD  
PO BOX 879  
JOHNSTON, IA 50131-0679  
PH: (515)270-8299

ZONING:  
WINDSOR OFFICE PUD PER ORDINANCE 724,  
APPROVED OCTOBER 5, 2005

PARKING REQUIREMENTS:  
PARKING REQUIRED  
(1 PER 3 OCCUPANTS @ 139 + 1 PER EMPLOYEE @ 5) = 52 STALLS  
PARKING PROVIDED = 52 STALLS (INCL. 3 ADA)

OPEN SPACE REQUIREMENTS:  
TOTAL SITE AREA = 82,286 SF (1.43 Ac)  
REQUIRED OPEN SPACE = 18,665 SF (30.0%)

EXISTING OPEN SPACE = 82,286 SF (100.0%)  
EXISTING IMPERVIOUS = 0 SF (0.0%)

PROPOSED OPEN SPACE = 28,895 SF (46.4%)  
PROPOSED IMPERVIOUS = 33,391 SF (53.6%)

## BENCHMARK:

CITY OF JOHNSTON STANDARD 3" ROUND BRASS CAP LOCATED IN THE SOUTHWEST CORNER OF THE CONCRETE TOP SLAB OF THE WATER METER VAULT. THE WATER VAULT IS LOCATED ON THE WEST SIDE OF MERLE HAY ROAD 200 FEET NORTH OF BEAVER CREEK IN FRONT OF JORDAN MOTORS. ELEVATION = 814.94

## GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS 2014 VERSION AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF JOHNSTON MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF JOHNSTON.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

## PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF JOHNSTON STANDARD SPECIFICATIONS AND SUDAS 2014 VERSION.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A/CITY CODES THE A.D.A/CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

## UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (515-276-0487) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-600, SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF JOHNSTON.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF JOHNSTON WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

## UTILITY CONFLICT NOTES:

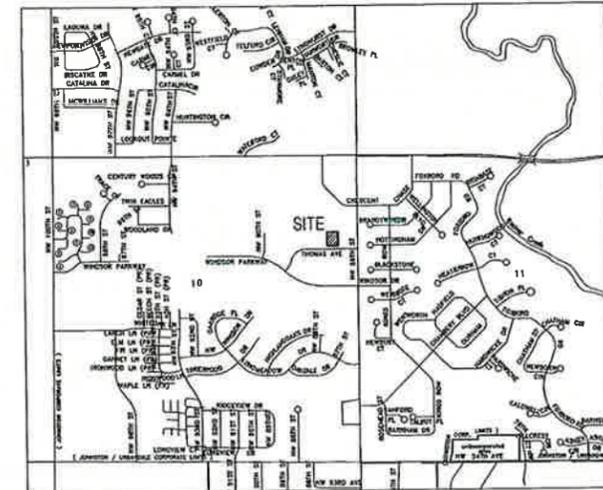
- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AND EXISTING UTILITY AND PROPOSED CONSTRUCTION

## WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

## FLOOD PLAIN NOTE:

- THIS SITE IS LOCATED WITHIN ZONE "X" AS SHOWN ON THE FIRM MAP FOR THE CITY OF JOHNSTON, POLK COUNTY, IOWA, COMMUNITY PANEL NO. 1907450005D, DATED: JULY 19, 2000.



VICINITY MAP  
NOT TO SCALE

## LEGEND:

- SAN - SANITARY SEWER
- ST - STORM SEWER
- W - WATER LINE
- G - GAS LINE
- UE - UNDERGROUND ELECTRIC
- OE - OVERHEAD ELECTRIC
- TELE - TELEPHONE LINE
- FIO - FIBER OPTIC
- CATV - CABLE TV
- ⊙ - STORM MANHOLE
- ⊠ - CURB INTAKE
- - SURFACE INTAKE
- ⊠ - FLARED END SECTION
- ⊙ - SANITARY MANHOLE
- ⊙ - CLEANOUT
- ⊙ - FIRE HYDRANT
- ⊙ - SPRINKLER
- ⊙ - IRRIGATION CONTROL VALVE
- ⊙ - WATER MANHOLE
- ⊙ - WELL
- ⊙ - WATER VALVE
- ⊙ - WATER SHUT OFF
- ⊙ - YARD HYDRANT
- ⊙ - ELECTRIC MANHOLE
- ⊙ - ELECTRIC METER
- ⊙ - ELECTRIC RISER
- ⊙ - ELECTRIC VAULT
- ⊙ - POWER POLE
- ⊙ - TRANSFORMER POLE
- ⊙ - LIGHT POLE
- ⊙ - ELECTRIC JUNCTION BOX
- ⊙ - ELECTRIC PANEL
- ⊙ - TRANSFORMER
- ⊙ - GROUND LIGHT
- ⊙ - GUY WIRE
- ⊙ - ELECTRIC MANHOLE
- ⊙ - GAS METER
- ⊙ - GAS VALVE
- ⊙ - AIR CONDITIONING UNIT
- ⊙ - TELEPHONE RISER
- ⊙ - TELEPHONE VAULT
- ⊙ - TELEPHONE MANHOLE
- ⊙ - TRAFFIC SIGNAL MANHOLE
- ⊙ - FIBER OPTIC RISER
- ⊙ - FIBER OPTIC FAULT
- ⊙ - CABLE TV RISER
- ⊙ - SIGN
- ⊙ - DENOTES NUMBER OF PARKING STALLS
- ⊙ - PROPERTY CORNER - FOUND AS NOTED
- ⊙ - PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- ⊙ - SECTION CORNER - FOUND AS NOTED

## ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOWLINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS PUBLIC UTILITY EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.

DATE REC'D: 09/11/10

CASE NO.: PZ 110-29



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: CHARLES J. BISHOP, P.E. 11055 DATE: \_\_\_\_\_  
 LICENSE RENEWAL DATE: DEC. 31, 2016  
 PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_



## UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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 Civil Engineering & Land Surveying  
 Established 1959

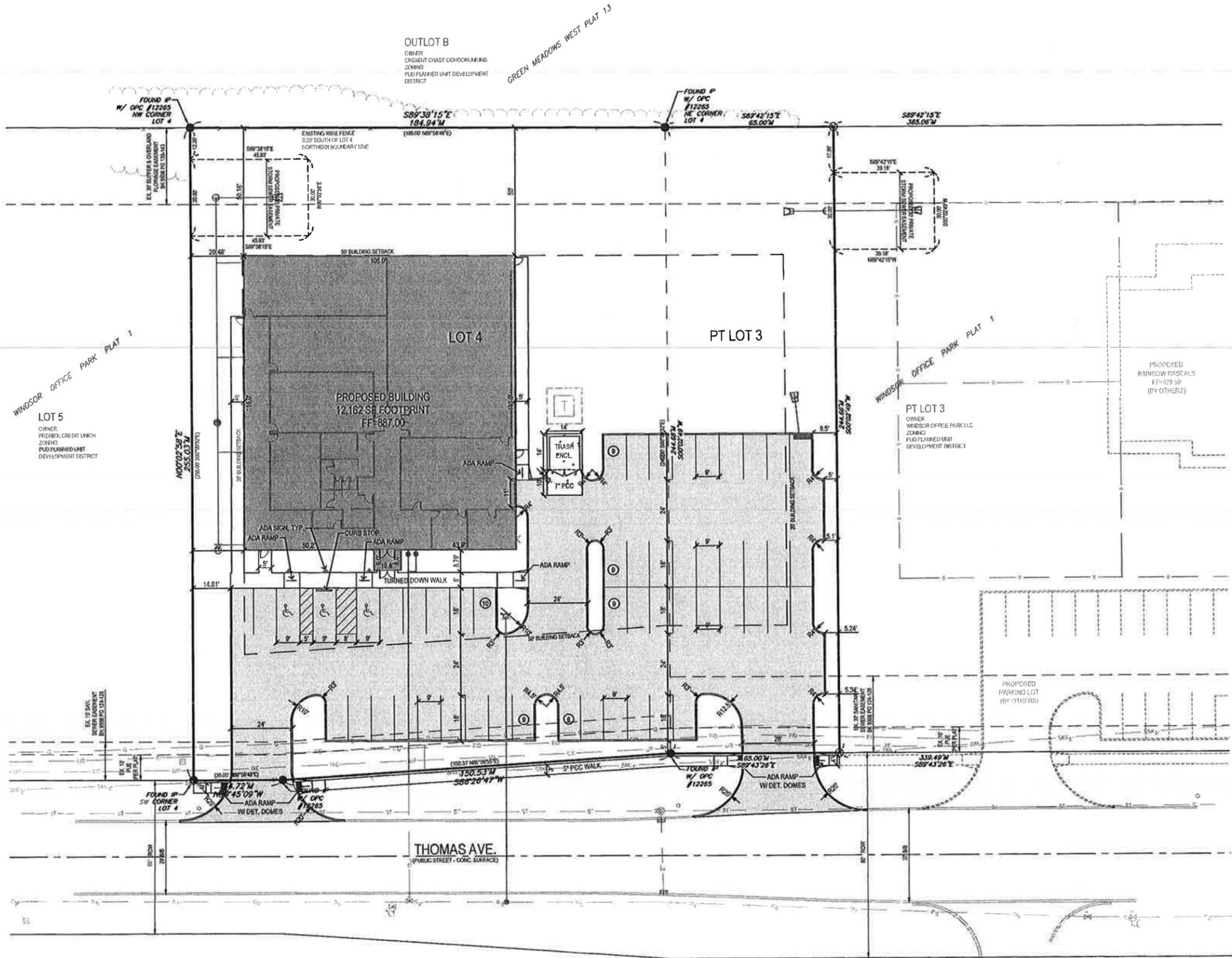
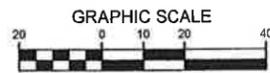
DANCE VISION STUDIO  
SITE IMPROVEMENT PLAN  
COVER SHEET

REFERENCE NUMBER:	
DRAWN BY:	EWM
CHECKED BY:	C.B.
REVISION DATE:	08-26-16 09-14-16
PROJECT NUMBER:	160293
SHEET NUMBER:	C0.1



