

JOHNSTON CITY COUNCIL  
Worksession No. 16-17  
Johnston City Hall, 6221 Merle Hay Road  
TUESDAY, September 6, 2016  
6:00 p.m.

1. CALL TO ORDER
2. ROLL CALL
3. DISCUSS MERLE HAY ROAD GATEWAY LANDSCAPE IMPROVEMENT PROJECT
4. UPDATE ON 2014 STORMWATER PROJECTS



OFFICE OF THE CITY ADMINISTRATOR

Johnston, Iowa  
AGENDA COMMUNICATION  
Worksession  
September 6, 2016

ITEM NO. W53

**SUBJECT:**

Discuss Merle Hay Road Gateway Landscape Improvement Project.

*Drew*

**SYNOPSIS:**

In September 2013, following a lengthy planning and public involvement process, the City Council adopted the Merle Hay Road Gateway Redevelopment Study, which focused on the redevelopment of 123 acres located along Merle Hay Road between I-35/80 and NW 55<sup>th</sup> Avenue. The plan placed heavy emphasis on tying the redevelopment area to the existing natural resources, Beaver Creek and the existing regional trail network which are immediately adjacent to but not currently accessible to the area. Ideas envisioned in the plan include the ability for trail users to easily access the commercial development, restaurants, etc. and the installation of a canoe/kayak launch to allow water users to also have access to the site. This location was also noted in the recent Des Moines Area MPO/Iowa DNR Water Trails Plan (see attached) which identified the Gateway as an economic hub and called for a carry down canoe/kayak access, fishing access, etc. to Beaver Creek. In addition to improving the connection/access between the existing creek/trail and the redevelopment area, new commercial users will require improved visibility to I-35/80. Selected sections of the Gateway Redevelopment Plan are attached, the full plan is available at

<http://www.cityofjohnston.com/DocumentCenter/View/515>.

Since the Gateway Plan adoption, the City has been moving forward on implementation of the plan. Interest in redevelopment of the hotel property and adjacent area has been very limited to date, largely due to the site not being “shovel ready” and thereby impeding redevelopment. To that end, the City has worked with the property owner to demo the hotel property and has acquired an adjacent parcel at 5249 Merle Hay Road. In December 2013, the City retained Foth Infrastructure and Environment to study the environmental aspects of the Gateway Plan recommendations. Since that time the following work has been completed:

- Desktop Environmental Review
- Wetland Delineation
- Tree Survey over a 48 acre area
- Indiana Bat and Northern Long Eared Bat Survey

In addition, consultation and permitting with the following agencies has occurred:

- FWS – ok to proceed with tree clearing after October 1
- USACE Regulatory – no permit needed for tree clearing, permit issued for the temporary creek crossing
- USACE Flowage Easement – concurrence given for current phase of project (may need further consultation if a kayak/canoe access is added in the future)
- SHPO – no survey needed (via the USACE permitting process)
- IDNR T&E – ok to proceed if we coordinate with FWS
- IDNR Flood Plain – no permit required
- IDNR Water Quality - concurrence via the USACE Section 404 Nationwide Permit process. No issues from initial pre-project meeting as long as Beaver Creek is not re-located.
- IDOT – Permit to work in floodplain is pending
- Polk County – waiting for their comment/concurrence

With the noted permits in place, the project can proceed to final design/letting. Attached is a May 2, 2016, letter to Fish and Wildlife Service which provides a detailed overview of the plans as they've been submitted for permitting, and which would be the basis for the final design. However, before proceeding to that phase the City Council's Economic Development Steering Committee requested the item be presented to the Tree Board for review and comment, which occurred on August 23, 2016. The Tree Board raised a number of questions, concerns about the plan as follows:

- Concern of introduction of invasive plants in any areas that are disturbed.
- Concern of how maintainable the understory clearing area along the trail would be, specifically, the concern understory trees would grow back quickly and thicker without regular maintenance.
- Concern about the impact on water quality resulting from tree removal.
- Concern about proceeding with a project without knowing what prospective user(s) may be on the site, or if those users would require increased visibility/access to the trail/creek.
- Recommendation that any replanted tree locations be determined after the removal occurred so they could be best sited.
- Concern the plan was aggressive and there was a desire to see something less intrusive.
- Concern about maintenance of the clearing areas long term to avoid new tree growth from occurring.

Following the Park Board meeting, staff worked with Foth to determine if the clearing area could be reduced, specifically if the two areas designated to remain could be increased to maintain the intent of the project, but reduce the cost/impact. Additionally, staff was made aware that Des Moines Water Works is currently working on conceptual design of a water main project extending from NW 62<sup>nd</sup> Avenue/NW Beaver Drive to the existing booster station located along Beaver Creek south of Lithia. This is an extension of the main recently constructed which ties the City's water source to the Saylorville Drive treatment plant. To avoid significant construction issues related to running a large main down Merle Hay Road, their desired alignment would be along the trail through the Gateway area, including the area identified for understory clearing. While discussions about this feasibility have just begun, since this potential exists, staff recommends removing this understory clearing area from this project.

As a result of the two above changes, the construction plans have been updated to reduce the tree clearing area from 11 acres to 9.4 acres and 3 acres of understory clearing along the trail would not occur (this area however may be impacted in the future by the water main project). This has also resulted in an estimated cost savings of the project of more than \$100,000.

Eva Moritz, PE with Foth will be in attendance to provide an overview of the plan and answer any questions.

**FISCAL IMPACT:**

\$357,750. This project would be funded through TIF District # 1 funding, and is included in the Urban Renewal Plan for this area.

**RECOMMENDATION:**

Staff would like direction on how to proceed with the project. Due to impact to endangered bats which have habitat in the area, tree clearing must occur between October 1<sup>st</sup> and April 1<sup>st</sup>. Thus if Council would like to proceed with construction during this window, the project bid process would need to start as soon as possible to allow the contractor sufficient time to complete the project within those parameters.

---

**Attachments:**

Construction Plans dated September 1, 2016  
Engineers Estimate, dated September 1, 2016

**OPINION OF PROBABLE PROJECT COST  
MERLE HAY ROAD GATEWAY TREE CLEARING  
Merle Hay Road at Interstate 80**

ITEM NO.	ITEM CODE	ITEM	UNIT	UNIT PRICE	BASE PROJECT	
					QUANTITY	TOTAL
<b>Division 1 - General</b>						
1.1		Mobilization	LS	\$10,000.00	1	10,000.00
<b>Division 2 - Excavation and Grading</b>						
2.1		Temporary Channel Crossing and Bank Restoration	LS	\$17,500.00	1	17,500.00
2.2	2010-C-1000	Clearing & Grubbing (Tree Clearing Area)	AC	\$ 8,500.00	9.4	79,900.00
<b>Division 8 - Traffic Signals and Traffic Control</b>						
8.1		Traffic Control	LS	\$ 5,000.00	1	5,000.00
<b>Division 9 - Site Work and Landscaping</b>						
9.1		Seeding (Wetland Grass Seed Mixture) (Seeding dates 4/1-	ACRE	\$ 3,500.00	9.4	32,900.00
9.2		Temporary Seeding	ACRE	\$ 2,000.00	9.4	18,800.00
9.3	9040-A-2000	Stormwater Pollution Prevention Plan (SWPPP) Management	LS	\$ 4,000.00	1	4,000.00
9.4		Silt Fence Installation (waddles w/wood stakes vs. silt fence)	LF	\$ 3.00	1,500	4,500.00
9.5		Silt Fence Removal	LF	\$ 2.00	1,500	3,000.00
9.6		Erosion Control Mulching	ACRE	\$ 2,000.00	9.4	18,800.00
9.7		Stump Grinding (>12 inch dia trees)	ACRE	\$ 2,500.00	9.4	23,500.00
9.8		Herbicide Spray Treatment with colorant (<12 inch dia trees)	ACRE	\$ 400.00	9.4	3,760.00
9.9		Tree Planting	EA	\$ 200.00	25	5,000.00
9.10		Wire Mesh Tree Guards	EA	\$ 50.00	25	1,250.00
9.11		Tree Girdling	EA	\$ 350.00	20	7,000.00
<b>Subtotal Construction (2016)</b>						<b>\$234,910.00</b>
Contingencies (+20% Base)						\$46,990.00
<b>Subtotal Construction and Contingency (2016)</b>						<b>\$281,900.00</b>
Engineering (Design/Const)						
> Design						45,000.00
> Construction						25,000.00
Legal and Administration (1%)						2,350.00
Right of Way, Easements and Other Settlement Comp						3,500.00
<b>Opinion of Probable Costs (2016)</b>						<b>\$ 357,750.00</b>

LETTING DATE: SEPTEMBER 20, 2016  
 FOTH PROJECT NO. 13J022.01

**MERLE HAY ROAD GATEWAY LANDSCAPE IMPROVEMENTS**  
**MERLE HAY ROAD AT INTERSTATE 80**

PLANS OF PROPOSED IMPROVEMENTS FOR  
**2016**

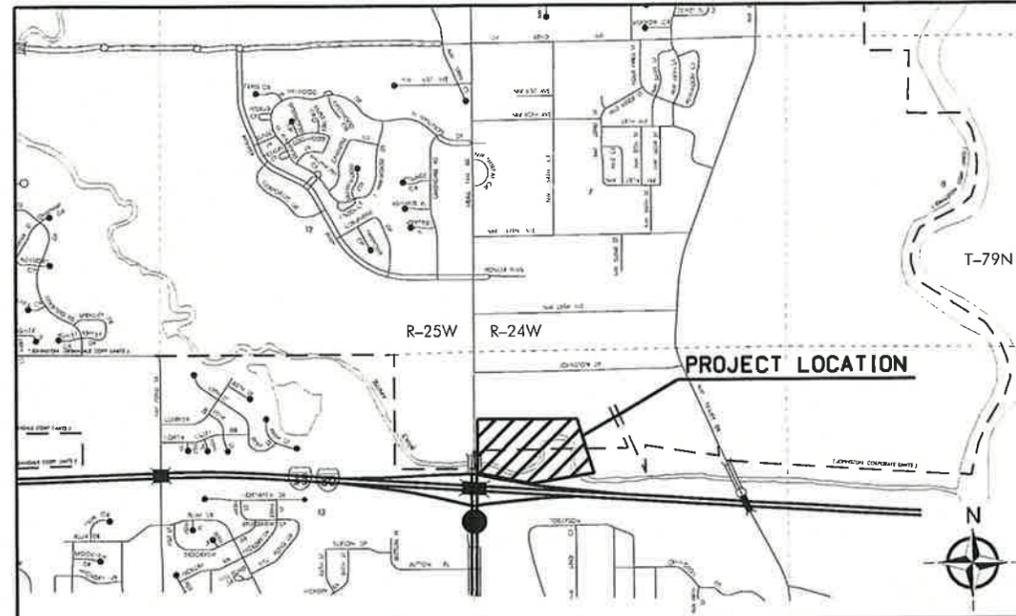
**MERLE HAY ROAD GATEWAY LANDSCAPE IMPROVEMENTS**

MERLE HAY ROAD AT INTERSTATE 80  
 CITY OF JOHNSTON, IOWA

FOTH PROJECT NO.: 13J022-01

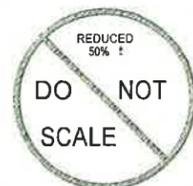
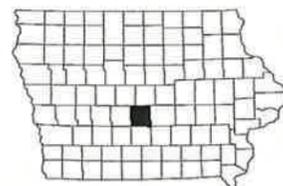
LOCATION MAP

NOT TO SCALE



THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS, 2014 EDITION, AND THE CITY OF JOHNSTON SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO CONSTRUCTION WORK ON THIS PROJECT. DIVISION 1 SHALL NOT APPLY TO THIS PROJECT

THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 2015 EDITION, PLUS GENERAL SUPPLEMENTAL SPECIFICATIONS, AND APPLICABLE SUPPLEMENTAL SPECIFICATIONS, DEVELOPMENTAL SPECIFICATIONS, AND SPECIAL PROVISIONS, SHALL APPLY TO CONSTRUCTION WORK ON PLAN DIVISION 12, BRIDGE ITEMS. DIVISION 11 OF THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SHALL NOT APPLY TO THIS PROJECT.