PRELIMINARY- NOT FOR CONSTRUCTION

8/14/2016 8:56:54 AM I:\LAND PROJECTS 2016\16293 DANCE VISION JOHNSTON\DWG\LAYOUT.DWG



DANCE VISION STUDIO  
SITE IMPROVEMENT PLAN

LAYOUT PLAN

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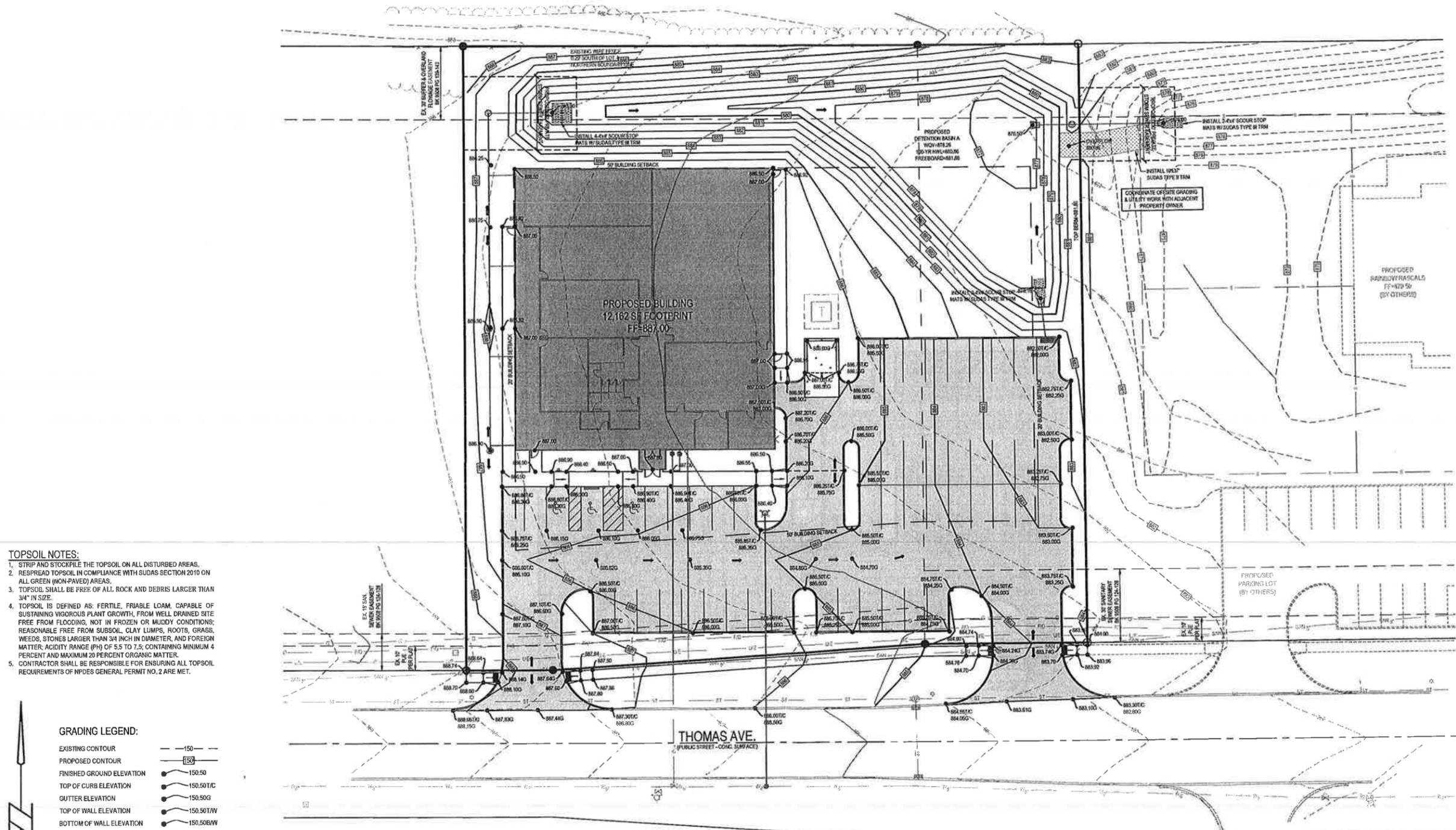
3501 104th Street  
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REFERENCE NUMBER:  
DRAWN BY:  
EWM  
CHECKED BY:  
CJB  
REVISION DATE:  
08-26-16  
09-14-16

PROJECT NUMBER:  
**160293**  
SHEET NUMBER:  
**C2.1**

PRELIMINARY - NOT FOR CONSTRUCTION

M:\LANU\PROJECTS\2016\160293 DANCE VISION JOHNSTON\DWG\3 GRADING.DWG



**TOPSOIL NOTES:**

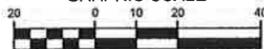
1. STRIP AND STOCKPILE THE TOPSOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL IN COMPLIANCE WITH SUDAS SECTION 2010 ON ALL GREEN (NON-PAVED) AREAS.
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

**GRADING LEGEND:**

- EXISTING CONTOUR ——— 150 ———
- PROPOSED CONTOUR ——— 150 ———
- FINISHED GROUND ELEVATION ● 150.50
- TOP OF CURB ELEVATION ● 150.50TC
- GUTTER ELEVATION ● 150.50G
- TOP OF WALL ELEVATION ● 150.50TW
- BOTTOM OF WALL ELEVATION ● 150.50BW
- EDGE OF WALK ELEVATION ● 150.50EW
- TOP OF STAIR ELEVATION ● 150.50TS
- BOTTOM OF STAIR ELEVATION ● 150.50BS

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

**GRAPHIC SCALE**



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DANCE VISION STUDIO  
 SITE IMPROVEMENT PLAN

**GRADING PLAN**

REFERENCE NUMBER:

DRAWN BY:  
EWM

CHECKED BY:  
CJB

REVISION DATE:  
08-26-16  
09-14-16

PROJECT NUMBER:  
**160293**

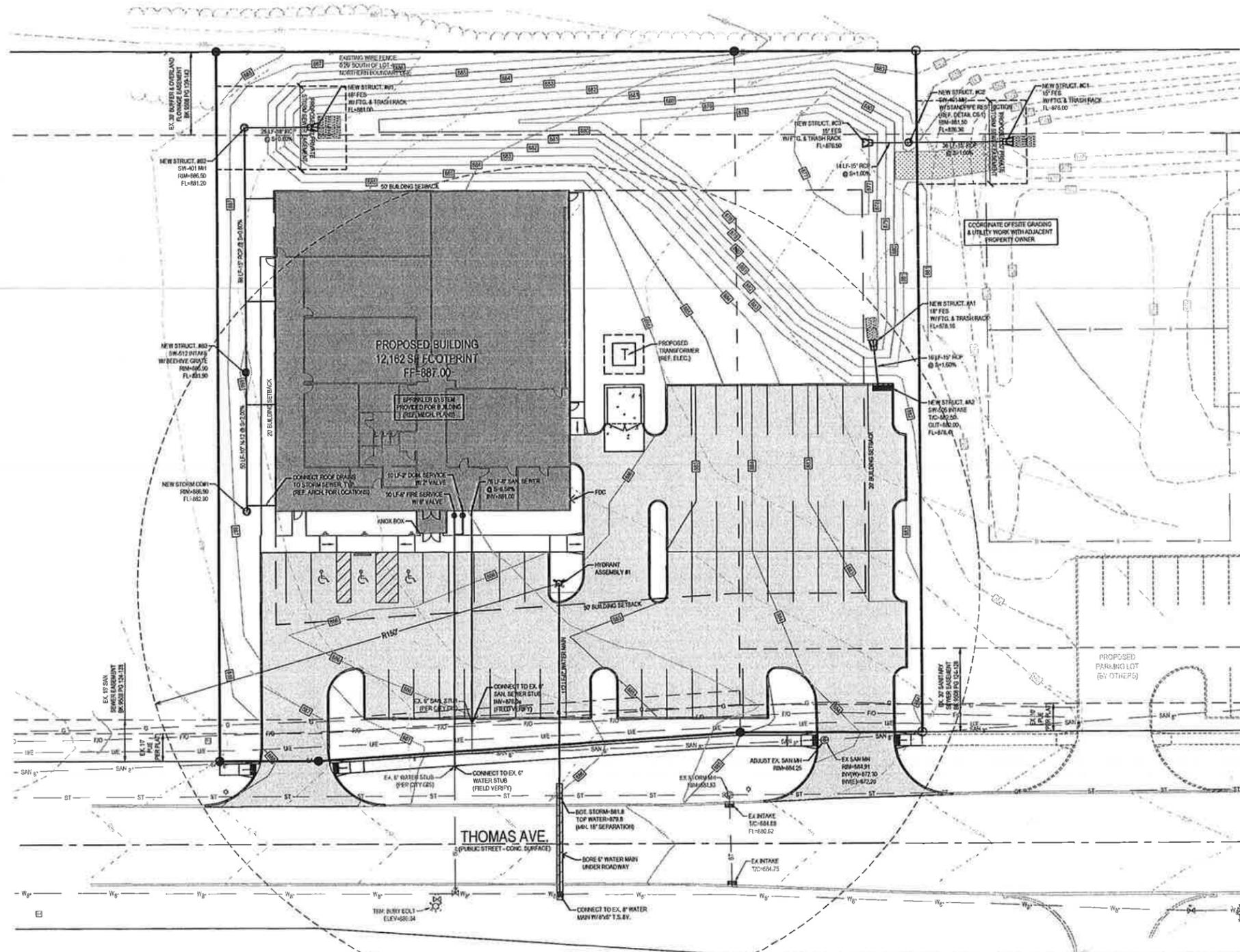
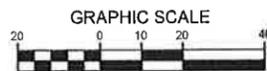
SHEET NUMBER:  
**C3.1**

PRELIMINARY - NOT FOR CONSTRUCTION

9/14/2019 8:51:20 AM M-LAND PROJECTS 2018160293 DANCE VISION JOHNSTON/INGKA UTILITY.DWG

**UTILITY NOTES:**

1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' 0" OF COVER UNLESS NOTED OTHERWISE.
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

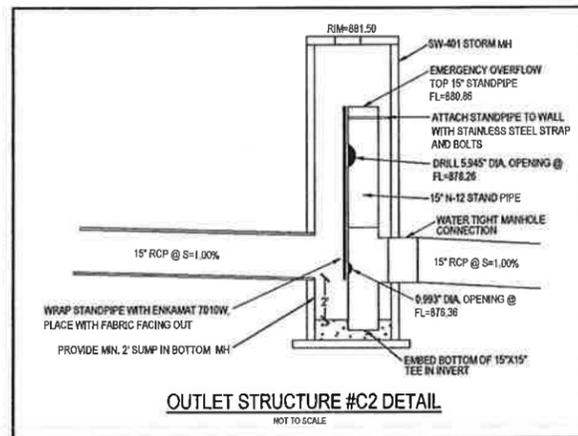
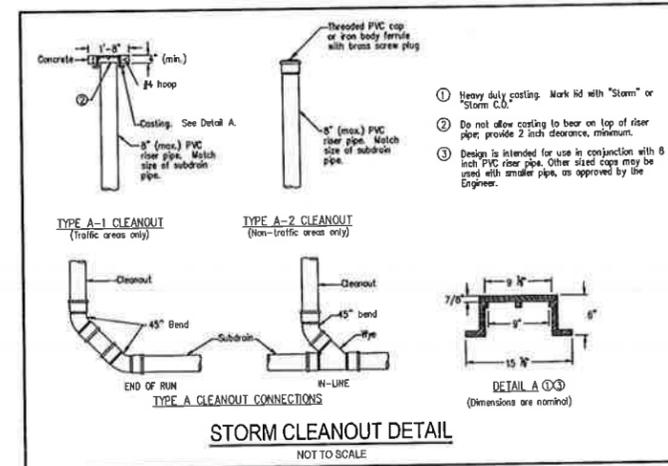
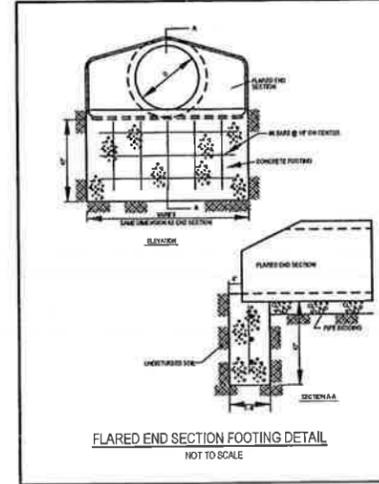
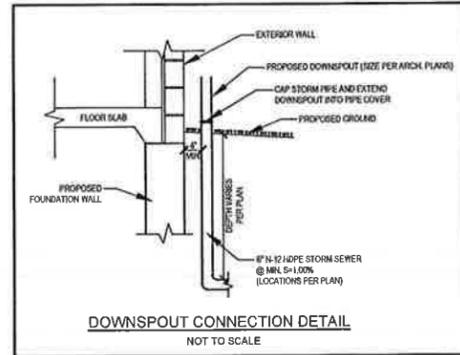
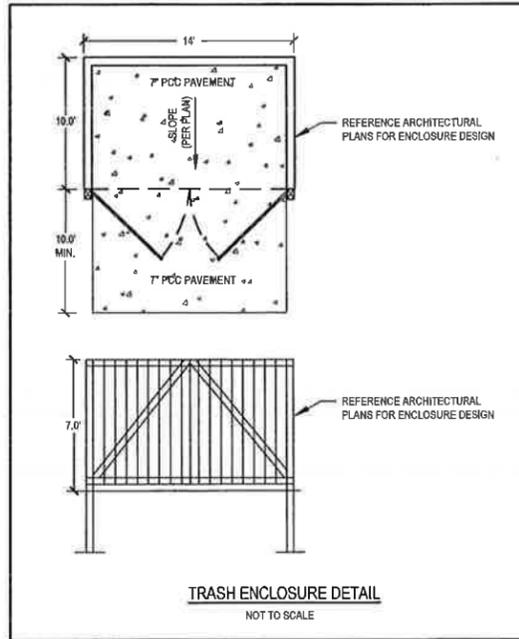
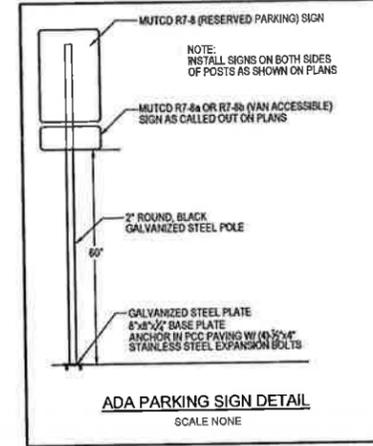
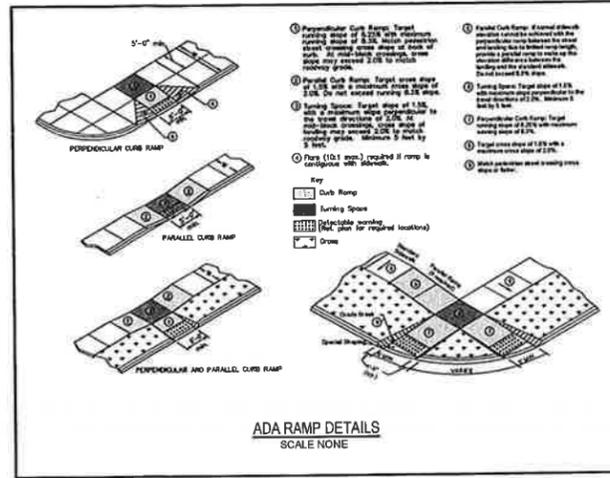
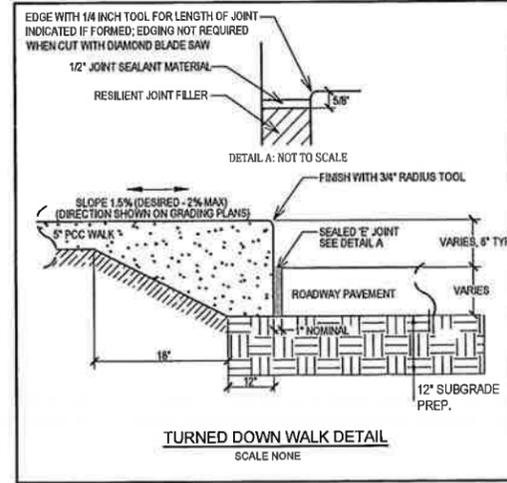
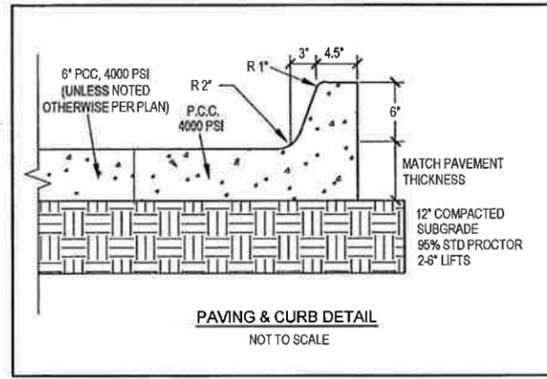


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**DANCE VISION STUDIO  
 SITE IMPROVEMENT PLAN  
 UTILITY PLAN**

REFERENCE NUMBER:
DRAWN BY: EWM
CHECKED BY: CJB
REVISION DATE: 08-26-16 09-14-16
PROJECT NUMBER: <b>160293</b>
SHEET NUMBER: <b>C4.1</b>





REFERENCE NUMBER:
DRAWN BY: EWM
CHECKED BY: CJB
REVISION DATE: 08-26-16 09-14-16

PROJECT NUMBER: <b>160293</b>
----------------------------------

SHEET NUMBER: <b>C6.1</b>
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# STORM WATER POLLUTION PREVENTION PLAN

**PROPERTY DESCRIPTION:**  
 LOT 4 AND THE WEST 65.00 FEET OF LOT 3 IN WINDSOR OFFICE PARK PLAT 1, AN OFFICIAL PLAT NOW INCLUDED IN AND FORMING A PART OF THE CITY OF JOHNSTON, POLK COUNTY, IOWA.

SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD.  
 SAID TRACT OF LAND CONTAINS 1.43 ACRES (82,286 SQUARE FEET) MORE OR LESS.

**ADDRESS:**  
 8711 THOMAS AVENUE  
 JOHNSTON, IA 50131

**OWNER / PREPARED FOR:**  
 ELSIE JOHN PROPERTIES LLC  
 CONTACT: SIBETHA MUMM  
 5660 MERLE HAY ROAD  
 PO BOX 879  
 JOHNSTON, IA 50131-0879  
 PH: (515)270-4299

**ZONING:**  
 WINDSOR OFFICE PARK PUD

**OPEN SPACE REQUIREMENTS:**  
 TOTAL SITE AREA = 82,286 SF = 1.43 Ac.

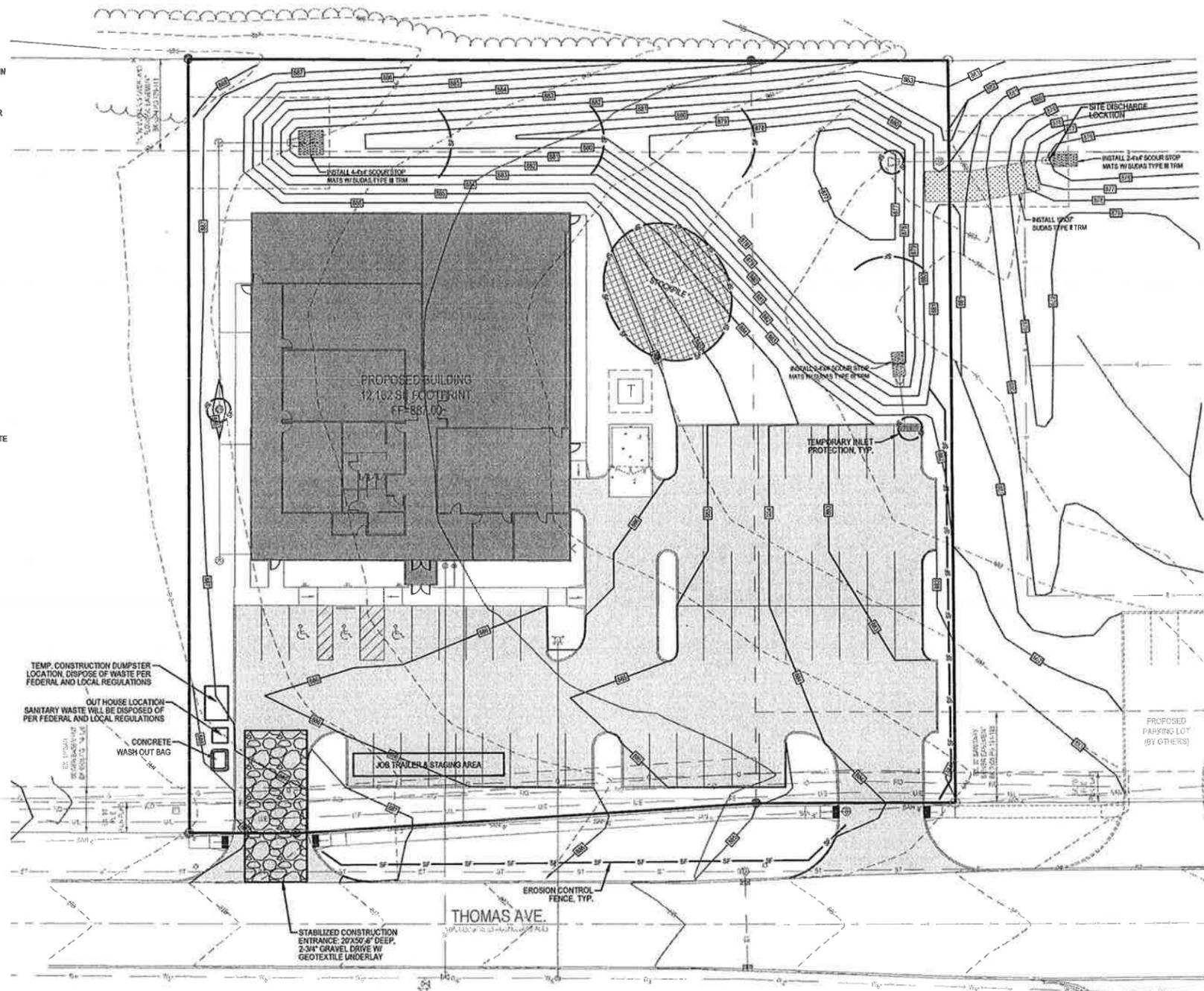
EXISTING OPEN SPACE = 62,286 SF (100.0%)  
 EXISTING IMPERVIOUS = 0 SF (0.0%)

PROPOSED OPEN SPACE = 28,895 SF (46.4%)  
 PROPOSED IMPERVIOUS = 33,391 SF (53.6%)

**BENCHMARK:**  
 CITY OF JOHNSTON STANDARD 3" ROUND BRASS CAP LOCATED IN THE SOUTHWEST CORNER OF THE CONCRETE TOP SLAB OF THE WATER METER VAULT. THE WATER VAULT IS LOCATED ON THE WEST SIDE OF MERLE HAY ROAD 200 FEET NORTH OF BEAVER CREEK IN FRONT OF JORDAN MOTORS.  
 ELEVATION = 814.84

**QUANTITY ESTIMATE:**

EROSION CONTROL FENCE	477 LF
TEMP. INLET PROTECTION	3 EA
SEED/ROD (PER LANDSCAPE PLAN)	0.7 AC
SCOUR STOP MATS	8 EA
SUDAS TYPE II TRM	370 SF
SUDAS TYPE III TRM	128 SF



**EROSION CONTROL NOTES:**

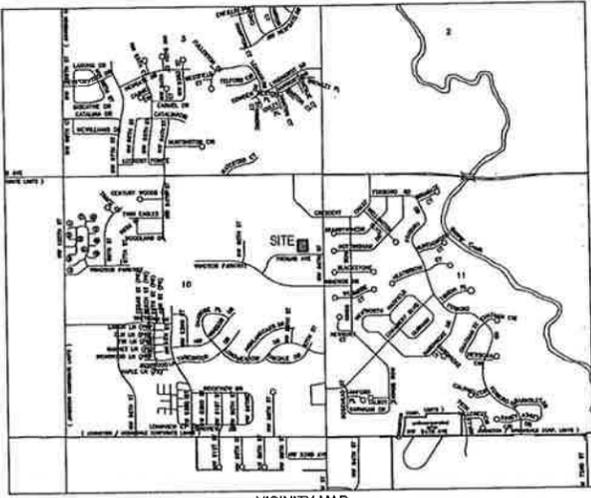
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

**EROSION CONTROL REMOVAL NOTES:**

- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO, SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

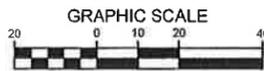
**TOPSOIL NOTES:**

- STRIP AND STOCKPILE THE TOPSOIL ON ALL DISTURBED AREAS.
- RESPEED TOPSOIL IN COMPLIANCE WITH SUDAS SECTION 2010 ON ALL GREEN (NON-PAVED) AREAS.
- TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
- TOPSOIL IS DEFINED AS: FERTILE, FRAGILE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER, ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.