INDEX OF SHEETS		105-3
		07-21-87
NO.	DESCRIPTION	
A.1	TITLE SHEET	
C.1	ESTIMATE OF QUANTITIES AND GENERAL INFORMATION	
D.1	TREE CLEARING LOCATIONS	
D.2	GIRDLING LOCATION	
H.1	RIGHT-OF-WAY	
J.1	STAGING AND ACCESS	
U.1	TEMPORARY STREAM CROSSING	

LICENSED PROFESSIONAL ENGINEER  
 EVA S. MORITZ  
 15304  
 IOWA

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

EVA S. MORITZ \_\_\_\_\_ DATE \_\_\_\_\_  
 License Number: 15304  
 My license renewal date is DECEMBER 31, 2017.  
 Pages or sheets covered by this seal:  
 ALL SHEETS

**ESTIMATED PROJECT QUANTITIES  
(1 DIVISION PROJECT)**

100-1A  
07-15-97

Item No.	Item Code	Item	Unit	Total	As Built Qty.
<b>DIVISION 1 - GENERAL</b>					
1.1	1090-A-1000	MOBILIZATION	LS	1	
<b>DIVISION 2 - EARTHWORK, EXCAVATION AND GRADING</b>					
2.1	SPECIAL	TEMPORARY STREAM CROSSING & BANK RESTORATION	LS	1	
2.2	2010-E-1010	CLEARING	AC	9.4	
<b>DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION (NOT USED)</b>					
<b>DIVISION 4 - SEWERS AND DRAINS(NOT USED)</b>					
<b>DIVISION 5 - WATER MAIN AND APPURTENANCES (NOT USED)</b>					
<b>DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWER (NOT USED)</b>					
<b>DIVISION 7 - STREETS AND RELATED WORK (NOT USED)</b>					
<b>DIVISION 8 - TRAFFIC CONTROL</b>					
8.1	SPECIAL	TRAFFIC CONTROL	LS	1	
<b>DIVISION 9 - SITE WORK AND LANDSCAPING</b>					
9.1	9010-B-1700	SEEDING AND MULCHING (WETLAND GRASS SEED MIXTURE)	AC	9.4	
9.2	9010-B-1000	TEMPORARY SEEDING	AC	9.4	
9.3	9040-A-2000	STORM WATER POLLUTION PREVENTION PLAN	LS	1	
9.4	9040-N-1100	SILT FENCE INSTALLATION	LF	1500	
9.5	9040-N-1300	SILT FENCE REMOVAL	LF	1500	
9.6	SPECIAL	STUMP GRINDING(>12INCH DIA. TREES)	AC	9.4	
9.7	SPECIAL	HERBICIDE SPRAY TREATMENT WITH COLORANT (<12 INCH DIA. TREES)	AC	9.4	
9.8	SPECIAL	TREE PLANTING	EA	25	
9.9	SPECIAL	WIRE MESH TREE GUARDS	EA	25	
9.10	SPECIAL	TREE GIRDLING	EA	20	
<b>DIVISION 10 - DEMOLITION (NOT USED)</b>					
<b>DIVISION 11 - MISCELLANEOUS (NOT USED)</b>					

**ESTIMATE REFERENCE INFORMATION**

100-4A  
10-29-02

Item No.	Item Code	Description
<b>DIVISION 8 - TRAFFIC CONTROL</b>		
8.1	SPECIAL	TRAFFIC CONTROL This bid item shall include all signs and barricades to control traffic during construction and as required by the Engineer. All traffic control signs shall be florescent Orange VIP sheeting. All traffic control shall meet the requirements of the City of Johnston and the 2009 Manual on Uniform Traffic Control Devices (MUTCD). All placing, moving and removing of traffic control materials shall be considered incidental to this item. Contractor shall provide all traffic control necessary for temporary closure of trail during tree clearing. A 1" steel plate shall be used to protect the trail from construction equipment. The steel plate shall be removed from the trail when not in use. Contractor is responsible for any damage to the trail caused by construction activities. Replacement or repair of the trail is incidental.
<b>DIVISION 9 - SITE WORK AND LANDSCAPING</b>		
9.1	9010-B-1700	SEEDING AND MULCHING (SUDAS WETLAND GRASS SEED MIXTURE)
9.2	9010-B-1000	TEMPORARY SEEDING Bid items include seedbed preparation, seeding, maintaining and watering as specified in Division 9 Section 9010 of the Statewide Urban Standard Specifications (SUDAS). Item to be used inside area of tree clearing area, understory clearing area, and temporary stream crossing. Any disturbed areas beyond the clearing limits shall be the responsibility of the contractor. Seeding shall not occur until the site restoration has been confirmed by the Engineer. Wetland seeding dates will comply with SUDAS (April 1 to June 30). Seeding outside of the specified seeding dates shall comply with SUDAS specifications. If seeding cannot be completed within the SUDAS seeding dates, temporary seed will be planted at the discretion of the Engineer. Type 5 (Rural Temporary Erosion Control Mixture), as specified in Division 9 of SUDAS, shall be used for temporary seeding. If temporary seeding is conducted, the area will later be replanted with the Wetland Grass Seed Mixture. Mulching of the temporary seeding will be considered incidental to the bid item. Contractor will provide the Engineer documentation of seed quantities delivered to the project site and copies of all seed tags. Provide a full, healthy stand of seeded vegetation in accordance with the specification. Over-seed, slit-seed, or re-seed any finished areas that do not establish vegetation per the specifications. Any such re-seeding work is considered incidental. Fertilizer shall not be applied.
9.3	9040-A-2000	STORM WATER POLLUTION PREVENTION PLAN This item to include all costs associated with preparation, implementation and monitoring of a Storm Water Pollution Prevention Plan and all necessary pollution control measures to be constructed and maintained by the contractor for the duration of this project. This includes silt fence, erosion control socks, temporary intake protection, etc. Contractor is responsible to complete weekly and storm event reports and submit inspections to City within 48-hours. Any necessary pollution control measures in excess of other bid item quantities as required by the Contractor's SWPPP shall be included as part of this item.
9.4	9040-N-1100	SILT FENCE INSTALLATION
9.5	9040-N-1300	SILT FENCE REMOVAL These bid items include all materials, equipment and labor necessary for the installation, maintenance, and removal of silt fence.
9.6	SPECIAL	STUMP GRINDING(>12 INCH DIA. TREES) All trees removed over 12' diameter shall be ground to elevation equal to or less than surface level. Backfill of voids created by the grinding process shall be incidental.
9.7	SPECIAL	HERBICIDE SPRAY TREATMENT WITH COLORANT (<12 INCH DIA. TREES) All trees and shrubs removed under 12 inches diameter shall be treated with triclopyr. Colorant should be added to the herbicide to validate treatment.
9.8	SPECIAL	TREE PLANTING
9.9	SPECIAL	WIRE MESH TREE GUARDS Item include bracing, posts and trunk wrapping specified on SUDAS Figure 9030.102. Planting locations will be staked by the Engineer following completion of tree clearing. Notify Engineer at least seven days prior to tree planting. Tree species shall have minimum 2-inch caliper trunks and be approximately 7 to 10 feet tall (approximately 5 gallon pot size). Hickory tree stock must be root pruned. Planting shall not occur until after earthwork is completed. All trees and shrubs must have legible tags to identify species. Five of each of the following tree species shall be planted: Swamp White Oak (Quercus bicolor) FACW, Shellbark Hickory (Carya laciniosa) FACW, American Sycamore (Platanus occidentalis) FACW, River Birch (Betula nigra) FACW, and Pin Oak (Quercus palustris) FACW. Acceptable tree substitutions include Common Buttonbush (Cephalanthus occidentalis) OBL, Pecan Hickory (Carya illinoensis) FACW, Shellbark Hickory (Carya laciniosa) FACW, Green Hawthorn (Crataegus viridis) FACW, Downy Hawthorn (Crataegus mollis) FAC, Hackberry (Celtis occidentalis) FAC, Bur Oak (Quercus macrocarpa) FAC, Nannyberry Viburnum (Viburnum lentago) FAC. Any tree species substitutions shall be pre-approved by the Engineer. Any species substituted shall be seed, nut, or fruit producing with a wetland indicator of OBL, FACW, or FAC. Documentation reflecting the quantity and species of the trees purchased shall be submitted to the Engineer. Install rigid wire or plastic mesh tree guards around each tree trunk. Tree guards shall be a minimum of 48-inches tall and 12-inches in diameter. Use of material other than wire mesh must be pre-approved by the Engineer.
9.10	SPECIAL	TREE GIRDLING See Sheet D.2 for locations. Girdling shall be performed by cutting parallel, horizontal grooves through the bark several inches apart. Remove the bark and cambium layers between the cuts. Any leafing branches on the trunk below the girdling ring must be removed.
<b>DIVISION 10 - DEMOLITION (NOT USED)</b>		
<b>DIVISION 11 - MISCELLANEOUS (NOT USED)</b>		

**ESTIMATE REFERENCE INFORMATION**

100-4A  
10-29-02

Item No.	Item Code	Description
<b>DIVISION 1 - GENERAL</b>		
1.1	1090-A-1000	MOBILIZATION Progress payment will be made according to SUDAS Specifications.
<b>DIVISION 2 - EARTHWORK, EXCAVATION AND GRADING</b>		
2.1	SPECIAL	TEMPORARY STREAM CROSSING & BANK RESTORATION Construct the temporary stream crossing during a period of low flow. Activities should be conducted in a manner to minimize siltation of Beaver Creek. Contractor is responsible for disposal of excess material. Excess erosion stone may be delivered to Johnston Public Works facility (6400 NW Beaver Drive). Notify Engineer at least 48 hours in advance of delivery. Refer to Sheet U.1 and Figure EW-401 of the IDOT Standard Road Plans for location and details. Item include all fill material, revetment, granular surfacing, pipe, excavation, disposal of excess material and all other material, equipment, and labor necessary for the construction of the temporary stream crossing as shown in the plans. Incidental to this item are the removal of the temporary access and restoration of the stream and banks. Payment for this item shall be the lump sum contract price.
2.2	2010-E-1010	CLEARING Refer to Sheet D.1 for location and details. Tree clearing shall be performed from October 1 to March 31. Tree clearing should be performed in a manner to minimize impacts to wetlands in the project area. Site work should be performed when the ground is dry or frozen to minimize rutting. Remove all brush, shrubs, trees, logs, downed timber and other debris from the tree clearing area. Dispose of cleared material off site and in accordance with SUDAS Specifications. Burning will not be allowed. Removal must be conducted by cutting above the ground (e.g. mowing, rotary cutting, and chain sawing). Root systems of the trees and shrubs should not be disturbed by mechanized pushing, dragging, or other similar activities. Brush, shrubs, trees and logs less than 12 inches diameter shall be cut within 4 inches of the ground surface. Item includes project clean up.
<b>DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION (NOT USED)</b>		
<b>DIVISION 4 - SEWERS AND DRAINS(NOT USED)</b>		
<b>DIVISION 5 - WATER MAIN AND APPURTENANCES (NOT USED)</b>		
<b>DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWER (NOT USED)</b>		
<b>DIVISION 7 - STREETS AND RELATED WORK (NOT USED)</b>		