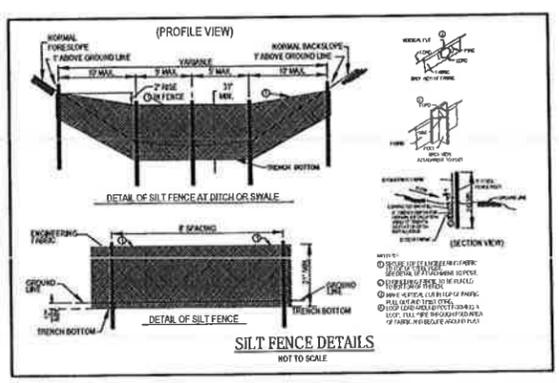
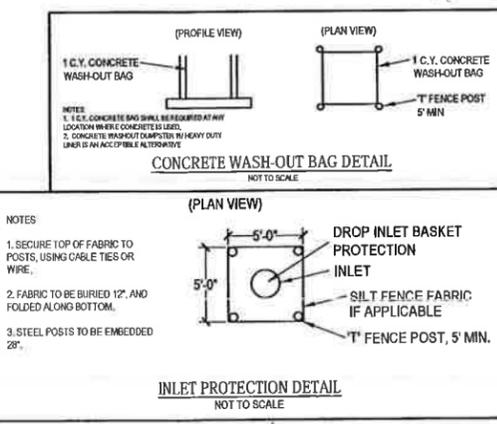
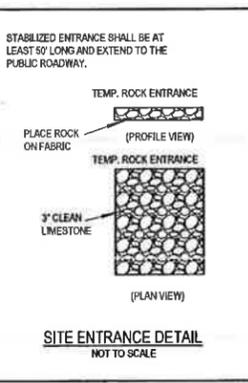
**LEGEND:**

- - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- SF SILT FENCE
- SAN SANITARY SEWER
- ST STORM SEWER
- W WATER LINE
- G GAS LINE
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC
- TELE TELEPHONE LINE
- FO FIBER OPTIC
- CATV CABLE TV
- SM STORM MANHOLE
- CI CURB INTAKE
- SI SURFACE INTAKE
- FE FLARED END SECTION
- SM SANITARY MANHOLE
- CL CLEANOUT
- FX FIRE HYDRANT
- SP SPRINKLER
- IV IRRIGATION CONTROL VALVE
- WM WATER MANHOLE
- WELL
- WV WATER VALVE
- WS WATER SHUT OFF
- YH YARD HYDRANT
- EM ELECTRIC MANHOLE
- EM ELECTRIC METER
- ER ELECTRIC RISER
- EV ELECTRIC VAULT
- PP POWER POLE
- TP TRANSFORMER POLE
- LP LIGHT POLE
- EJB ELECTRIC JUNCTION BOX
- EP ELECTRIC PANEL
- TR TRANSFORMER
- GL GROUND LIGHT
- GW GUY WIRE
- EH ELECTRIC HANDHOLE
- GM GAS METER
- GV GAS VALVE
- AC AIR CONDITIONING UNIT
- TR TELEPHONE RISER
- TV TELEPHONE VAULT
- TM TELEPHONE MANHOLE
- TS TRAFFIC SIGNAL MANHOLE
- FR FIBER OPTIC RISER
- FF FIBER OPTIC FAULT
- CR CABLE TV RISER
- SN SIGN



**SWPPP LEGEND:**

- SF SILT FENCE (TYP)
- - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- STABILIZED ENTRANCE 30"x30"x6" DEEP 2" CLEAN CRUSHED ROCK DRIVE ON GEOTEXTILE



**UTILITY NOTE:**  
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

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**DANCE VISION STUDIO  
 SITE IMPROVEMENT PLAN**

REFERENCE NUMBER:  
 DRAWN BY:  
 EWM  
 CHECKED BY:  
 CJB  
 REVISION DATE:  
 08-26-16  
 09-14-16

PROJECT NUMBER:  
**160293**

SHEET NUMBER:  
**C7.1**



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
AGENDA COMMUNICATION  
October 3, 2016 Meeting

SUBJECT: Payment of Claims	ACTION REQUIRED: <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval J.D. <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
----------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

SYNOPSIS: Attached for your review is the list of claims for payment in the amount of \$1,763,828.77

FISCAL IMPACT: Money is available to pay claims in the amount of \$1,763,828.77

RECOMMENDATION: By motion approve payment of claims in the amount of \$1,763,828.77

**Motion by \_\_\_\_\_, second by \_\_\_\_\_, to approve claims as presented.**

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT	
MISC	ISSA, MOHAMMED	ISSA, MOHAMMED:DEPOSIT RET	GENERAL FUND	CROWN POINT	65.00
	ROLLINS, ANTHONY	ROLLINS, ANTHONY:DEPOSIT R	GENERAL FUND	SIMPSON BARN	390.00
	SEVILLANO, MARIBEL	DEPOSIT RETURN - THE BARN	GENERAL FUND	SIMPSON BARN	850.00
	WALKER, FRED	WALKER, FRED:DEPOSIT RETUR	GENERAL FUND	CROWN POINT	195.00
	WOODWARD, SHAWNA	WOODWARD, SHAWNA:DEPOSIT R	GENERAL FUND	CROWN POINT	162.50
				TOTAL:	1,662.50
ADAM CRISWELL	EYEWARE REIMBURSEMENT	GENERAL FUND	POLICE		300.00
				TOTAL:	300.00
AHLERS & COONEY PC	NW 66TH AVE KEMPTON BRIDGE	GENERAL FUND	ROADS, BRIDGES, SIDEWALK		634.77
	NW 63RD TO 59TH PL (tif #1 NW 64th & 63rd PL		ROADS, BRIDGES, SIDEWA		1,476.22
	FIBER OPTIC SYS. PH.3 W/ S	FIBER OPTIC PROJEC	FIBER OPTIC SYSTEM		405.96
	FIBER OPTIC SYSTEM, PHASE	FIBER OPTIC PROJEC	FIBER OPTIC SYSTEM		214.05
	MHR EAST IMPR PH IB & PH 3	MERLE HAY EAST IMP	ROADS, BRIDGES		1,821.60
	MHR EAST IMP. PH 4 CONST.	MERLE HAY EAST IMP	ROADS, BRIDGES		2,229.09
	TERRA LAKE - PHASE 3	TERRA LAKE	PARKS & TRAILS		2,143.47
	BEAVER DRIVE TRAIL, PH. 4	BEAVER DR. TRAIL	ROADS, BRIDGES, SIDEWA		1,033.35
	NW 70TH - PHASE I	70TH AVE IMP (86TH	ROADS, BRIDGES, SIDEWALK		1,582.83
	NW 100TH-62ND TO NW 70TH C	NW 100TH (NW62NDto	ROADS, BRIDGES, SIDEWALK		738.11
				TOTAL:	12,279.45
ALADTEC INC.	SCHEDULING SOFTWARE	GENERAL FUND	FIRE		1,100.00
	SCHEDULING SOFTWARE	GENERAL FUND	AMBULANCE		1,100.00
				TOTAL:	2,200.00
ALLIANCE CONSTRUCTION GROUP	NW 70TH AVE IMP.- 86TH ST-	70TH AVE IMP (86TH	ROADS, BRIDGES, SIDEWALK		4,205.65
	NW 70TH AVE IMP.- 86TH ST-	70TH AVE IMP (86TH	ROADS, BRIDGES, SIDEWALK		128,540.31
	NW 70TH AVE IMP.- 86TH ST-	70TH AVE IMP (86TH	ROADS, BRIDGES, SIDEWALK		12,285.21
	NW 70TH AVE IMP.- 86TH ST-	70TH AVE IMP (86TH	ROADS, BRIDGES, SIDEWALK		30,218.41
	NW 70TH AVE IMP.- 86TH ST-	70TH AVE IMP (86TH	ROADS, BRIDGES, SIDEWALK		29,260.00
	NW 70TH AVE IMP.- 86TH ST-	70TH AVE IMP (86TH	ROADS, BRIDGES, SIDEWALK		14,967.25
				TOTAL:	219,476.83
APPLIED ECOLOGICAL SERVICES	GWH GREENBELT, PH 3 - LAND	2012 STORM DRAINAG	STORM SEWER		1,562.75
				TOTAL:	1,562.75
APS - AWARDS PROGRAM SERVICES, INC	HELMET TAGS	GENERAL FUND	FIRE		48.00
	HELMET TAGS	GENERAL FUND	AMBULANCE		48.00
				TOTAL:	96.00
ARAMARK UNIFORM SERVICES	UNIFORMS	GENERAL FUND	PARKS & TRAILS		321.50
	UNIFORMS	GENERAL FUND	PARKS & TRAILS		186.15
	MATS FOR CROWN POINT	GENERAL FUND	CROWN POINT		56.33
	UNIFORMS	GENERAL FUND	BUILDING & HOUSING		5.62
	UNIFORMS	GENERAL FUND	BUILDING & HOUSING		5.62
	UNIFORMS	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK		228.07
	UNIFORMS	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK		228.07
	UNIFORMS	WATER O/M	WATER		67.84
	UNIFORMS	WATER O/M	WATER		77.56
	UNIFORMS	SEWER O/M	WASTEWATER		67.83
	UNIFORMS	SEWER O/M	WASTEWATER		77.55
				TOTAL:	1,322.14
ARDICK EQUIPMENT CO INC	"NO PARKING SIGNS"	NW 64th & 63rd PL	ROADS, BRIDGES, SIDEWA		47.50
	VARIOUS SIGNS	MERLE HAY EAST IMP	ROADS, BRIDGES		223.00

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
			TOTAL:	270.50
ARNOLD MOTOR SUPPLY, LLP	WIPER BLADES	GENERAL FUND	POLICE	16.00
	OIL	GENERAL FUND	FIRE	94.95
	SHOP CLEANING SUPPLIES	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	14.71
	GLASS CLEANER AND BLEACH	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	95.19
			TOTAL:	220.85
ARROW INTL'	EMS SUPPLIES	GENERAL FUND	AMBULANCE	2,050.10
			TOTAL:	2,050.10
BANKERS TRUST	PRSA MTG. LUNCHEON - PRICE	GENERAL FUND	COMMUNICATIONS	30.00
			TOTAL:	30.00
BATTERIES PLUS BULBS	BATTERIES - PSB	GENERAL FUND	POLICE	915.90
	BATTERIES	GENERAL FUND	POLICE	83.85
			TOTAL:	999.75
BAUER BUILT	TIRE MOUNT AND VALVE STEMS	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	19.00
			TOTAL:	19.00
BEISSER LUMBER COMPANY	LUMBER FOR SIDEBOARDS	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	111.80
			TOTAL:	111.80
BEST PORTABLE TOILETS	TOILET RENTAL SERVICES	GENERAL FUND	PARKS & TRAILS	120.00
			TOTAL:	120.00
BOHNSACK & FROMMELT, LLP	PROGRESS BILLING AUDIT SER	GENERAL FUND	FINANCE	1,425.00
	PROGRESS BILLING AUDIT SER	WATER O/M	WATER	1,425.00
	PROGRESS BILLING AUDIT SER	SEWER O/M	WASTEWATER	1,425.00
			TOTAL:	4,275.00
BOUND TREE MEDICAL, LLC	EMS SUPPLIES	GENERAL FUND	AMBULANCE	60.96
	EMS SUPPLIES	GENERAL FUND	AMBULANCE	101.60
	EMS SUPPLIES	GENERAL FUND	AMBULANCE	412.69
	EMS SUPPLIES	GENERAL FUND	AMBULANCE	8.04
	EMS SUPPLIES	GENERAL FUND	AMBULANCE	293.10
	EMS SUPPLIES	GENERAL FUND	AMBULANCE	343.91
	EMS SUPPLIES	GENERAL FUND	AMBULANCE	48.75
			TOTAL:	1,269.05
CAPITAL CITY EQUIPMENT CO	FLEX PIN FOR BUCKET TEETH	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	25.60
	RENTAL SERVICES - EXCAVATO	SEWER O/M	WASTEWATER	825.00
			TOTAL:	850.60
CARQUEST AUTO PARTS	WHELL BEARING AND SEAL	GENERAL FUND	PARKS & TRAILS	22.45
	LICENSE LAMP AND BULB	GENERAL FUND	PARKS & TRAILS	30.41
			TOTAL:	52.86
CENTURY LINK	PARKS SHOP ALARM MONITORIN	GENERAL FUND	PARKS & TRAILS	62.49
	CITY HALL ALARM MONITORING	GENERAL FUND	BUILDING & HOUSING	20.83
	CITY HALL ALARM MONITORING	GENERAL FUND	PLANNING & ZONING	20.83
	CITY HALL ALARM MONITORING	GENERAL FUND	CITY HALL	20.83
	LONG DISTANCE SERVICE	GENERAL FUND	CITY HALL	54.07
	WATER DEPT. ALARM MONITORI	WATER O/M	WATER	58.68
	WATER DEPT. ALARM MONITORI	SEWER O/M	WASTEWATER	58.68

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
			TOTAL:	<u>296.41</u>
CINTAS CORPORATION	FIRST AID SUPPLIES	GENERAL FUND	POLICE	44.50
			TOTAL:	<u>44.50</u>
CINTAS CORPORATION #762	CITY HALL RR CLEANING AND	GENERAL FUND	CITY HALL	37.49
	CITY HALL RR CLEANING	GENERAL FUND	CITY HALL	113.20
			TOTAL:	<u>150.69</u>
CITIES DIGITAL	LASER FISHE MAINT. FEE	GENERAL FUND	BUILDING & HOUSING	416.00
	LASER FISHE MAINT. FEE	WATER O/M	WATER	416.00
	LASER FISHE MAINT. FEE	SEWER O/M	WASTEWATER	416.00
			TOTAL:	<u>1,248.00</u>
CLASS C SOLUTIONS GROUP	BLACK SPRAY PAINT	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	141.09
			TOTAL:	<u>141.09</u>
COPY SYSTEMS INC	COPIER MAINT. & COPIES	GENERAL FUND	POLICE	353.62
	COPIER MAINT. & COPIES	GENERAL FUND	FIRE	43.08
	COPIER MAINT. & COPIES	GENERAL FUND	AMBULANCE	43.07
	INK FOR MAIL MACHINE	GENERAL FUND	CITY ADMINISTRATOR	359.50
	COPIER MAINT. & COPIES	GENERAL FUND	FINANCE	28.10
			TOTAL:	<u>827.37</u>
CSB INSURANCE	ADDL' INSURANCE	GENERAL FUND	PROPERTY, WORK COMP, INS	2,421.00
			TOTAL:	<u>2,421.00</u>
CUSTOM CENTER GROUP LLC	CODE 411 CHALLENGE COINS	GENERAL FUND	POLICE	2,064.00
	CODE 411 CHALLENGE COINS	GENERAL FUND	POLICE	103.20
			TOTAL:	<u>1,960.80</u>
DANKO EMERGENCY EQUIPMENT	FIRE SAFETY HOODS	GENERAL FUND	FIRE	635.91
			TOTAL:	<u>635.91</u>
DASH MEDICAL GLOVES	NITRILE GLOVES	WATER O/M	WATER	38.45
	NITRILE GLOVES	SEWER O/M	WASTEWATER	38.45
			TOTAL:	<u>76.90</u>
DES MOINES AREA COMMUNITY COLLEGE	EMS TRAINING	GENERAL FUND	AMBULANCE	15.00
	EMS TRAINING	GENERAL FUND	AMBULANCE	15.00
	EMS TRAINING	GENERAL FUND	AMBULANCE	15.00
			TOTAL:	<u>45.00</u>
DES MOINES ASPHALT AND PAVING	ASPHALT	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	234.08
	ASPHALT FOR PATCHING ON 10	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	1,606.99
			TOTAL:	<u>1,841.07</u>
DES MOINES IRON & SUPPLY CO.	STEEL FOR TOOLBOX & CHIPPE	GENERAL FUND	PARKS & TRAILS	18.41
			TOTAL:	<u>18.41</u>
DES MOINES PEST CONTROL	PEST CONTROL SERVICE-CITY	GENERAL FUND	CITY HALL	230.00
			TOTAL:	<u>230.00</u>
DES MOINES WATER WORKS	LAB ANALYSIS FEE - PROJECT	WATER O/M	WATER	45.00
			TOTAL:	<u>45.00</u>

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
DOG WASTE DEPOT	LINERS FOR DOGGIE POTS	GENERAL FUND	PARKS & TRAILS	<u>279.00</u>
			TOTAL:	279.00
DORRIAN HEATING & COOLING	A/C REPAIR AND PARTS	GENERAL FUND	PARKS & TRAILS	234.50
	A/C REPAIR AND PARTS	GENERAL FUND	PARKS & TRAILS	<u>65.00</u>
			TOTAL:	299.50
ECHO SYSTEMS	ELECTRICAL SUPPLIES- METER	SAYLORVILLE WATER	WATER	<u>7.44</u>
			TOTAL:	7.44
ELECTRONIC ENGINEERING COMPANY	MICRON & RADIO TOWER SERVI	GENERAL FUND	EMERGENCY MANAGEMENT	144.00
	MICRON & RADIO TOWER SERVI	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	165.60
	MICRON & RADIO TOWER SERVI	GENERAL FUND	PARKS & TRAILS	165.60
	MICRON & RADIO TOWER SERVI	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	165.60
	MICRON & RADIO TOWER SERVI	WATER O/M	WATER	165.60
	MICRON & RADIO TOWER SERVI	SEWER O/M	WASTEWATER	<u>165.60</u>
			TOTAL:	972.00
EXTERIOR SHEET METAL	REPAIR DAMAGED COLUMN- PW	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	<u>603.16</u>
			TOTAL:	603.16
GEMPLER'S	SAFETY GLASSES	GENERAL FUND	PARKS & TRAILS	<u>11.80</u>
			TOTAL:	11.80
GREAT AMERICA FINANCIAL SERVICES CORP.	COPIER LEASE AND COPIES	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	54.19
	COPIER LEASE AND COPIES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	54.19
	COPIER LEASE AND COPIES	WATER O/M	WATER	54.19
	COPIER LEASE AND COPIES	SEWER O/M	WASTEWATER	<u>54.18</u>
			TOTAL:	216.75
GRIMES ASPHALT & PAVING CORP	COLD MIX ASPHALT	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	<u>188.34</u>
			TOTAL:	188.34
HILLYARD/DES MOINES	JANITORIAL SUPPLIES	GENERAL FUND	PARKS & TRAILS	<u>111.42</u>
			TOTAL:	111.42
HOWARD R GREEN COMPANY	NW BEAVER DRIVE - CPS	BEAVER DR. TRAIL	ROADS, BRIDGES, SIDEWA	828.89
	NW 86TH ST PUMP STATION	WATER O/M	WATER	<u>1,110.00</u>
			TOTAL:	1,938.89
INTERSTATE ALL BATTERY CENTER	BATTERIES FOR LOCATORS	WATER O/M	WATER	18.68
	BATTERIES FOR LOCATORS	SEWER O/M	WASTEWATER	<u>18.67</u>
			TOTAL:	37.35
IOWA ASSN OF MUNICIPAL UTILITIES	CIASSO DUES	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	342.27
	CIASSO DUES	GENERAL FUND	PARKS & TRAILS	342.27
	CIASSO DUES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	342.27
	CIASSO DUES	WATER O/M	WATER	342.27
	CIASSO DUES	SEWER O/M	WASTEWATER	<u>342.27</u>
			TOTAL:	1,711.35
IOWA DEPT. OF TRANSPORTATION	ZIP TIES & ABSORBENT	GENERAL FUND	PARKS & TRAILS	<u>48.64</u>
			TOTAL:	48.64
IOWA LAW ENFORCEMENT ACADEMY	CORE LEADERSHIP TRAINING-	GENERAL FUND	POLICE	<u>1,396.00</u>
			TOTAL:	1,396.00

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
JOHNSTONE SUPPLY	FILTERS FOR TRAFFIC CABINE ROAD USE TAX		TRAFFIC CONTROL	37.44
			TOTAL:	37.44
LANGWITH, DENNIS & SUSAN	FACILITY RELOCATION 62ND/8 NW 62ND-NW 86TH TO		ROADS, BRIDGES	4,000.00
			TOTAL:	4,000.00
LOGAN CONTRACTORS SUPPLY INC	CONCRETE/INTAKE SUPPLIES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	56.49
	CONCRETE/INTAKE SUPPLIES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	10.95
			TOTAL:	67.44
MANATT'S INC	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	463.50
	CONCRETE PURCHASES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	20.00
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	772.50
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	515.00
	CONCRETE PURCHASES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	20.00
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	618.00
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	721.00
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	103.00
	CONCRETE PURCHASES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	60.00
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	463.50
	CONCRETE PURCHASES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	20.00
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	978.50
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	515.00
	CONCRETE PURCHASES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	20.00
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	618.00
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	721.00
	CONCRETE	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	154.50
	CONCRETE PURCHASES	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	60.00
	NW 100TH ST RECONSTRUCTION	NW 100TH (NW62NDto	ROADS, BRIDGES, SIDEWALK	193,045.23
	NW 100TH ST RECONSTRUCTION	NW 100TH (NW62NDto	ROADS, BRIDGES, SIDEWALK	2,608.43
	NW 100TH ST RECONSTRUCTION	NW 100TH (NW62NDto	WATER	9,322.83
	NW 100TH ST RECONSTRUCTION	NW 100TH (NW62NDto	SANITARY SEWER	1,995.00
	CONCRETE	WATER O/M	WATER	163.00
	CONCRETE- WTR MAIN BREAK	WATER O/M	WATER	246.00
			TOTAL:	214,223.99
MARTIN MARIETTA MATERIALS	FILL SAND	GENERAL FUND	PARKS & TRAILS	55.71
	CLASS A MATERIAL- FOR PATC	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	370.63
	CLASS A MATERIAL- FOR PATC	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	534.13
			TOTAL:	960.47
MASON, LORI	MILEAGE REIMBURSEMENT	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	46.44
			TOTAL:	46.44
MEADOWBROOK BUILDERS, LLC	IRRIGATION METER REIMBURSE	WATER O/M	WATER	248.90
	IRRIGATION METER REIMBURSE	WATER O/M	WATER	95.00
			TOTAL:	343.90
MENARDS CLIVE	ZIP TIES	GENERAL FUND	PARKS & TRAILS	26.97
			TOTAL:	26.97
MID AMERICAN ENERGY	ELE. SERVICES- THE POND	GENERAL FUND	PARKS & TRAILS	8.33
	ELE. SERVICES- TRAFFIC CAM	ROAD USE TAX	TRAFFIC CONTROL	0.12
	NW 100TH ST PROJECT	NW 100TH (NW62NDto	ROADS, BRIDGES, SIDEWALK	196,620.65
	ELE. SERVICES- WTR METER P	WATER O/M	WATER	10.49
			TOTAL:	196,639.59