PROJECT NO: 13J02201  
DESIGNED BY: E.MORITZ  
PROJECT DATE: SEPTEMBER 2016  
CHECKED BY: D.ERNST  
CAD DATE: 9/1/2016 9:10:57 AM  
DRAWN BY: J.WILLIAMS  
CAD FILE: c:\pwworkdir\pwworkdir\13J02201\C.1.rvt

NO	DATE	BY	REVISION DESCRIPTION

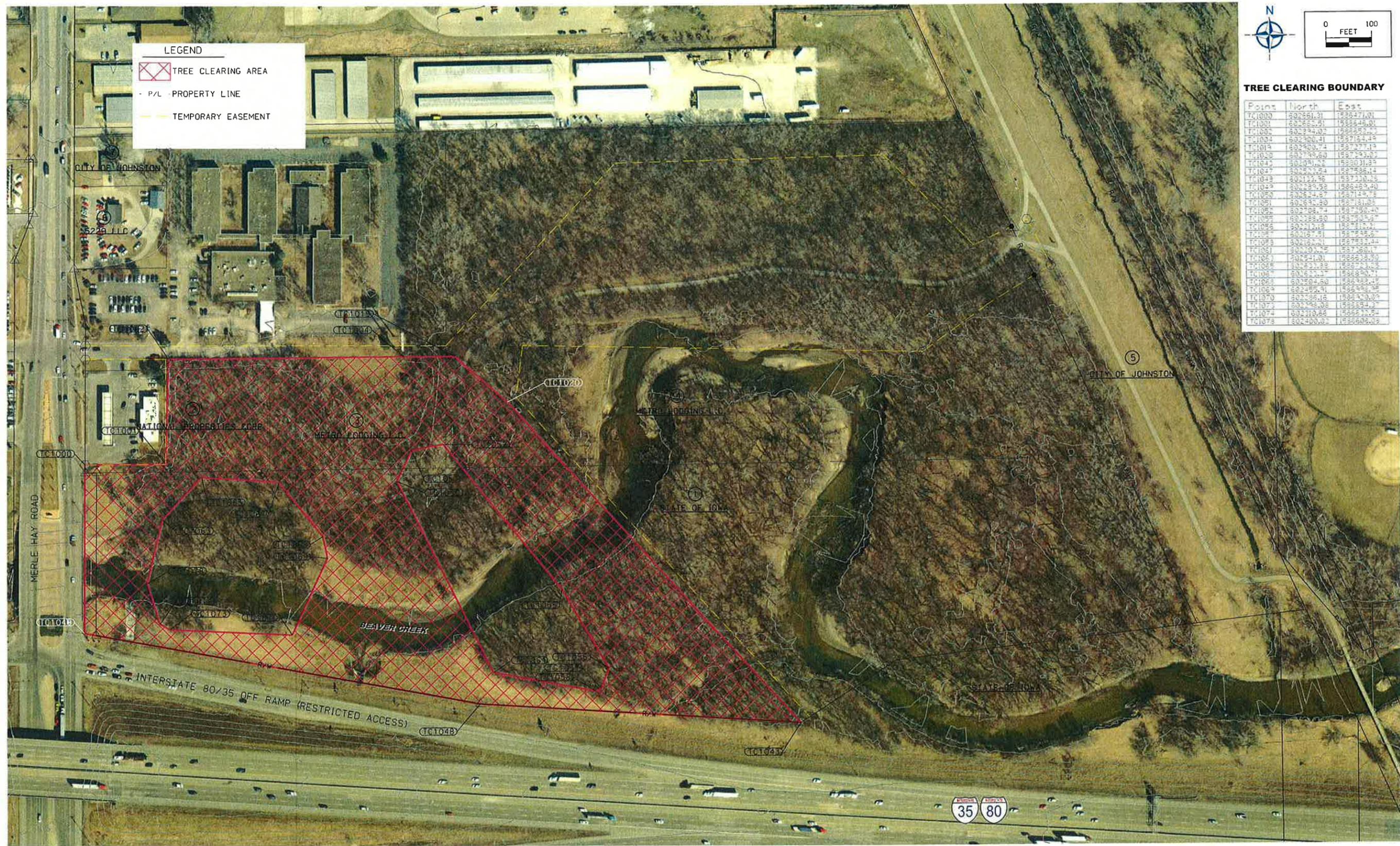


**MERLE HAY ROAD GATEWAY LANDSCAPE IMPROVEMENTS  
MERLE HAY ROAD AT INTERSTATE 80  
JOHNSTON, IA**

ESTIMATED QUANTITIES

SHEET NO.

**C.1**



**LEGEND**

- TREE CLEARING AREA
- - - P/L PROPERTY LINE
- - - TEMPORARY EASEMENT

North Arrow

0 100 FEET

**TREE CLEARING BOUNDARY**

Point	North	East
TC1000	502551.31	1528271.01
TC1001	502552.51	1528245.01
TC1002	502594.02	1528253.53
TC1003	502582.41	1527124.14
TC1004	502580.74	1527377.14
TC1005	502795.60	1527243.53
TC1006	502581.25	1528031.33
TC1007	502573.54	1527536.14
TC1008	502123.16	1527310.35
TC1009	502389.58	1526359.40
TC1010	502644.87	1527114.73
TC1011	502642.30	1527181.35
TC1012	502704.74	1527456.40
TC1013	502389.50	1527433.57
TC1014	502123.19	1527431.21
TC1015	502167.51	1527445.25
TC1016	502167.51	1527513.44
TC1017	502303.22	1527365.17
TC1018	502241.01	1528238.50
TC1019	502531.82	1528238.52
TC1020	502423.17	1528238.51
TC1021	502423.50	1528238.57
TC1022	502425.31	1528238.55
TC1023	502386.15	1528238.00
TC1024	502386.08	1528238.01
TC1025	502313.62	1528238.54
TC1026	502400.32	1528238.05

PROJECT NO: 131022-01  
 PROJECT DATE: AUG 2016  
 CAD DATE: 07/1/2016  
 CAD FILE: \\fvtw\svr\proj\p1\proj\dm45005\131022-01.dwg

DESIGNED BY: E.MURPHY  
 CHECKED BY: S.BRYET  
 DRAWN BY: J.WILLIAMS

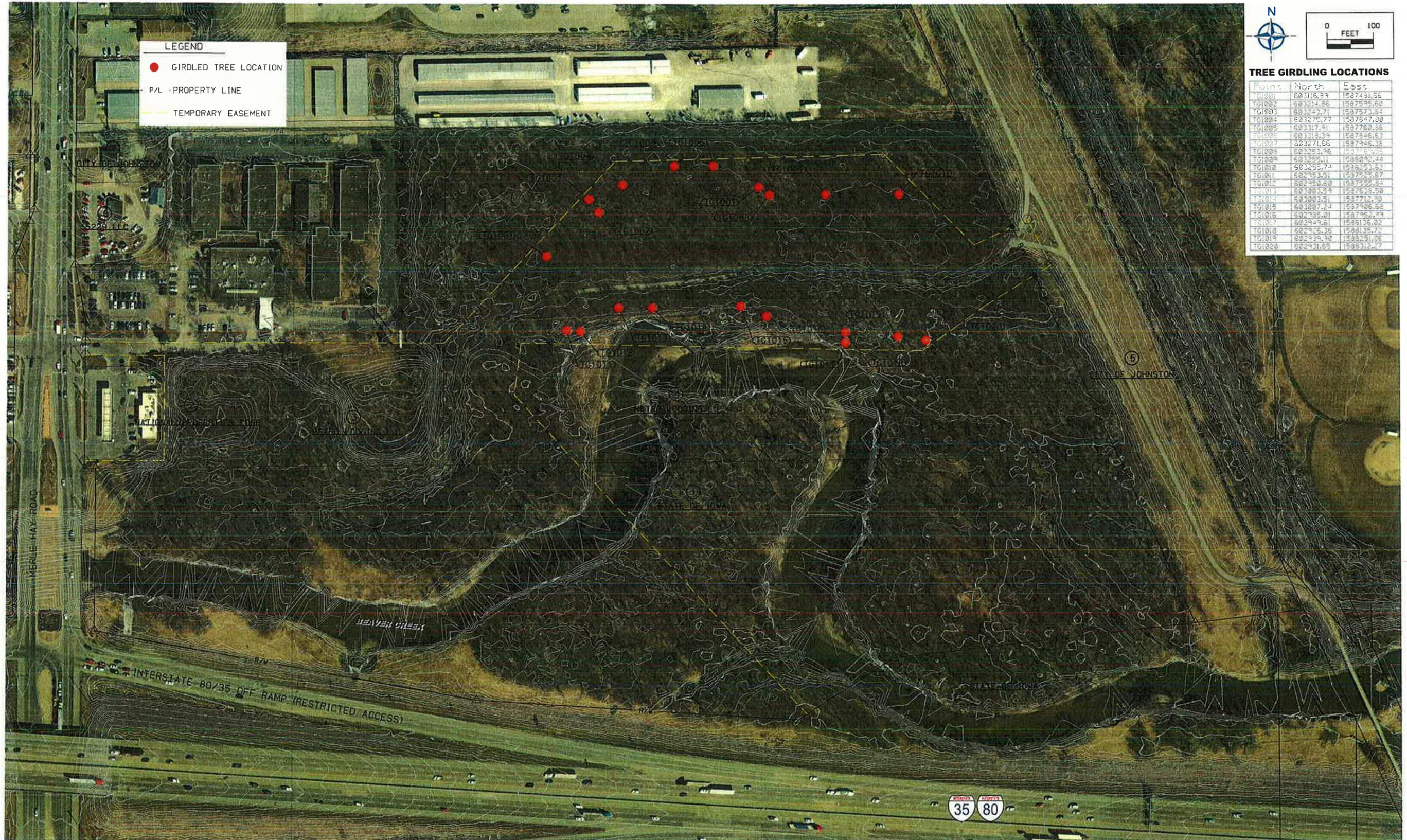
NO.	DATE	BY	REVISION DESCRIPTION



**MERLE HAY ROAD GATEWAY LANDSCAPE IMPROVEMENTS**  
**MERLE HAY ROAD AT INTERSTATE 80**  
 JOHNSTON, IOWA

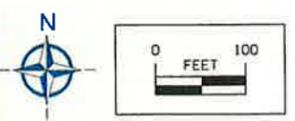
**TREE CLEARING LOCATIONS**  
**PLAN VIEW**

SHEET NO.  
**D.1**



**LEGEND**

- GIRDLED TREE LOCATION
- - - P/L - PROPERTY LINE
- - - TEMPORARY EASEMENT



**TREE GIRDLING LOCATIONS**

Point	North	East
TG1001	603116.39	1587491.66
TG1002	603114.96	1587525.60
TG1003	603123.71	1587577.34
TG1004	603225.77	1587627.30
TG1005	603317.91	1587760.36
TG1006	603318.39	1587545.63
TG1007	603271.66	1587545.36
TG1008	603283.46	1587563.22
TG1009	603285.11	1588092.44
TG1010	603285.74	1587553.53
TG1011	603283.51	1587559.87
TG1012	603280.80	1587525.84
TG1013	603003.99	1587635.50
TG1014	603003.51	1587712.50
TG1015	603007.24	1587506.68
TG1016	602985.01	1587563.79
TG1017	602949.61	1588125.02
TG1018	602956.36	1588135.72
TG1019	602956.40	1588351.26
TG1020	602931.65	1588312.47

PROJECT NO: 15022-01  
 PROJECT DATE: AUG 2018  
 CAD DATE: 3/21/2018  
 CAD FILE: c:\p\johnston\15022-01\15022-01.dwg

DESIGNED BY: ELMRITZ  
 CHECKED BY: DERNST  
 DRAWN BY: J.WILLIAMS

NO.	DATE	BY	REVISION DESCRIPTION



**MERLE HAY ROAD GATEWAY LANDSCAPE IMPROVEMENTS**  
**MERLE HAY ROAD AT INTERSTATE 80**  
 JOHNSTON, IOWA

**GIRDLING LOCATIONS**  
**PLAN VIEW**

SHEET NO.  
**D.2**



**LEGEND**

- TREE CLEARING AREA
- P/L - PROPERTY LINE
- TEMPORARY EASEMENT

0 FEET 100

Point	North	East
TE200	602661.31	1586471.01
TE201	602662.51	1586646.01
TE202	602371.27	1586646.01
TE203	602394.82	1586646.01
TE204	602394.82	1586472.16
TE205	602424.02	1586472.16
TE206	602424.02	1587257.17
TE207	602327.55	1587257.17
TE208	602327.55	1587257.17
TE209	602147.72	1587257.17
TE210	602147.72	1587257.17
TE211	602147.72	1587257.17
TE212	602147.72	1587257.17
TE213	602147.72	1587257.17
TE214	602147.72	1587257.17
TE215	602147.72	1587257.17
TE216	602147.72	1587257.17
TE217	602147.72	1587257.17
TE218	602147.72	1587257.17
TE219	602147.72	1587257.17

PROJECT NO: 131022-01  
 PROJECT DATE: AUG 2016  
 KAD DATE: 07/1/2016  
 YAD FILE: c:\work\67521\kade\p\131022-01\H1.dwg

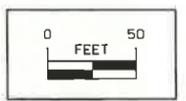
DESIGNED BY: EMURSTE  
 CHECKED BY: DERNIST  
 DRAWN BY: J.WILLIAMS

NO	DATE	BY	REVISION DESCRIPTION



MERLE HAY ROAD GATEWAY LANDSCAPE IMPROVEMENTS  
 MERLE HAY ROAD AT INTERSTATE 80  
 JOHNSTON, IOWA

RIGHT-OF-WAY  
 SHEET NO. H.1



NOTE:  
 1. ACCESS AND PARKING NOT PERMITTED OFF OF INTERSTATE 35/80 OFF RAMP.  
 2. NO EQUIPMENT OR STORAGE OF MATERIALS ALLOWED IN ROW  
 3. SECONDARY ACCESS SHOULD ONLY BE USED FOR SEEDING AND SITE RESTORATION FOLLOWING REMOVAL OF TEMPORARY STREAM ACCESS. SECONDARY ACCESS SHALL NOT BE USED FOR TREE REMOVAL.  
 4. ACCESS ONLY ALLOWED FROM MERLE HAY ROAD.  
 5. TRAIL SHALL REMAIN OPEN DURING CONSTRUCTION. TEMPORARY SHORT DURATION CLOSURES WILL BE ALLOWED.

PROJECT NO: 131022-01	DESIGNED BY: EMORITE
PROJECT DATE: AUG 2018	CHECKED BY: DERNST
CAD DATE: 9/11/2018	DRAWN BY: J.WILLIAMS
CAD FILE: c:\pwworking\foth\181\18145005\131022-01_1.dwg	

REV	DATE	BY	REASON DESCRIPTION



MERLE HAY ROAD GATEWAY LANDSCAPE IMPROVEMENTS  
 MERLE HAY ROAD AT INTERSTATE 80  
 JOHNSTON, IOWA

STAGING AND ACCESS

SHEET NO.  
**J.1**





8191 Birchwood Court, Suite L  
Johnston, IA 50131  
(515) 254-1393 • Fax: (515) 254-1642  
www.foth.com

May 2, 2016

Ms. Heidi Woerber  
U.S. Fish and Wildlife Service, Rock Island District Office  
1511 47th Avenue  
Moline, IL 61265

Dear Ms. Woerber;

RE: Section 9 Consultation: Merle Hay Road Gateway Tree Clearing Project, Merle Hay Road and Interstate 80/35, Johnston, Iowa

Foth Infrastructure & Environment, LLC (Foth) has prepared this request for Section 9 Consultation on behalf of the City of Johnston (City). A Topographic Map showing the project area can be seen on Figure 1.

## **1. Project Concept**

City is proposing to redevelop an area along Merle Hay Road north of Interstate 35/80. Beaver Creek is located in the southern portion of the Gateway area and the City has identified the riparian corridor as an important asset to the project. The plan proposes to selectively remove trees to enhance views and improve pedestrian safety.

The project area contains five zones, as depicted on Figure 2. Zones 1, 2, and 3 were identified as areas of tree clearing to enhance views. Zone 3, which is located closest to the proposed development, would also include clearing for a development pad and stormwater management. Within Zones 4 and 5, understory tree clearing would occur adjacent to the pedestrian trail. The City proposed tree removal plan is further discussed in Section 3.

The current plan does not include stormwater detention or passive recreational areas, such as a canoe/kayak launch or additional recreational trails. Those features may be proposed in the future but are not part of the immediate plans for the permit area. Because the stormwater detention and passive recreation areas are separate and complete projects not tied to the proposed tree clearing, they will be permitted as separate projects as planning of the Merle Hay Road Gateway project progresses.

## **2. Previous Studies**

Foth performed a Desktop Environmental Review and a Tree Inventory so potential impacts could be communicated to concerned parties during the planning process of the project.

Following a pre-agency meeting, Foth completed a wetland delineation of the project area. The delineated wetlands are depicted on Figure 3. A Section 404 Permit Application was submitted to the U.S. Army Corps of Engineers (USACE) on February 8, 2016. In a letter dated February 22, 2016, the USACE indicated that the removal of trees would not result in discharges of fill material and that a Section 404 Permit would not be needed for the project. In a letter dated February 19, 2016, the Iowa Department of Natural Resources (IDNR) indicated that a Flood Plain Development Permit would not be needed as long as the tree material is removed out of the floodplain. A local floodplain permit may be required.

Stantec Consulting Services, Inc. (Stantec) performed an Indiana Bat and Northern Long-eared Bat Presence/Absence Survey in July 2015. The report confirmed the presence of northern long-eared bats within the project area during the summer maternal season. The presence or absence of Indiana bats could not be confirmed. In a phone conversation on February 29, 2016, you indicated that a mist net survey would not be required for the project.

Copies of the Desktop Environmental Review, Tree Inventory, Wetland Delineation Report, Section 404 Permit and Bat Presence/Absence Survey were previously submitted to the FWS. Please contact Foth if additional copies are requested. Copies of the regulatory response letters can also be provided upon request.

## **3. Tree Clearing Plan**

The proposed project has been divided into two segments, the tree clearing plan for the area south of the proposed Merle Hay Road Gateway development (Zones 1, 2 and 3) and the understory clearing plan adjacent to the pedestrian trail (Zones 4 and 5). The preliminary tree clearing plan was developed based on the proposed concept, recommendations from Stantec, and input from a Master Arborist. Approximately fifteen acres of forest will be cleared and approximately three acres of understory clearing will occur. Approximately 39 acres of forested areas will be retained for habitat and aesthetic purposes. An overview of the proposed clearing areas can be seen on Figure 4.

### **3.1 Tree Clearing Area Composition**

Foth is proposing to preserve the forested areas shown on Figure 4. Tree clearing will occur primarily south of the proposed Merle Hay Road Gateway development area. Within Zones 1, 2 and 3, the tree preservation areas cover approximately eleven acres and contain approximately 260 trees, of which, over 50% are maples. Boxelder and elm

species compromise 10% and 17% of the preserved trees, respectively. Honeylocust, ash, mulberry, cottonwood, oak and hackberry account for less than 10% each of the remaining population of preserved trees. Three areas of downfall, which could be potential bat habitat, are located within or near the western preservation area. These three areas, in addition to a fourth area of downfall south of Beaver Creek, will not be removed so they can provide bat habitat.

Approximately 1,500 trees will be removed from the tree clearing area, which covers approximately fifteen acres. The sizes and condition of the bark of the trees proposed for removal are summarized on Table 1 and are depicted on Figures 5A through 5C. The clearing area is dominated by over 40% maples, 20% elm, and 12% cottonwood. Boxelder, ash, honeylocust, hackberry, willow and mulberry account for less than 10% each of the remaining population of proposed trees to be removed. Approximately 415 of the 1,500 trees slated for removal were ash, elm, mulberry, or willow, the species recommended for clearing by the master arborist. The hackberry and locust species, which were preferred by the arborist, only account for 8% of the trees within the clearing area.

The size distribution of the trees within the clearing area is primarily less than 18 inches diameter breast height (dbh), as is depicted on Figures 5A through 5C. Approximately 40% of the trees being removed are less than 11-inches dbh. Approximately 20% are 12-18 inches dbh and 15% are 19-27 inches dbh. Only 5% are 28-38 inches dbh and 1% were greater than 39 inches dbh. Within the tree clearing area, 82% of the trees had less than 5% loose or peeling bark, 7% had 5-25% peeling bark, and 11% had more than 25% peeling bark.

### **3.2 Understory Clearing Plan**

The understory clearing plan addresses the proposed clearing measures that will be implemented adjacent to the pedestrian trail in the northwest portion of the project area. These measures are proposed to increase the safety of the trail users. Within the understory clearing area, which covers approximately three acres, Foth is proposing to remove all ash trees and all understory trees less than 11-inches dbh within a 100-foot wide area along the existing trail. Figure 6A and 6B shows the size distribution of trees within the understory clearing area adjacent to the pedestrian trail. The tree details are also summarized on Table 2.

Approximately 256 trees will be removed from the understory clearing area, including 80 ash trees and 176 other species that are less than 11-inches dbh. The understory clearing area is dominated by ash, elm and maples trees, which account for 86% of the trees proposed for removal. The remaining small diameter trees that will be removed are box elder, honeylocust, and mulberry species. Following the proposed understory clearing, approximately 71 trees greater than 11-inches dbh will remain in the 100-foot wide corridor along the pedestrian trail.

### **3.3 Avoidance of Wetland Impacts**

The tree removal plan will not include mechanized removal of the tree stumps to minimize impacts to the wetlands that were identified within the permit area. The trees will be cut within one-foot of ground level and the stumps will be left in place. The City is proposing to perform the proposed tree clearing during dry ground conditions or when the ground is frozen to minimize potential wetland impacts. Incidental ruts or minor ground disturbances may occur during the project; however, those areas will be restored to pre-existing topographic contours when the project is complete. The cleared areas will be seeded following completion of the project.

### **4. Minimization of Impact to Bat Species**

In order to comply with Section 9 of the Endangered Species Act, the City will take measures to minimize the potential for impact to northern long-eared bats and Indiana bats that may occur within the project area. The following efforts will be taken to minimize impacts:

- Tree clearing will be performed from October 1 to March 31 to avoid impacting bats during the maternal season.
- During and following tree removal, sediment and erosion control measures will be implemented, including restoring vegetation.
- The project will not involve filling or channelizing streams or wetlands.
- Future stormwater management areas within the project area will be designed as vegetated wetland areas rather than open water detention basin.
- The City is not proposing to place a deed restriction on the project area. A majority of the land is located within a FEMA identified floodplain, within a U.S. Army Corps of Engineers (USACE) Flowage Easement, within a delineated wetland, or on property owned by the Iowa Department of Transportation (IDOT). Future placement of fill within the FEMA floodplain would be regulated by the IDNR Floodplain Section. The purpose of the Flowage Easement is to allow the USACE to store floodwater on the easement area. Although the easement document for this parcel has not been reviewed, these easements generally prevent the area from being filled. A Section 404 Permit, including consultation with the FWS and other agencies, would be required if the property owners proposed filling or impacts to the tree preservation areas. The tree preservation areas appear to have a level of protection from future encroachment based on these existing restrictions; therefore, placement of a deed restriction or conservation easement is not proposed.
- Efforts will be made to improve bat habitat within the tree preservation areas. The proposed understory clearing plan along the trail corridor will provide habitat improvements. Additionally, approximately 15- 20 trees within the project area will be girdled. The girdled trees will die, but will remain standing to provide habitat for bats and other wildlife. The girdled trees will be selected primarily from within Zones 4 and 5.