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
MID-IOWA ASSOCIATION OF LOCAL GOV'TS (	MIALG 2016-17 DUES AND MEA	GENERAL FUND	MAYOR, COUNCIL	418.10
			TOTAL:	418.10
MIDWEST AUTOMATIC FIRE SPRINKLER CO.	CITY HALL BACKFLOW TEST	GENERAL FUND	CITY HALL	117.00
	JOHNSTON BACKFLOW TEST	WATER O/M	WATER	370.28
			TOTAL:	487.28
MIDWEST OFFICE TECHNOLOGY INC	COPIER MAINT. & COPIES	GENERAL FUND	POLICE	0.00
	COPIER MAINT. & COPIES	GENERAL FUND	FIRE	7.46
	COPIER MAINT. & COPIES	GENERAL FUND	AMBULANCE	7.46
	COPIER MAINT. & COPIES	GENERAL FUND	BUILDING & HOUSING	4.88
	COPIER MAINT. & COPIES	GENERAL FUND	PLANNING & ZONING	21.44
	COPIER MAINT. & COPIES	GENERAL FUND	MAYOR, COUNCIL	63.95
	COPIER MAINT. & COPIES	GENERAL FUND	CITY ADMINISTRATOR	13.76
	COPIER MAINT. & COPIES	GENERAL FUND	CITY CLERK	9.69
	COPIER MAINT. & COPIES	GENERAL FUND	FINANCE	17.30
	COPIER MAINT. & COPIES	WATER O/M	WATER	201.53
	COPIER MAINT. & COPIES	SEWER O/M	WASTEWATER	201.53
			TOTAL:	549.00
	MILLER NURSERY CO	RIVER ROCK	GENERAL FUND	PARKS & TRAILS
CRABAPPLE TREES		TREES	TREES	292.41
SHRUBS FOR DEWEY PARK		TREES	TREES	29.87
			TOTAL:	397.28
MSA PROFESSIONAL SERVICES, INC	NW BEAVER EASEMENT ACQ. SR	BEAVER DR.TRAIL	ROADS, BRIDGES, SIDEWA	294.00
	NW BEAVER DRIVE OVERLAY PR	BEAVER DR.TRAIL	ROADS, BRIDGES, SIDEWA	27,276.50
			TOTAL:	27,570.50
MSC INDUSTRIAL SUPPLY CO.	FIRE ENGINE MAINT./PARTS	GENERAL FUND	FIRE	16.28
			TOTAL:	16.28
MULCH MART, LLC	HARDWOOD MULCH	GENERAL FUND	PARKS & TRAILS	200.00
			TOTAL:	200.00
MUNICIPAL PIPE TOOL CO, LLC	MIN-CAM REPAIR/PARTS	SEWER O/M	WASTEWATER	771.43
	MIN-CAM REPAIR/PARTS	SEWER O/M	WASTEWATER	465.64
	MINI-CAM REPAIR	SEWER O/M	WASTEWATER	880.73
			TOTAL:	2,117.80
MUNICIPAL SUPPLY INC	DEETER FLANGE AND FRAME	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	433.00
	BLUE MARKING PAINT/ ANTI-S	WATER O/M	WATER	199.20
	BLUE MARKING PAINT/ ANTI-S	WATER O/M	WATER	74.00
	BALL CHECK VALVE	WATER O/M	WATER	250.00
	LPS REPAIR PARTS	WATER O/M	WATER	269.50
	SEWER CAP	SEWER O/M	WASTEWATER	100.00
	CREDIT FOR LIBERTY PUMP	SEWER O/M	WASTEWATER	1,526.01
	LPS REPAIR PARTS	SEWER O/M	WASTEWATER	750.00
			TOTAL:	549.69
	NEOPOST USA, INC	POSTAGE/MAIL MACHINE MAINT	GENERAL FUND	CITY ADMINISTRATOR
			TOTAL:	161.35
O'HALLORAN INTERNATIONAL INC	CLAMP	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	14.79
	BRAKE CHAMBER #238	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	330.12
	REPAIR/PARTS 2008 INTL. (se	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	855.55

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
			TOTAL:	1,200.46
OFFICE DEPOT	VIEWTAB DIVIDERS	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	19.51
			TOTAL:	19.51
PIONEER HI-BRED INTL'	FACILITY RELOCATIONS- 62ND NW 62ND-NW 86TH TO		ROADS, BRIDGES	41,030.00
	FACILITY RELOCATION 62/86/ NW 62ND-NW 86TH TO		ROADS, BRIDGES	58,100.00
			TOTAL:	99,130.00
PLUMB SUPPLY	REGULATOR KIT - THE BARN	GENERAL FUND	SIMPSON BARN	42.73
	STRAINER FOR DRINKING FOUN	GENERAL FUND	SIMPSON BARN	14.29
	BACKFLOW PREVENTOR VALVES	WATER O/M	WATER	63.72
			TOTAL:	120.74
POLK COUNTY RECORDER	RECORDINGS- 57TH & 62nd DE NW 62ND& 103RD INT		ROADS, BRIDGES, SIDEWA	27.00
	RECORDINGS- 57TH & 62nd DE MERLE HAY EAST IMP		ROADS, BRIDGES	39.00
			TOTAL:	66.00
POLK COUNTY TREASURER	TAXES -R-O-W CHESTERFIELD	GENERAL FUND	PLANNING & ZONING	2.00
	TAXES-R-O-W - NW 55TH PROJ MERLE HAY EAST IMP		ROADS, BRIDGES	156.00
	TAXES-R-O-W - NW 55TH PROJ MERLE HAY EAST IMP		ROADS, BRIDGES	2.00
	TAXES R-O-W NW 57TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	34.00
	TAXES- R-O-W - NW 57TH PRO MERLE HAY EAST IMP		ROADS, BRIDGES	4.00
	TAXES - R-O-W NW 60TH PRO MERLE HAY EAST IMP		ROADS, BRIDGES	10.00
	TAXES R-O-W NW 57TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	8.00
	TAXES-R-O-W - NW 57TH PROJ MERLE HAY EAST IMP		ROADS, BRIDGES	6.00
	TAXES R-O-W NW 57TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	6.00
	TAXES-R-O-W - NW 57TH PROJ MERLE HAY EAST IMP		ROADS, BRIDGES	10.00
	TAXES R-O-W NW 57TH PROJ MERLE HAY EAST IMP		ROADS, BRIDGES	6.00
	TAXES R-O-W NW 57TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	10.00
	TAXES R-O-W NW 57TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	6.00
	TAXES R-O-W NW 60TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	2.00
	TAXES R-O-W NW 60TH PROJ MERLE HAY EAST IMP		ROADS, BRIDGES	2.00
	TAXES R-O-W NW 57TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	16.00
	TAXES R-O-W NW 57TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	6.00
	TAXES R-O-W NW 57TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	10.00
	TAXES - R-O-W NW 60TH PRO MERLE HAY EAST IMP		ROADS, BRIDGES	8.00
	TAXES R-O-W NW 60TH PROJ. MERLE HAY EAST IMP		ROADS, BRIDGES	12.00
	TAXES R-O-W NW 100TH PROJ. NW 100TH (NW62NDto		ROADS, BRIDGES, SIDEWALK	4.00
	TAXES R-O-W NW 100TH PROJ NW 100TH (NW62NDto		ROADS, BRIDGES, SIDEWALK	24.00
			TOTAL:	354.00
RACOM CORPORATION	BATTERIES FOR RADIOS	GENERAL FUND	POLICE	455.00
	EDACS ACCESS	GENERAL FUND	POLICE	1,010.50
	EDACS AND BEON ACCESS	GENERAL FUND	FIRE	425.90
	EDACS AND BEON ACCESS	GENERAL FUND	AMBULANCE	425.90
	MOBILE RADIO	EQUIP REPLACEMENT	POLICE OPERATIONS	4,291.75
			TOTAL:	6,609.05
RAIN BARRELS OF IOWA	Rain Barrels	TREES	TREES	2,160.00
	Freight	TREES	TREES	900.00
			TOTAL:	3,060.00
RIGHT ROOFING AND SIDING, INC	VENT REPAIR - CROWN POINT	GENERAL FUND	CROWN POINT	376.50
			TOTAL:	376.50

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
ROGNES CORP., ESCROW ACCT. # 325942044	E. OF MHR- NW 60TH IMP. PH MERLE HAY EAST IMP ROADS, BRIDGES			39,520.15
	E. OF MHR- NW 60TH IMP. PH MERLE HAY EAST IMP ROADS, BRIDGES			3,770.55
	E. OF MHR- NW 60TH IMP. PH MERLE HAY EAST IMP ROADS, BRIDGES			42,216.10
	E. OF MHR- NW 60TH IMP. PH MERLE HAY EAST IMP ROADS, BRIDGES			5,776.00
	E. OF MHR- NW 60TH IMP. PH MERLE HAY EAST IMP WASTEWATER			<u>5,228.80</u>
			TOTAL:	96,511.60
ROSS CHEMICAL SYSTEMS, INC	BENZADINE YELLOW GO	GENERAL FUND	FIRE	21.13
	BENZADINE YELLOW GO	GENERAL FUND	AMBULANCE	<u>21.12</u>
			TOTAL:	42.25
SMITH'S SEWER SERVICE	HYDRO JET STORM SEWER SERV ROAD USE TAX		ROADS, BRIDGES, SIDEWALK	<u>1,650.00</u>
				TOTAL:
SNYDER & ASSOCIATES INC	TERRA LAKE PARK IMP. PROJE TERRA LAKE		PARKS & TRAILS	14,885.00
	BIOXIDE PROJECT	SEWER O/M	WASTEWATER	<u>1,511.00</u>
				TOTAL:
SOELBERG, VIRGINIA	HOMEOWNER GRANT REIMBURSEM STORM WATER O&M		STORM WATER	<u>380.00</u>
				TOTAL:
SOYER, MICHELLE	SEPTEMBER YOGA CLASSES	GENERAL FUND	PARKS & TRAILS	<u>150.00</u>
				TOTAL:
SPRAYER SPECIALTIES INC	VALVE AND COUPLERS-WTR TAN	GENERAL FUND	PARKS & TRAILS	<u>66.95</u>
				TOTAL:
STAPLES ADVANTAGE	LAMINATING SHEETS	GENERAL FUND	FIRE	33.85
	LAMINATING SHEETS	GENERAL FUND	AMBULANCE	33.84
	COLORED PAPER- TERRA GREEN	GENERAL FUND	PLANNING & ZONING	15.49
	STAPLES, FLASH DRIVES	GENERAL FUND	CITY ADMINISTRATOR	50.95
	BROCHURE HOLDER, STAPLES	GENERAL FUND	CITY ADMINISTRATOR	<u>23.04</u>
				TOTAL:
STEW HANSEN'S DODGE CITY INC	POLICE INVEST VEHICLE	GENERAL FUND	POLICE	<u>18,257.00</u>
				TOTAL:
STORAGE & DESIGN GROUP	FIREARM STORAGE LOCKERS	GENERAL FUND	POLICE	<u>900.00</u>
				TOTAL:
TEAM SERVICES, INC	NW 60TH AVE IMPROVEMENTS	MERLE HAY EAST IMP ROADS, BRIDGES		406.12
	NW 70TH AVE IMPROVEMENTS	70TH AVE IMP (86TH ROADS, BRIDGES, SIDEWALK		3,287.68
	NW 100TH ST RECONSTRUCTION	NW 100TH (NW62NDto	ROADS, BRIDGES, SIDEWALK	<u>1,331.93</u>
				TOTAL:
THE UPS STORE	SHIPPING SERVICES	GENERAL FUND	POLICE	13.05
	CHARGES TO RETURN MTU'S	WATER O/M	WATER	<u>631.35</u>
				TOTAL:
THOMAS PRODUCTS	Storage Cabinet	GENERAL FUND	FIRE	609.00
	Storage Cabinet	GENERAL FUND	FIRE	95.56
	Storage Cabinet	GENERAL FUND	AMBULANCE	609.00
	Storage Cabinet	GENERAL FUND	AMBULANCE	<u>95.56</u>
				TOTAL:
TRAVIS WUEBKER	MILEAGE REIMBURSEMENT-TRAI	GENERAL FUND	FIRE	142.02

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
			TOTAL:	142.02
ULTRAMAX	AMMUNITION	GENERAL FUND	POLICE	312.80
		GENERAL FUND	POLICE	1,612.80
			TOTAL:	1,925.60
URBANDALE POLICE DEPARTMENT	SERT RANGE TRAINING	GENERAL FUND	POLICE	133.33
			TOTAL:	133.33
VAN WALL GROUP	RING & SPINDLE FOR MOWER	GENERAL FUND	PARKS & TRAILS	177.78
			TOTAL:	177.78
VERIZON WIRELESS	AIR CARDS FOR PATROL CARS	GENERAL FUND	POLICE	640.20
	CELL PHONE SERVICES	GENERAL FUND	FIRE	217.19
	CELL PHONE SERVICES	GENERAL FUND	AMBULANCE	217.29
	CELL PHONE SERVICES	GENERAL FUND	BUILDING & HOUSING	208.22
	CELL PHONE SERVICE - PRICE	GENERAL FUND	COMMUNICATIONS	40.01
	HEXAGRAM CELL PHONE SERVIC	WATER O/M	WATER	231.87
	HEXAGRAM CELL PHONE SERVIC	SEWER O/M	WASTEWATER	231.87
			TOTAL:	1,786.65
WHEELER, TY	TRAINING REIMBURSEMENT	GENERAL FUND	FIRE	170.00
	TRAINING REIMBURSEMENT	GENERAL FUND	AMBULANCE	170.00
			TOTAL:	340.00
WILSON BROS	MOSQUITO CONTROL SERVICES	GENERAL FUND	MOSQUITO CONTROL	1,250.00
	MOSQUITO CONTROL SERVICES	GENERAL FUND	MOSQUITO CONTROL	1,250.00
	MOSQUITO CONTROL SERVICES	GENERAL FUND	MOSQUITO CONTROL	1,250.00
			TOTAL:	3,750.00
ZIEGLER INC	VALVE #201	ROAD USE TAX	ROADS, BRIDGES, SIDEWALK	120.22
			TOTAL:	120.22