- The tree inventory identified seven areas of downfall within the project area. Four of these snags will be retained to provide habitat for bats. The approximate locations of the snags are shown on Figure 4.
- Because the purpose of the project is to clear trees to enhance views, replacement tree planting is not proposed within the clearing area. Additional landscape plantings may be added south of Beaver Creek near the interstate to improve the aesthetics of the area.

## 5. Summary

The project area covers approximately 57 acres. Within that area, approximately fifteen acres of trees will be cleared and three acres of understory species will be cleared. The tree preservation areas will account for approximately 39 acres within the project area.

Efforts will be taken during implementation of the proposed tree clearing and understory plan to minimize impacts to northern long-eared and Indiana bats. Tree clearing will be performed from October 1 to March 31 to avoid impacting bats during the maternal season. During and following tree removal, sediment and erosion control measures will be implemented, including restoring vegetation; tree clearing will be performed when the ground is frozen to minimize ground disturbances. The tree preservation areas appear to have a level of protection from future encroachment based on existing restrictions by the USACE, IDOT and IDNR floodplain regulations; therefore, placement of a deed restriction or conservation easement is not proposed. Understory clearing along the pedestrian trail, girdling of trees within the preservation area, and the retention of snags/deadfall will provide improved habitat for the T&E bat species.

It is Foth's opinion that the proposed project will not result in direct take or impacts to northern long-eared bats or Indiana bats because of the minimization efforts that will be undertaken. **Foth respectfully requests your concurrence with the proposed project.** If you have any questions, need additional information or would like copies of previously submitted reports, please contact Eva at 515-251-2524 or [Eva.Moritz@Foth.com](mailto:Eva.Moritz@Foth.com).

Sincerely,  
Foth Infrastructure & Environment, LLC

Eva Moritz, P.E.  
*Environmental Engineer*

Enclosures    Figures  
                         Tables

cc: Mr. David Wilwerding, Community Development Director, City of Johnston

Ms. Heidi Woeber  
U.S. Fish and Wildlife Service, Rock Island District Office  
May 2, 2016  
Page 6

PO Box 410, 6221 Merle Hay Road, Johnston, IA 50131



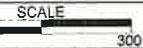


**LEGEND**

--- GREENSPACE ZONES

**MHRG GREENSPACE ZONES**

**MERLE HAY ROAD GATEWAY PERMITTING  
GREENSPACE ZONING  
JOHNSTON, IOWA**



PROJECT ID #

DATE: 1/15/16  
PREPARED BY: SBS  
CHECKED BY: ESM



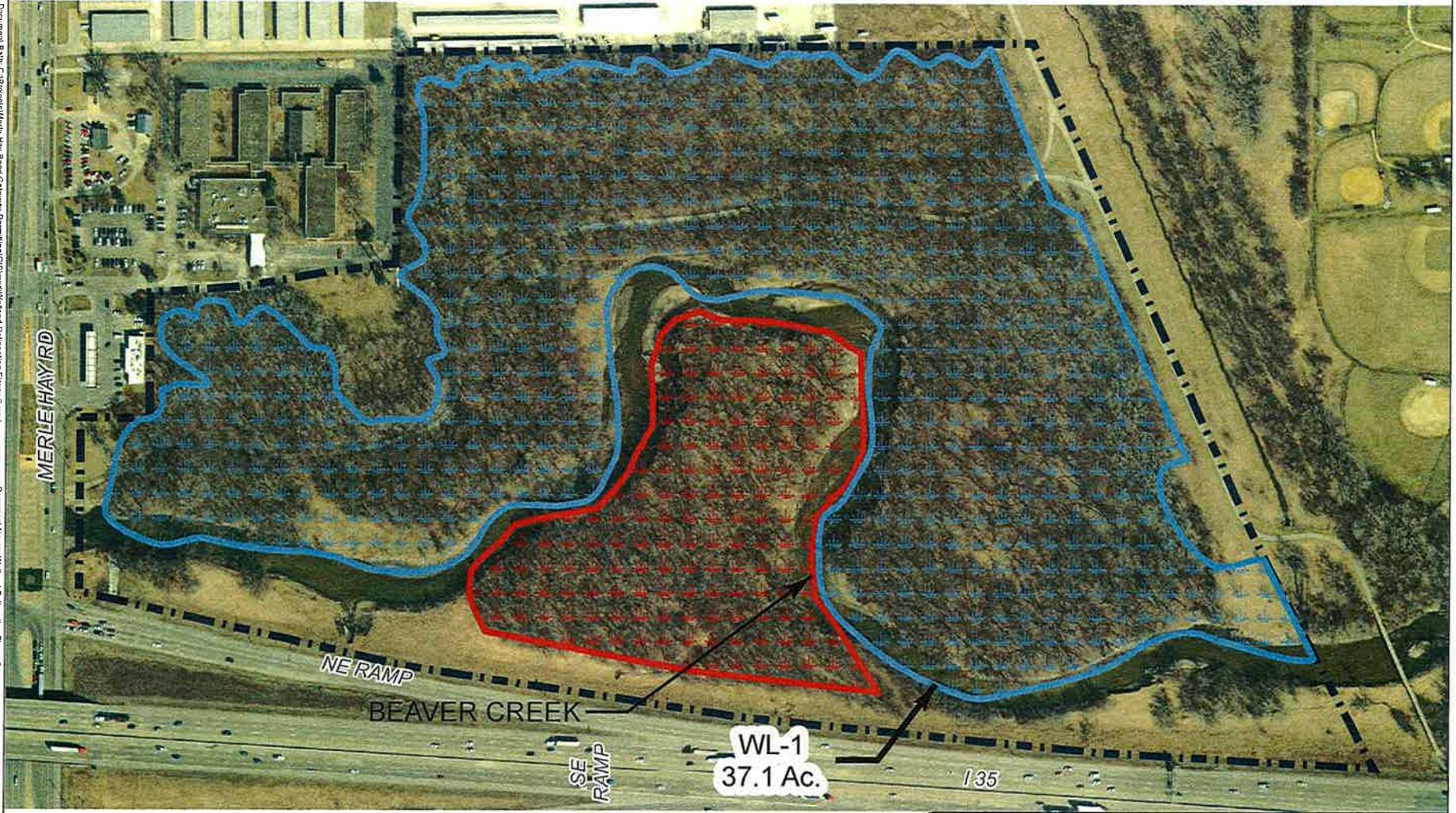
FIGURE NO.  
**2**

AERIAL IMAGERY COURTESY OF POLK COUNTY, IOWA

Document Path: C:\Projects\Merle Hay Road Gateway Permitting\GIS\Wetland\Wetland Delineation Figure 3.mxd

Document Name: Wetland Delineation Figure 3

©2015 Foth Infrastructure & Environment, LLC



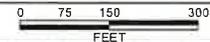
### LEGEND

-  WETLAND AREA
-  ASSUMED WETLAND AREA



### WETLAND DELINEATION MAP

MERLE HAY ROAD GATEWAY  
 MERLE HAY RD. NORTH OF INTERSTATE 35/80  
 JOHNSTON, IOWA



PROJECT ID. #:

DATE: 1/21/2016  
 PREPARED BY: SKY  
 CHECKED BY: ESM



FIGURE NO.  
 3

3/2/2016 10:44:49 AM \\pww-lps-johnston\proj\_03\Documents\clients\johnston ia\Merle Hay Road Gateway Farm\Tree Clearing Greenspace Selective Clearing\_Plan.dwg



**LEGEND**

-  GREENSPACE ZONES
-  TREE PRESERVATION AREA
-  DOWNFALL



**PRELIMINARY TREE CLEARING PLAN**

**MERLE HAY ROAD GATEWAY PERMITTING  
GREENSPACE SELECTIVE CLEARING PLAN  
JOHNSTON, IOWA**



PROJECT ID #

DATE: 1/15/16

PREPARED BY: SBS

CHECKED BY: ESM



FIGURE NO.

4



Clearing Area Tree Specifications			
Property Lines	<5% Peeling Bark	6-25% Peeling Bark	25-100% Peeling Bark
Tree Preservation Area	0 - 11 in (453)	0 - 11 in (37)	0 - 11 in (61)
Proposed Clearing Area	12 - 16 in (254)	12 - 16 in (18)	12 - 16 in (33)
Ash Trees (55)	19 - 27 in (166)	19 - 27 in (15)	19 - 27 in (19)
Elm Trees (213)	28 - 38 in (57)	28 - 38 in (6)	28 - 38 in (8)
Mulberry Trees (13)	39 - 54 in (14)	39 - 54 in (5)	39 - 54 in (2)
Willow Trees (28)			

Preliminary Tree Clearing Plan

MERLE HAY ROAD GATEWAY  
MERLE HAY RD. NORTH OF INTERSTATE 35/80  
JOHNSTON, IOWA

PROJECT ID. #:

---

DATE: 3/28/2016  
PREPARED BY: SBS  
CHECKED BY: ESM

**Foth**  
Footh Infrastructure & Environment, LLC

FIGURE NO.  
5A

Doc: 20160315 - 0 - Project: Merle Hay Road Gateway Environmental Impact Statement - 20160315 - 0 - 020404.dwg



Clearing Area Tree Specifications		
Property Lines	<5% Peeling Bark	6-25% Peeling Bark
Tree Preservation Area	25-100% Peeling Bark	
Proposed Clearing Area		
Ash Trees (55)	0 - 11 in. (453)	0 - 11 in. (37)
Elm Trees (213)	12 - 18 in. (254)	12 - 18 in. (18)
Mulberry Trees (13)	19 - 27 in. (168)	19 - 27 in. (15)
Willow Trees (38)	28 - 38 in. (57)	28 - 38 in. (6)
	39 - 54 in. (14)	39 - 54 in. (2)

Preliminary Tree Clearing Plan

MERLE HAY ROAD GATEWAY  
MERLE HAY RD. NORTH OF INTERSTATE 35/60  
JOHNSTON, IOWA

PROJECT ID. #:

DATE 3/26/2016	Foth Infrastructure & Environment, LLC	FIGURE NO
PREPARED BY: SSS		5B
CHECKED BY: ESM		

Scale: 1" = 100'. © 2016 Foth Infrastructure & Environment, LLC. All rights reserved. This drawing is not to be used for any other project without the written consent of Foth Infrastructure & Environment, LLC.



Clearing Area Tree Specifications			
Property Lines	<5% Peeling Bark	6-25% Peeling Bark	25-100% Peeling Bark
Tree Preservation Area	0 - 11 in (453)	0 - 11 in (27)	0 - 11 in (81)
Proposed Clearing Area	12 - 18 in (264)	12 - 18 in (18)	12 - 18 in (33)
(A) Ash Trees (56)	19 - 27 in (166)	19 - 27 in (15)	19 - 27 in (19)
(E) Elm Trees (213)	28 - 30 in (57)	28 - 30 in (8)	28 - 30 in (8)
(M) Mulberry Trees (13)	30 - 54 in (14)	30 - 54 in (5)	30 - 54 in (2)
(W) Willow Trees (28)			

Preliminary Tree Clearing Plan

MERLE HAY ROAD GATEWAY  
MERLE HAY RD, NORTH OF INTERSTATE 35/80  
JOHNSTON, IOWA

PROJECT ID. #:

DATE: 3/28/2018  
PREPARED BY: SBS  
CHECKED BY: ESM

FIGURE NO.  
5C

**Foth**  
Footh Infrastructure & Environment, LLC

Doc # 171017 - 02 - Project: Merle Hay Road Gateway, Footh Infrastructure & Environment, LLC, Johnston, Iowa





Clearing Area Tree Specifications		
<5% Peeling Bark	5-20% Peeling Bark	25-100% Peeling Bark
8-11 in. (148)	9-11 in. (150)	0-11 in. (18)
12-16 in. (42)	12-18 in. (3)	12-18 in. (2)
19-27 in. (23)	19-27 in. (1)	19-27 in. (1)
28-31 in. (1)	31-35 in. (1)	30-38 in. (1)
38-54 in. (1)	38-54 in. (1)	30-54 in. (1)

**Understory Tree Clearing Plan**  
 MERLE HAY ROAD GATEWAY  
 MERLE HAY RD. NORTH OF INTERSTATE 35/80  
 JOHNSTON, IOWA

0 25 50 Feet PROJECT ID. #:

DATE: 03/20/18  
 PREPARED BY: SSG  
 CHECKED BY: ESM

FIGURE NO.  
6B

**Foth**  
Foth Infrastructure & Environment, LLC

**Table 1 - Preliminary Tree Clearing Plan  
Merle Hay Road Gateway  
Johnston, Iowa**

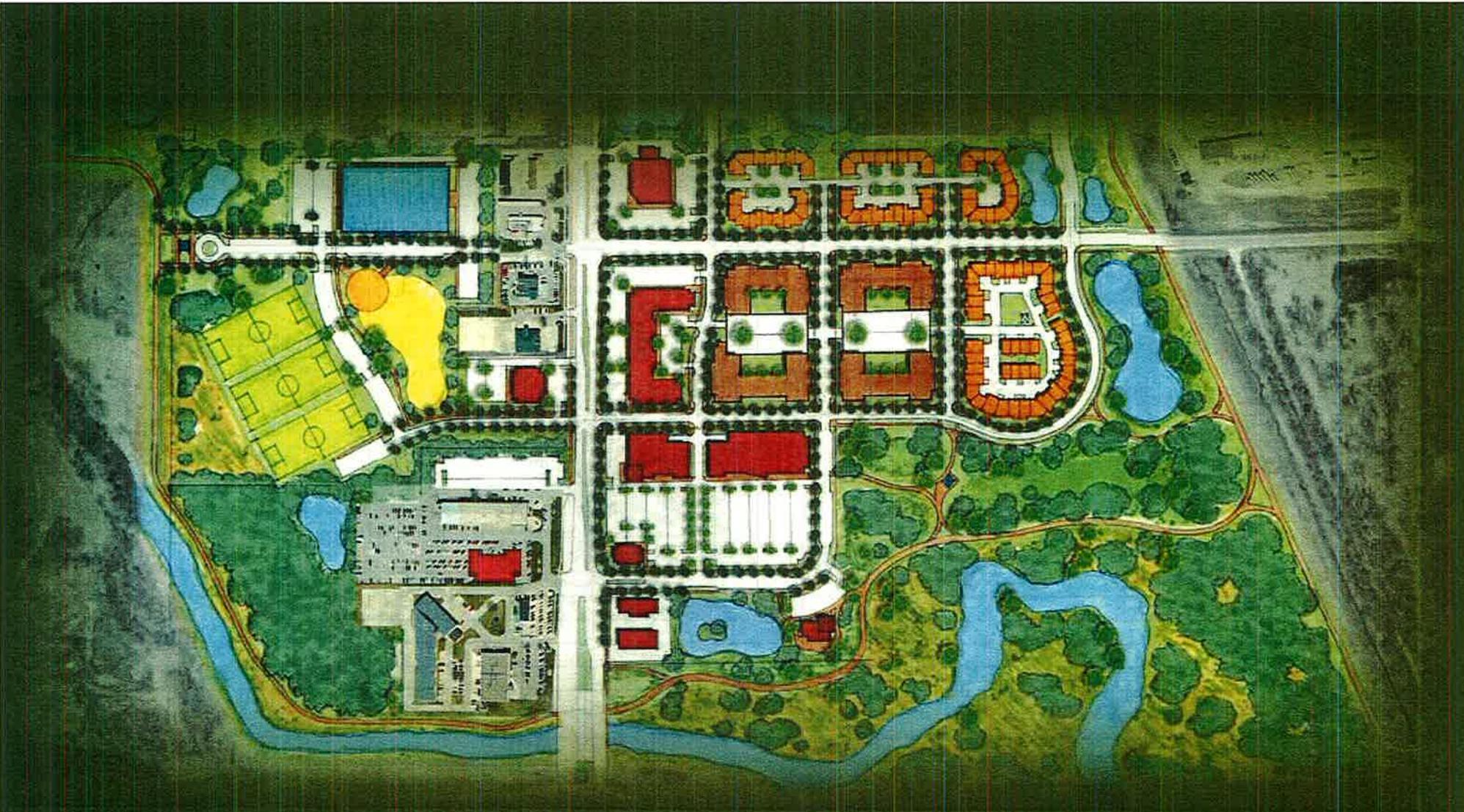
Species	Clearing Area															Total Trees to be Removed
	<5% Peeling Bark					5-25% Peeling Bark					25-100% Peeling Bark					
	0-11"	12-18"	19-27"	28-38"	39-54"	0-11"	12-18"	19-27"	28-38"	39-54"	0-11"	12-18"	19-27"	28-38"	39-54"	
Maple Species	168	149	98	45	7	7	4	6	1	3	10	13	1	2	1	515
Elm Species	136	41	8	0	0	14	10	3	0	0	26	5	3	0	0	246
Cottonwood Species	63	32	34	4	3	1	0	1	0	1	2	2	3	0	0	146
Boxelder	51	5	2	1	0	14	2	0	0	0	11	8	4	0	0	98
Ash Species	28	14	7	2	0	3	0	0	0	0	1	1	0	1	0	57
Honeylocust	5	2	7	3	4	1	1	4	5	1	1	2	6	4	1	47
Northern Hackberry	27	13	3	0	0	1	0	0	0	0	1	0	0	1	0	46
Willow Species	3	3	4	0	0	1	3	0	0	0	12	3	2	0	0	31
Mulberry Species	13	0	2	0	0	0	0	0	0	0	0	0	0	0	0	15
Black Walnut	0	2	2	1	0	0	0	0	0	0	0	0	0	0	0	5
Cherry Species	2	0	1	0	0	0	0	0	0	0	0	0	0	0	0	3
N/A	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	2
Oak Species	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	2
Fir Species	0	0	0	0	0	0	0	1	0	0	1	0	0	0	0	2
Hickory Species	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	2
Sycamore Species	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
Pine Species	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	1
<b>Total</b>	<b>499</b>	<b>264</b>	<b>168</b>	<b>57</b>	<b>14</b>	<b>42</b>	<b>20</b>	<b>15</b>	<b>6</b>	<b>5</b>	<b>66</b>	<b>34</b>	<b>19</b>	<b>8</b>	<b>2</b>	<b>1,219</b>

 Undesirable Species (per the Master Arborist)  
 Desirable Species (per the Master Arborist)

**Table 2 - Preliminary Understory Clearing Plan  
Merle Hay Road Gateway  
Johnston, Iowa**

Species	Clearing Area															Total Trees to be Removed
	<5% Peeling Bark					5-25" Peeling Bark					25-100% Peeling Bark					
	0-11"	12-18"	19-27"	28-38"	39-54"	0-11"	12-18"	19-27"	28-38"	39-54"	0-11"	12-18"	19-27"	28-38"	39-54"	
Ash Species	61	13	1			1					3	1				80
Elm Species	55	3	3			12	2				8	1				75
Maple Species	57	33	11	1		2	1				5	1				64
Boxelder	12					1					3	1	1			16
Honeylocust	16	2														16
Mulberry Species	2															2
Cherry Species	1															1
Northern Hackberry	1	5														1
Walnut, Black	1															1
Cottonwood Species			5													0
Willow Species			1													0
<b>Total</b>	<b>206</b>	<b>56</b>	<b>21</b>	<b>1</b>	<b>0</b>	<b>16</b>	<b>3</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>19</b>	<b>4</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>256</b>

Undesirable Species (per the Master Arborist)  
 Desirable Species (per the Master Arborist)



# MERLE HAY ROAD

GATEWAY REDEVELOPMENT STUDY

**FINAL REPORT**

**SEPTEMBER 16, 2013**

# REDEVELOPMENT MASTER PLAN

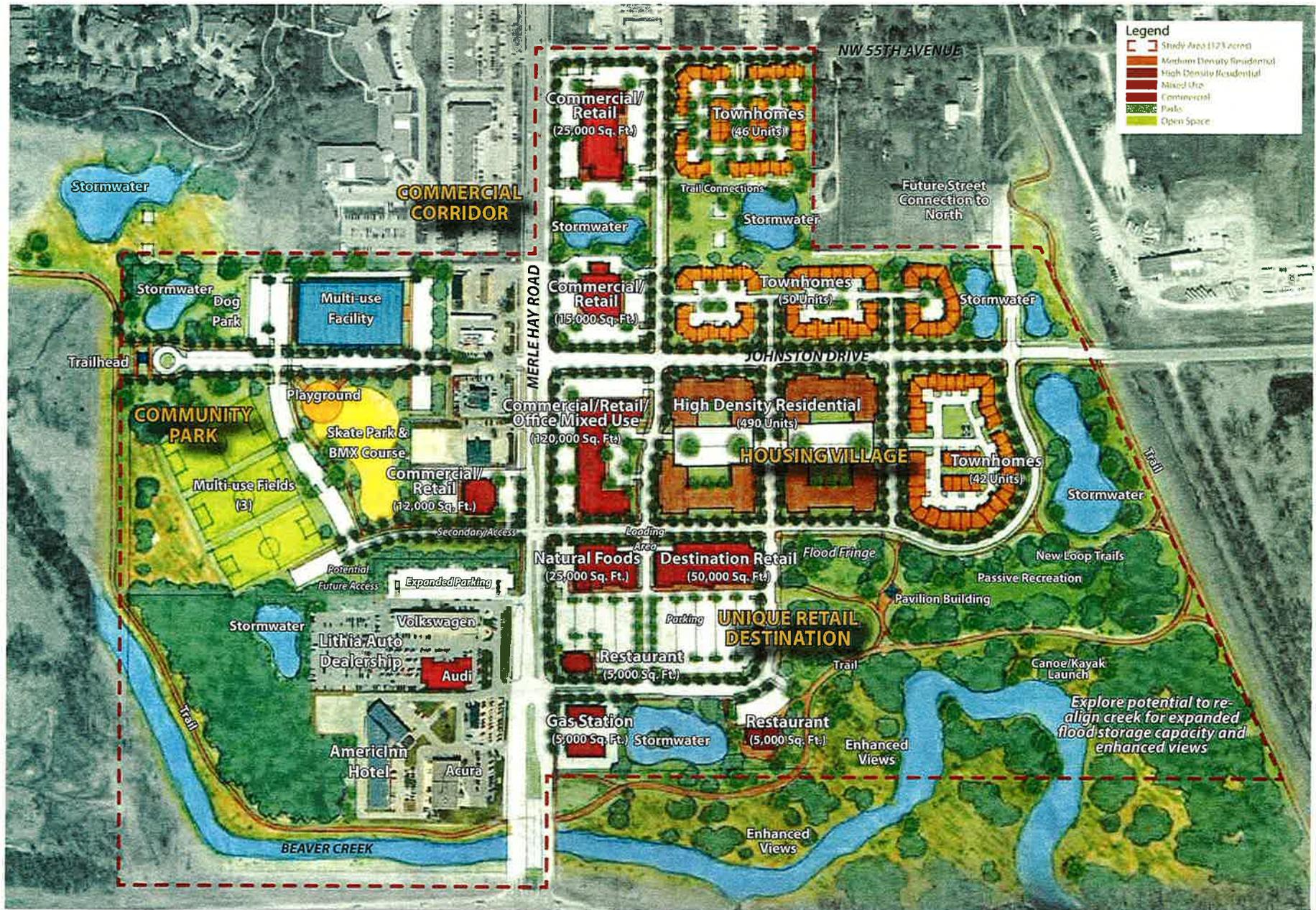


Figure 4.2 - Redevelopment Master Plan

## PARKS & TRAILS

Beaver Creek and the natural open space that surrounds the creek truly set the Merle Hay Road Gateway apart from other major interchanges in the Des Moines metropolitan area. Leveraging this great natural resource for the district is a key element to the transformation of the Gateway area as the planned development of outdoor recreation retailers, an urban housing village and new community park collectively work to support this unique and identifiable brand for the district.