===== FUND TOTALS =====

010	GENERAL FUND	55,263.72
040	EQUIP REPLACEMENT RESERVE	4,291.75
140	ROAD USE TAX	14,697.23
172	TREES	3,382.28
315	NW 62ND& 103RD INT-NCL	27.00
316	NW 64th & 63rd PL & MHR	1,523.72
325	FIBER OPTIC PROJECT	620.01
333	NW 62ND-NW 86TH TO PPKWY	103,130.00
334	MERLE HAY EAST IMPROVEMEN	101,554.41
340	TERRA LAKE	17,028.47
342	2012 STORM DRAINAGE IMP	1,562.75
343	BEAVER DR. TRAIL	29,432.74
346	70TH AVE IMP (86TH-107TH)	224,347.34
349	NW 100TH (NW62NDtoNW 70TH	405,690.18
601	WATER O/M	6,874.11
607	SAYLORVILLE WATER CONNECT	7.44
631	SEWER O/M	6,875.42
671	STORM WATER O&M	380.00

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 GRAND TOTAL: 976,688.57  
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PACKET: 05333 9/11/2016 WELLS FARGO CLA

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SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1070	WELLS FARGO					
C-201673485		MID-STATES ORG. CRIME INFO. C	195.00CR			
9/11/2016	AP	DUE: 8/03/2016 DISC: 8/03/2016		1099: N		
		CREDIT-SCHOLARSHIP EARNINGS		010 5.110.62300	TRAINING	195.00CR
C-49597		SCHOOLZONE.COM	173.39CR			
9/11/2016	AP	DUE: 8/25/2016 DISC: 8/25/2016		1099: N		
		CREDIT- FOLDING STOP SIGN		140 5.240.65190	SIGNS	173.39CR
C-FRAUD REFUND		-FRAUD- HOME DEPOT	316.35CR			
9/11/2016	AP	DUE: 8/01/2016 DISC: 8/01/2016		1099: N		
		-FRAUD- HOME DEPOT		010 5.210.65120	BLDG & GROUNDS SUPPLIES	316.35CR
I-03676		IILEETA - (paypal)	50.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		IILEETA MEMBERSHIP DUES - NORE		010 5.110.62110	DUES, SUBSCRIPTIONS	50.00
I-10046068		HACH COMPANY	58.57			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		WATER SAMPLE BOTTLES		601 5.810.65155	MISC. DISTRIBUTION SUPPL	58.57
I-10052825		HACH COMPANY	60.14			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		WATER BOTTLE SAMPLES		601 5.810.65136	MISCELLANEOUS SUPPLIES	60.14
I-10668890		MOUSER ELECTRONICS	11.24			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		FUSES		010 5.150.63220	MAINTENANCE OF VEHICLES	11.24
I-109-8734748-145223		AMAZON.COM	84.25			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		FIRE INVESTIGATOR SUPPLIES		010 5.150.65170	OPERATING SUPPLIES	84.25
I-10907674		GLOBAL INDUSTRIAL.COM	125.19			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		WIRE CART		601 5.810.65140	MINOR EQUIPMENT	31.30
		WIRE CART		631 5.815.65140	MINOR EQUIPMENT	31.30
		WIRE CART		010 5.210.65140	MINOR EQUIPMENT	31.30
		WIRE CART		010 5.650.65140	MINOR EQUIPMENT	31.29
I-115-1223353-675463		AMAZON	649.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		COOKWARE SET - STAT. 40		010 5.150.65120	BLDG & GROUNDS SUPPLIES	324.50
		COOKWARE SET - STAT. 40		010 5.160.65120	BLDG & GROUNDS SUPPLIES	324.50
I-156430		CENTER FOR PUBLIC SAFETY	625.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		CPSE CONFERENCE REGISTRATION		010 5.150.62300	FIRE TRAINING	312.50
		CPSE CONFERENCE REGISTRATION		010 5.160.62325	EMS TRAINING	312.50

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POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1070	WELLS FARGO	( ** CONTINUED ** )				
I-201609222731		VARIOUS PURCHASES	337.40			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		PARKING- METRO FINANCE MTG		010 5.621.62300	TRAINING	4.00
		IAPELRA REGISTRATION-FALL CONF		010 5.621.62300	TRAINING	118.40
		IA EMPLOYMENT CONF. REGISTRATI		010 5.621.62300	TRAINING	215.00
I-201609222732		MEAL- METRO FINANCE MTG.	234.01			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		MEAL- METRO FINANCE MTG.		010 5.621.62400	TRAVEL	19.01
		IA EMPLOYMENT CONF. REGISTRATI		010 5.615.62300	TRAINING	215.00
I-201609222733		IA HUMAN RESOURCES MANUAL UPD	260.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		IA HUMAN RESOURCES MANUAL UPDA		010 5.615.62110	DUES, SUBSCRIPTIONS	260.00
I-201609222734		COLLECTIVE BARGAINING WORKSHO	15.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		COLLECTIVE BARGAINING WORKSHOP		010 5.621.62110	DUES, SUBSCRIPTIONS	15.00
I-201609222735		MEDIACOM	129.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		INTERNET SERVICES - STAT. 40		010 5.150.64290	TELECOMMUNICATIONS	64.50
		INTERNET SERVICES- STAT. 40		010 5.160.64290	TELECOMMUNICATIONS	64.50
I-201609222736		PANERA BREAD	25.27			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		WORKING LUNCH-PAYROLL W/ ADEL		010 5.621.62300	TRAINING	25.27
I-201609222737		WINDSTREAM -- FIBER OPTIC SERV	1,490.39			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		WINDSTREAM - FIBER OPTIC SERVI		010 5.110.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		010 5.150.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		010 5.160.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		010 5.210.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		010 5.410.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		010 5.430.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		010 5.535.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		010 5.540.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		010 5.615.64303	INTERNET SERVICES	114.60
		WINDSTREAM - FIBER OPTIC SERVI		010 5.619.64303	INTERNET SERVICES	114.64
		WINDSTREAM - FIBER OPTIC SERVI		010 5.621.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		601 5.810.64303	INTERNET SERVICES	114.65
		WINDSTREAM - FIBER OPTIC SERVI		631 5.815.64303	INTERNET SERVICES	114.65
I-201609222738		KUM & GO	31.83			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		FUEL FOR JET SKIS		010 5.150.65144	VEHICLE OPERATION SUPPLI	15.92
		FUEL FOR JET SKIS		010 5.160.65144	VEHICLE OPERATION SUPPLI	15.91

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POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1070	WELLS FARGO	( ** CONTINUED ** )				
I-201609222739		HELLS KITCHEN- MEAL APWA CONF	13.24			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		HELLS KITCHEN- MEAL APWA CONF.		140 5.210.62400	TRAVEL	13.24
I-201609222740		PEPPERS/FRIES- APWA MTG. MEAL	11.80			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		PEPPERS/FRIES- APWA MTG. MEAL		140 5.210.62400	TRAVEL	11.80
I-201609222741		EGGY'S-APWA MTG MEAL-DAVE/MAT	36.12			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		EGGY'S-APWA MTG MEAL-DAVE/MATT		140 5.210.62400	TRAVEL	36.12
I-201609222742		BRITS-APWA MTG MEAL-DAVE/MATT	41.39			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		BRITS-APWA MTG MEAL-DAVE/MATT		140 5.210.62400	TRAVEL	41.39
I-201609222743		HOLIDAY STATION-FUEL APWA CON	23.97			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		HOLIDAY STATION-FUEL APWA CONF		140 5.210.62400	TRAVEL	23.97
I-201609222744		HOME DEPOT	7.92			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		FORM BOARDS FOR SIDEWALKS		140 5.210.65154	STREET MAINT. SUPPLIES	7.92
I-201609222745		HOME DEPOT	36.50			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		SHIPPING SUPPLIES- MTU RETURNS		601 5.810.65180	POSTAGE & SHIPPING	36.50
I-201609222746		VARIOUS PURCHASES	220.53			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		HOBBY LOBBY- STRING-PROG. SUPP		010 5.410.65304	ADULT PROGRAM SUPPLIES	20.53
		IA LIB. ASSOC.CONF. REGISTRATI		010 5.410.62300	TRAINING	200.00
I-201609222747		IA LIBRARY ASSOCIATION	176.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		IA LIBRARY ASSOC. CONF. REGIST		010 5.410.62300	TRAINING	176.00
I-201609222748		HOME DEPOT	76.15			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		WTR PRESSURE TESTING SUPPLIES		601 5.810.65136	MISCELLANEOUS SUPPLIES	76.15
I-201609222749		KUM & GO, INC	38.07			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		FUEL FOR SMALL ENGINES		140 5.210.65124	EQUIPMENT SUPPLIES	38.07
I-201609222750		OFFICE DEPOT	95.76			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		VARIOUS OFFICE SUPPLIES		010 5.210.65160	OFFICE SUPPLIES	95.76

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01-1070	WELLS FARGO	( ** CONTINUED ** )					
I-201609222751		HOME DEPOT	40.42				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		MAILBOX POST KIT		601 5.810.65136	MISCELLANEOUS SUPPLIES		40.42
I-201609222753		VARIOUS PURCHASES	152.55				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		GO BAGS AND AMMO FOR TRAINING		010 5.110.65170	OPERATING SUPPLIES		152.55
I-201609222754		VARIOUS PURCHASES- TRAINING	660.53				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		MEALS, FUEL- C-PHONE FORENSIC		010 5.110.62400	TRAVEL		660.53
I-201609222755		KOSOVO TRAVEL EXPENSES-TOMPKI	356.02				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		KOSOVO TRAVEL EXPENSES-TOMPKIN		010 5.610.62400	TRAVEL		356.02
I-201609222756		KOSOVO TRAVEL EXPENSES-ASWEGA	269.54				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		KOSOVO TRAVEL EXPENSES-ASWEGAN		010 5.610.62400	TRAVEL		269.54
I-201609222757		VARIOUS PURCHASES/SERVICES	607.20				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		TECHSOUP- MICROSOFT OFFICE		010 5.410.65162	COMPUTER SOFTWARE		29.00
		AMERICAN LIB. ASSOC.- SOFTWARE		010 5.410.64302	ONLINE TECHNICAL SERVICE		185.00
		ILA CONFERENCE REGISTRATION		010 5.410.62300	TRAINING		281.00
		LABELVALUE- DVD/CD LABELS		010 5.410.65300	PROCESSING SUPPLIES		97.25
		GUITAR WORLD SUBSCRIPTION		010 5.410.65322	PERIODICALS, NEWSPAPERS		14.95
I-201609222758		OFFICE DEPOT	4.23				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		FLASH DRIVE		010 5.540.65160	OFFICE SUPPLIES		4.23
I-201609222759		KUM & GO, INC	45.56				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		FUEL FOR JET SKIS		010 5.150.65144	VEHICLE OPERATION SUPPLI		22.78
		FUEL FOR JET SKIS		010 5.160.65144	VEHICLE OPERATION SUPPLI		22.78
I-201609222760		KUM & GO, INC	32.44				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		FUEL FOR JET SKIS		010 5.150.65144	VEHICLE OPERATION SUPPLI		16.22
		FUEL FOR JET SKIS		010 5.160.65144	VEHICLE OPERATION SUPPLI		16.22
I-201609222761		CASEY'S	63.45				
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N			
		GAS FOR MOWERS		010 5.430.65144	VEHICLE OPERATION SUPPLI		63.45