Currently, Beaver Creek is noted as a water trail, a four to six mile canoeing / kayaking route through the City of Johnston. The master plan sees an opportunity to expand recreation and tourism in this regard with the addition of more canoe/kayak launches along the creek to provide more opportunities to get on the water. The planned outdoor recreation retailer could even use portions of the creek to test equipment and provide training and educational opportunities for those interested in watersports on the creek or nearby Saylorville Lake.

A new community park is planned as a primary component to the West District on the former industrial property and open fields below the upper tier commercial businesses. This new park facility is envisioned as not only a destination for the community of Johnston, but potentially the broader Des Moines metropolitan area boasting unique recreational opportunities, strongly tied to outdoor recreation and adventure sports. Potential park programs and facilities could include:

- Multi-use facility (indoor facility for summer time sports, soccer, baseball, lacrosse, etc.)
- Skate park / BMX park / Technical mountain bike riding course
- Multi-purpose fields
- Playground
- Trailhead
- Dog Park

The existing trail connections along the creek edge provide a tremendous opportunity for walking and biking and create a strong connection under Merle Hay Road between the East and West Districts and to the broader community. The trail network ties into the Trestle Trail under Interstate 35/80 and to the northwest through the Beaver Creek Natural Resource Area.



*A skate park could be one element within the community park that is a true destination for the Des Moines metro area.*

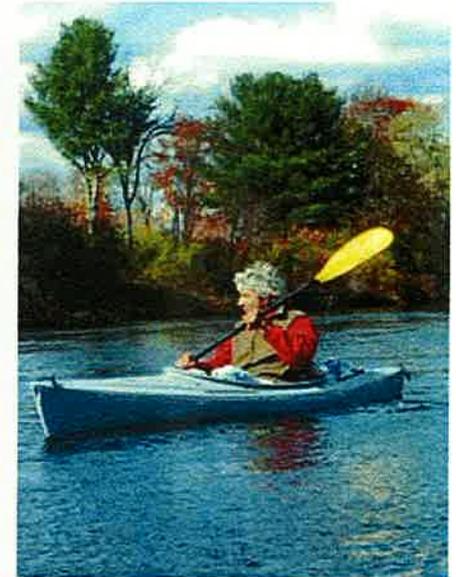
The combination of the Merle Hay Road Gateway's central location within the Des Moines Metropolitan area, at a major interchange and at the hinge of major regional recreation areas provide a unique opportunity for a parks and recreation focus for redevelopment (See Figure 2.4). With the Des Moines River Valley to the east, Saylorville Lake, Bob Shetler and Lakeview Recreation areas to the north, and Beaver Creek Natural Resource Area, Lew Clarkston Park and the Beaver Creek Water Trail on the east side of the district, the confluence of recreation, natural resources and economic development opportunity all occur at the Merle Hay Road Gateway Area. Providing enhanced connections to these open space amenities and becoming the primary hub for recreation activities has strong potential to become the identifying brand for the Gateway Area.



*A BMX or technical mountain bike riding course could be the foundation for a unique recreation / adventure sports destination.*



*Multi-use trails should form the edge of natural areas along Beaver Creek and create linkages between each development district.*



*Promote water recreation uses such as canoeing/kayaking on Beaver Creek and Saylorville Lake*



*A multi-use recreation center and community playground are additional features to consider in the community park.*



*A dog park could be a low impact use in the more flood prone areas of the planned community park location.*

## OPEN SPACE & GREEN INFRASTRUCTURE

While the natural area of primarily flood plain forest and scrub trees surrounding the creek is a valued natural resource, today the area is seen as unsightly and not very safe by trail users. During flooding events, backwater floods the area and as the waters recede, they leave behind everything from downed floating trees to trash. The hotel property has been a dumping ground for old tires, mattresses and brush. Cleaning up the area behind the hotel should be a top priority.

A tree inventory for the floodplain forest area should also be considered. As early as the 1970s much of the treed area east of the hotel site was in active agriculture. Removing dead, downed trees, selective clearing of invasive and scrub trees and the limbing up of and native trees to open sightlines for security purposes should be a focus for this area. Overtime, as residential development is planned for the areas to the north, opportunities for passive recreation areas, a small natural themed playground and pavilion building could be great park assets for adjacent residents.

The community should also continue to explore opportunities to mitigate flooding in the area. One opportunity discussed during the planning process was to lengthen the channel of Beaver Creek to create additional storage capacity as floodwaters backup from the confluence of the Des Moines River and Beaver Creek. Initial ideas explored stretching the oxbow area east of the hotel site to the north and would accommodate roughly 700 linear feet of creek length. On-going coordination with the Army Corps of engineers is needed to pursue this idea further.

Green infrastructure or stormwater treatment areas are integrated within the open space systems of the Gateway district and treated as an amenity. Balancing water quality, flood protection and development potential is a key element to the success of the Merle Hay Gateway. To do so, utilizing a sub-district or sub-regional approach to stormwater treatment is recommended. The combination of smaller, on-site treatment techniques such as rain gardens, bio-swales, permeable paving and green roofs to address water quality issues, larger district-wide stormwater ponds should be developed to accommodate volume and flood control. Stormwater areas identified in this plan generally form the edge between developed areas and natural, open space areas.



*Utilize stormwater treatment as a park/ open space amenity.*



*On-site stormwater treatment techniques such as rain gardens and bio-filtration areas should be utilized with larger sub-district stormwater ponds*

# LAND USE: PARKS AND TRAILS, OPEN SPACE AND GREEN INFRASTRUCTURE

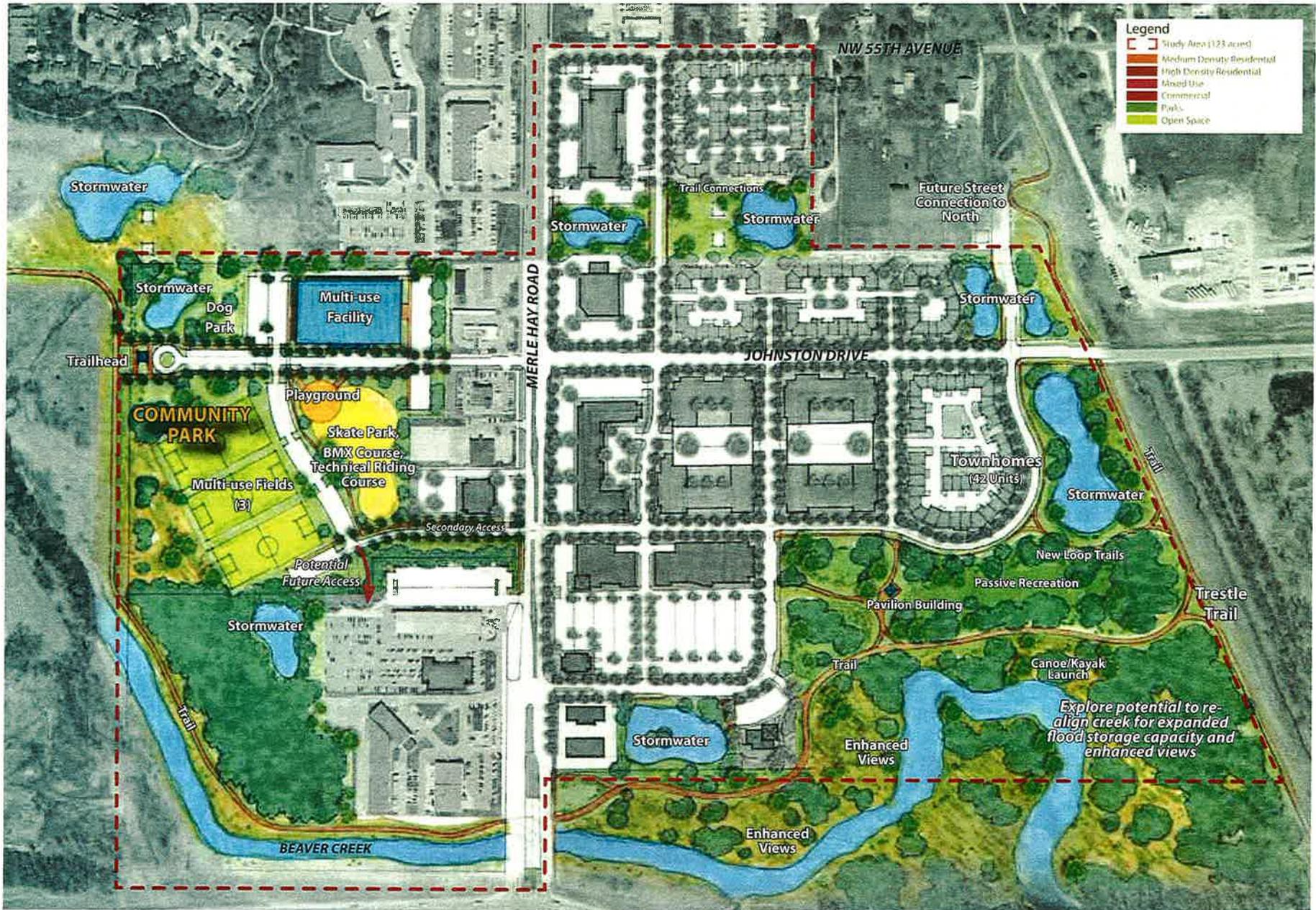


Figure 4.9 - Parks and Trails, Open Space and Green Infrastructure

## PHASING

The approach to redevelopment phasing outlined below builds upon known investments and responds to site readiness and necessary public improvements. It is anticipated that full redevelopment highlighted with this report could take over 20 years to accomplish assuming a return to a relatively stable & growing real estate marketplace.

To act as a basis for analyzing the critical implementation issues and to focus the first steps needed to begin development and redevelopment, as well as best assess the fiscal implications for redevelopment, the master plan phasing strategy is structured around four general phases:

- Immediate, 0-5 years;
- Short-Term, 5-10 years;
- Mid-Term, 10-20 years;
- Long-Term, 20 + years.

These four plan phases sequentially build to the Redevelopment Master Plan (Figure 4.2) outlined in the master plan chapter. The following represents a summary of the four identified redevelopment phases, the associated projects within each phase, both public and private. The Immediate and Short-Term phases also examine the anticipated sources and uses of funds needed to facilitate redevelopment summarized into general categories. The breakdown of each phase is outlined over the following pages.

### IMMEDIATE PHASE (0-5 YEARS)

In the immediate phase, the City must lay the ground work for future improvements and build momentum for subsequent phases. A key step is to work with prospective developers to assemble necessary property at the hotel site and the Heard Gardens area, as well as begin the investigation of removal or relocation of businesses that do not fit with vision for the Gateway area.