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POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1070	WELLS FARGO	( ** CONTINUED ** )				
I-201609222762		CASEY'S	35.38			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		GAS FOR MOWERS		010 5.430.65144	VEHICLE OPERATION SUPPLI	35.38
I-201609222763		CASEY'S	51.90			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		GAS FOR MOWERS		010 5.430.65144	VEHICLE OPERATION SUPPLI	51.90
I-201609222764		VARIOUS PURCHASES/SERVICES	2,163.63			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		IA LEAGUE OF CITIES CONFENCE		010 5.615.62300	TRAINING	255.00
		IA LEAGUE OF CITIES CONFENCE		010 5.610.62300	TRAINING	255.00
		IA LEAGUE OF CITIES CONFENCE		010 5.621.62300	TRAINING	255.00
		NEOGOV CONF. TRAVEL EXPENSES		010 5.619.62400	TRAVEL	291.84
		IaPELRA & NEOGOV. CONFERENCES		010 5.619.62300	TRAINING	550.00
		MONITOR ADAPTERS- PATROL CARS		010 5.110.67110	AUTOMOTIVE EQUIPMENT	94.80
		NPELRA MEMBERSHIP DUES		010 5.619.62110	DUES, SUBSCRIPTIONS	107.50
		FD CHIEF INTERVIEWS-SUPPLIES		010 5.150.65160	OFFICE SUPPLIES	38.39
		ETHERNET SWITCHW/ FIBER PORT		601 5.810.67180	COMPUTER HARDWARE/SOFTWA	216.11
		OFFICE SOFTWARE- PLAGGE		010 5.615.67180	I.T. HARDWARE/SOFTWARE	99.99
I-201609222765		IA ARBORIST ASSOC.	120.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		ARBORIST DUES - IRWIN		010 5.430.62110	DUES, SUBSCRIPTIONS	120.00
I-201609222766		JOHNSTON ACE HARDWARE	4.99			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		ANTI-SKID RUBBER PADS		010 5.430.65136	MISCELLANEOUS SUPPLIES	4.99
I-201609222767		WALMART	17.04			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		WINDSHIELD WASHER FLUID		010 5.430.65144	VEHICLE OPERATION SUPPLI	17.04
I-201609222768		WAL-MART	88.88			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		C-PHONE CHARGER & ADAPTER		010 5.150.64290	TELECOMMUNICATIONS	44.44
		C-PHONE CHARGER & ADAPTER		010 5.160.64290	TELECOMMUNICATIONS	44.44
I-201609222769		CASEY'S	48.59			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		GAS FOR MOWERS		010 5.430.65144	VEHICLE OPERATION SUPPLI	48.59
I-201609222770		CASEY'S	49.32			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		GAS FOR MOWERS		010 5.430.65144	VEHICLE OPERATION SUPPLI	49.32

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-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1070	WELLS FARGO	( ** CONTINUED ** )				
I-201609222771		CASEY'S	42.13			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		GAS FOR MOWERS		010 5.430.65144	VEHICLE OPERATION SUPPLI	42.13
I-201609222772		CASEY'S	48.43			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		GAS FOR MOWERS		010 5.430.65144	VEHICLE OPERATION SUPPLI	48.43
I-201609222773		CASEY'S	102.06			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		GAS FOR MOWERS		010 5.430.65144	VEHICLE OPERATION SUPPLI	102.06
I-201609222774		CASEY'S	72.07			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		GAS FOR MOWERS		010 5.430.65144	VEHICLE OPERATION SUPPLI	72.07
I-201609222775		HOME DEPOT	167.86			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		MEDICAL SUPPLY STORAGE SHELF		010 5.160.65172	EMS SUPPLIES	167.86
I-201609222776		WALMART	124.79			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		BREAKROOM/KITCHEN SUPPLIES		010 5.150.65120	BLDG & GROUNDS SUPPLIES	62.40
		BREAKROOM/KITCHEN SUPPLIES		010 5.160.65120	BLDG & GROUNDS SUPPLIES	62.39
I-201609222777		WINDSOR VACUUM	77.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		VACUUM CLEANER PARTS		010 5.435.65136	MISCELLANEOUS SUPPLIES	77.00
I-201609222778		VARIOUS PURCHASES	1,471.30			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		PRESS CONF. BACKDROP		010 5.617.65195	FURNITURE & FIXTURES	776.30
		FACEBOOK ADS		010 5.617.64176	MARKETING SERVICES	100.00
		3CMA CONFERENCE		010 5.617.62300	TRAINING	595.00
I-201609222779		METRO WASTE AUTHORITY	224.06			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		DISP. OF STR. SWEEPING DEBRIS		140 5.210.64205	MISCELLANEOUS SERVICE	224.06
I-201609222780		METRO WASTE AUTHORITY	167.82			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		DISP. OF STR. SWEEPING DEBRIS		140 5.210.64205	MISCELLANEOUS SERVICE	167.82
I-201609222781		WINDSTREAM	178.25			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		PHONE SERVICES- CROWN POINT		010 5.430.64290	TELECOMMUNICATIONS	178.25

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POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1070	WELLS FARGO	( ** CONTINUED ** )				
I-201609222782		TAXPAYERS (paypal)	15.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		COLLECTIVE BARGAINING WRKSHOP		010 5.615.62110	DUES, SUBSCRIPTIONS	15.00
I-201609222783		VARIOUS PURCHASES	863.27			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		ILA PROG. REGISTRATION		010 5.410.62300	TRAINING	100.00
		WALL MAP, SAMPLE WINDOW FILM		010 5.410.65120	BLDG & GROUNDS SUPPLIES	307.57
		RECEIPT PRINTER ROLLS		010 5.410.65160	OFFICE SUPPLIES	167.88
		INTERNET HOT SPOT-BOOK BIKE		010 5.410.64303	INTERNET SERVICES	18.00
		FACEBOOK ADS FOR PROGRAMS		010 5.410.64120	ADS & LEGAL PUBLICATIONS	30.99
		SOFTWARE		010 5.410.65162	COMPUTER SOFTWARE	3.99
		ART IN BARN TABLE RENTAL		010 5.410.65304	ADULT PROGRAM SUPPLIES	97.44
		GRAPHIC DESIGN IMAGES		010 5.410.65304	ADULT PROGRAM SUPPLIES	59.00
		ALA POSTERS/BOOKMARKS		010 5.410.65302	CHILDRENS PROGRAM SUPPLI	78.40
I-201609222784		MOCIC TRAINING	195.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		MOCIC TRAINING		010 5.110.62300	TRAINING	195.00
I-2264187		GO RUCK LIC.	113.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		WORKOUT EQUIPMENT- STAT. 40		010 5.150.65120	BLDG & GROUNDS SUPPLIES	56.50
		WORKOUT EQUIPMENT- STAT. 40		010 5.160.65120	BLDG & GROUNDS SUPPLIES	56.50
I-30768821		METRO WASTE AUTHORITY	331.08			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		DISPOSAL OF WEEDS/GRASS		010 5.430.64205	MISCELLANEOUS SERVICE	331.08
I-30769084		METRO WASTE AUTHORITY	101.32			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		DISPOSAL OF WEEDS/GRASS		010 5.430.64205	MISCELLANEOUS SERVICE	101.32
I-314234258		HACH COMPANY	657.37			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		WATER SAMPLE SUPPLIES		601 5.810.65155	MISC. DISTRIBUTION SUPPL	657.37
I-3150079-0516-1		WASTE MANAGEMENT	49.65			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		TRASH COLLECTION- PARKS SHOP		010 5.430.63250	TRASH	49.65
I-3150080-0516-9		WASTE MANAGEMENT	239.59			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		TRASH COLLECTION - THE BARN		010 5.433.63250	TRASH, RECYCLING	239.59
I-3159221-0516-0		WASTE MANAGEMENT	41,771.81			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		CITY WIDE TRASH COLLECTION		010 5.290.64289	GARBAGE PICK-UP	41,771.81

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01-1070	WELLS FARGO	( ** CONTINUED ** )				
I-35980		PRESTO DYE/CHEM CO.	292.45			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		BLUE DYE-LEAK DETECTION SUPPLY		601 5.810.65155	MISC. DISTRIBUTION SUPPL	292.45
I-49597		SCHOOLZONE.COM	173.39			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		TRIFOLD STOP SIGN		140 5.240.65190	SIGNS	173.39
I-50297		FIRE HOSE DIRECT	162.88			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		HOSE FOR WASH BAY		140 5.210.65136	MISCELLANEOUS SUPPLIES	162.88
I-5168		BEAVER MOWER & EQUIPMENT	25.41			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		GAS CAP FOR MOWER		010 5.430.65122	EQUIPMENT PARTS	25.41
I-64798		EXTREME TACTICAL DYNAMICS	99.92			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		STROBE LIGHTS FOR MOWERS		010 5.430.65122	EQUIPMENT PARTS	99.92
I-70007489		METRO WASTE AUTHORITY	16,309.18			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		MONTHLY CURB-IT FEE		010 5.290.64222	MET WASTE,CURB-IT,TAX LE	16,309.18
I-80001062		METRO WASTE AUTHORITY	33.68			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		DISPOSAL OF DEAD DEER		010 5.190.64236	ANIMAL REMOVAL/DISPOSAL	33.68
I-87516		TRAFFIC CONTROL& PROTECTION	235.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		FOLDING STOP SIGN		140 5.240.65190	SIGNS	235.00
I-93014355		CHRISTIANBOOK.COM	32.98			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		ADULT LIB. BOOK-ANCIENT TIMES		010 5.410.65310	LIBRARY BOOKS-ADULT	32.98
I-9770152994		VERIZON WIRELESS	1,020.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		CELL PHONE/DATE CARDS- FD		010 5.150.64290	TELECOMMUNICATIONS	510.00
		CELL PHONE/DATE CARDS- FD		010 5.160.64290	TELECOMMUNICATIONS	510.00
I-DT-8489264		IOWA LIBRARY ASSOCIATION	138.00			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		ILA CONFERENCE REGISTRATION		010 5.410.62300	TRAINING	138.00
I-PSI-000289334		LIPPERT COMPONENTS	120.88			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		STEP MOTOR FOR FIRE TRUCK		010 5.150.65142	VEHICLE MAINT. SUPPLIES	120.88

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01-1070	WELLS FARGO	( ** CONTINUED ** )				
I-RI-160671		RACOM CORP.	851.80			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		EDACS & BeOn ACCESS SERVICES		010 5.150.64290	TELECOMMUNICATIONS	425.90
		EDACS & BeOn ACCESS SERVICES		010 5.160.64290	TELECOMMUNICATIONS	425.90
I-RI-160839		RACOM CORP.	851.80			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		EDACS & BeOn ACCESS SERVICES		010 5.150.64290	TELECOMMUNICATIONS	425.90
		EDACS & BeOn ACCESS SERVICES		010 5.160.64290	TELECOMMUNICATIONS	425.90
I-RI-161015		RACOM CORP.	851.80			
9/11/2016	AP	DUE: 9/11/2016 DISC: 9/11/2016		1099: N		
		EDACS & BeOn ACCESS SERVICES		010 5.150.64290	TELECOMMUNICATIONS	425.90
		EDACS & BeOn ACCESS SERVICES		010 5.160.64290	TELECOMMUNICATIONS	425.90
		=== VENDOR TOTALS ===	77,302.70			
		=== PACKET TOTALS ===	77,302.70			

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
KINGSTON SERVICES	TERRA LAKE PARK IMPR. PH.	TERRA LAKE	PARKS & TRAILS	150,884.70
	TERRA LAKE PARK IMP. PH. 3	TERRA LAKE	PARKS & TRAILS	<u>558,952.80</u>
			TOTAL:	709,837.50

===== FUND TOTALS =====	
340	TERRA LAKE 709,837.50
-----	
	GRAND TOTAL: 709,837.50
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