Certain properties are available for development today, and any development there should fit with the long-term vision of the entire Gateway area. An important element to development in the immediate phase is to treat these projects as model development for the future. Highlighting the appropriate

design aesthetics, long-term planning and strong public-private partnerships will add tremendous value going forward.

Key elements of the Immediate Phase include:

- Coordinate redevelopment preparation at the Hotel site including:
  - » Assembly of necessary parcels;
  - » Demolition of the Hotel;
  - » Creating improved sightlines for development visibility with tree clearing;
  - » Creating a more attractive setting for future development by cleaning out dead / downed trees;
  - » Opening sightlines along trail for increased security;
  - » Review sign ordinance for future compliance or necessary ordinance modifications;
  - » Recruit potential users targeting destination retailer with outdoor recreation focus (REI / Gander Mountain) as primary use;
  - » Investigate potential for corporate office headquarters or hotel, conference and restaurant use as secondary options for redevelopment;
- Develop commercial / retail building at intersection of Merle Hay Road and Johnston Drive.
- Develop medium density housing north of Johnston Drive in the Heard Gardens District.
- Establish future development pattern for Heard Gardens District with new street east of Merle Hay Road.
- Expansion of auto dealership parking lot to north.
- New auto dealership building developed.
- Investigate the relocation and or acquisition of industrial property west of Merle Hay Road and the Budget Storage on the east side.
- Promote assembly of parcels by the private sector for the parcels north of the transmission lines in the Heard Gardens District.

# IMMEDIATE PHASE: 0-5 YEARS

#	Project	Sq. Ft.	Units
1	New Auto Dealership Building	15,000	
2	Commercial Bldg. at MHR & Johnston Dr.	15,000	
3	Townhomes at Heard Gardens		18
<b>Immediate Phase Total:</b>		<b>30,000</b>	<b>18</b>

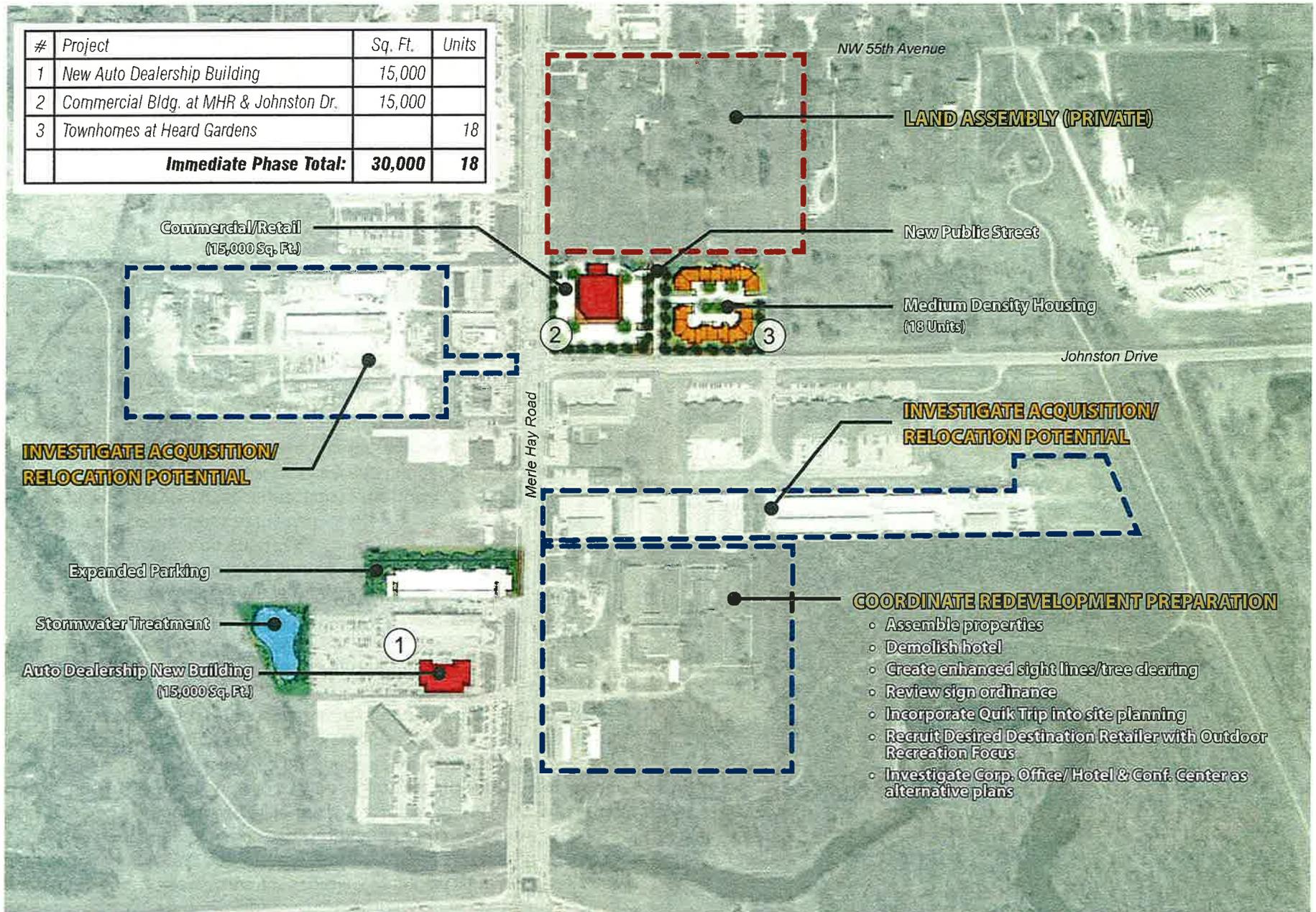


Figure 5.2 - Immediate Phase

## SHORT-TERM PHASE (5-10 YEARS)

Following the site readiness steps taken in the immediate phase, the redevelopment of the hotel site with a catalyst project (unique destination retail / new hotel-convention center / corporate office headquarters) will set the table for broader transformation of the district. Combined with the removal or relocation of non-compatible industrial yard and storage uses, the Gateway District will truly begin a physical transformation. Continued developments at the Heard Gardens area with expanded residential will further solidify this area. The City should also begin the demolition and site clean-up for the industrial properties and begin planning for the future Community Park improvements.

Key elements of the Short-Term Phase include:

- Development of the Hotel Site
  - » Destination Retail / Corporate Headquarters / New Hotel and Convention Center with Restaurants
  - » Integrate Quik Trip plans for new store
  - » New restaurant on the creek
  - » Create connections to the trail
  - » Plan for future street connection to the north
- Acquire / Relocate industrial property and Budget Storage and demolish structures and prepare sites for redevelopment.
- Allow commercial development on the Christensen property.
  - » Work with property owner to acquire portion of property within the flood fringe for future park fields.
  - » Preserve second access to future community park
- Continue residential development in the Heard Gardens District
- Complete the new street connection north to south on east side of Merle Hay Road.



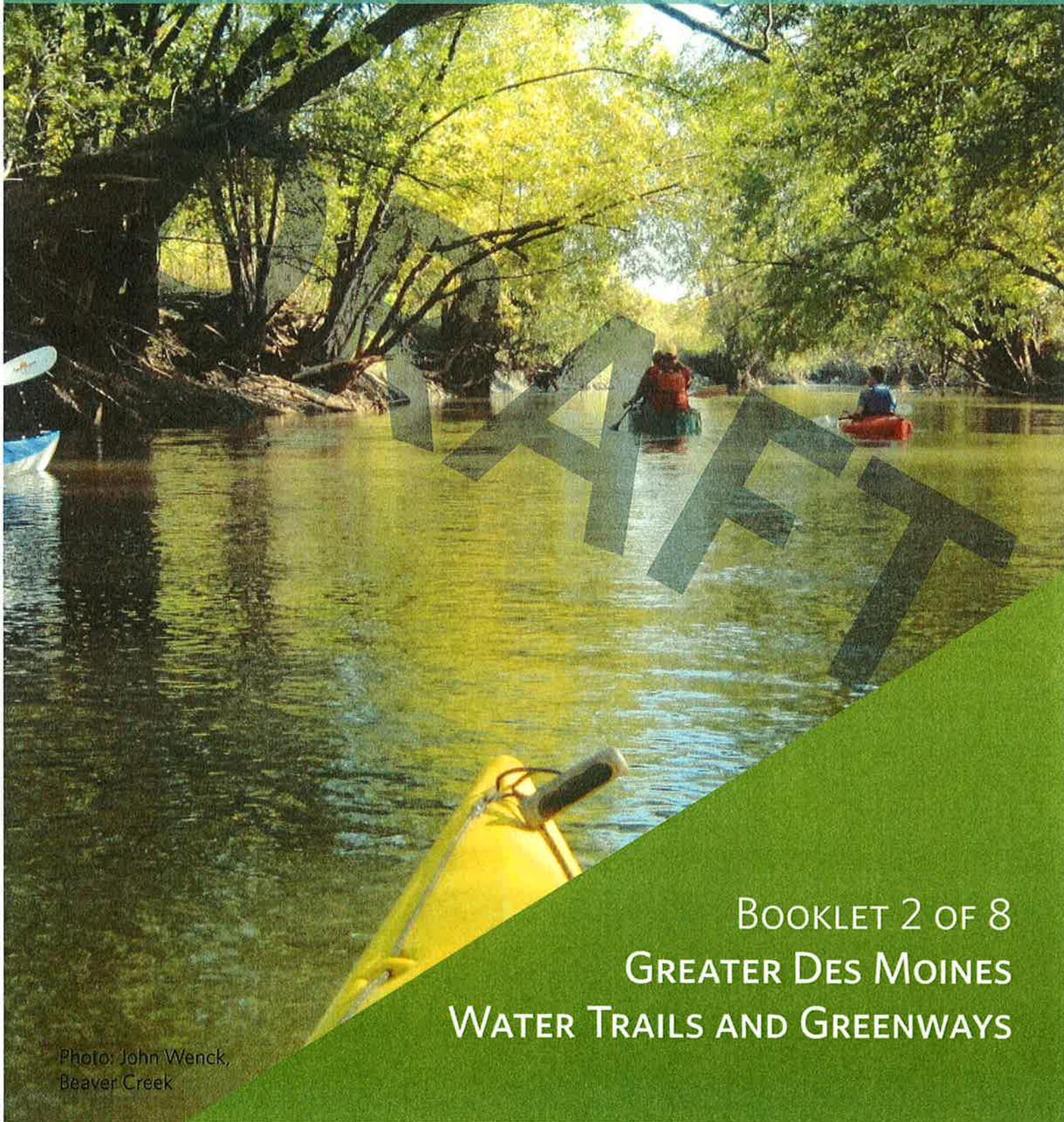
*Destination retailers with an outdoor recreation focus are targeted users for redevelopment of the hotel site.*



*Townhomes would be built as part of the mid-term phase in the Heard Gardens site.*



# A VISION FOR BEAVER CREEK



BOOKLET 2 OF 8  
GREATER DES MOINES  
WATER TRAILS AND GREENWAYS

Photo: John Wenck,  
Beaver Creek

# Table of Contents

## **Booklet 1: Water Trails Strategies and Policies**

## **Booklet 2: Beaver Creek**

One Vision	3
Recommendations	4
Key Projects	7
Recommendation Maps	8
Symbology Explained	10

## **Booklet 3: Des Moines River**

## **Booklet 4: Fourmile and Mud Creeks**

## **Booklet 5: Middle and North Rivers**

## **Booklet 6: Raccoon River**

## **Booklet 7: South Skunk River and Chichaqua Greenbelt**

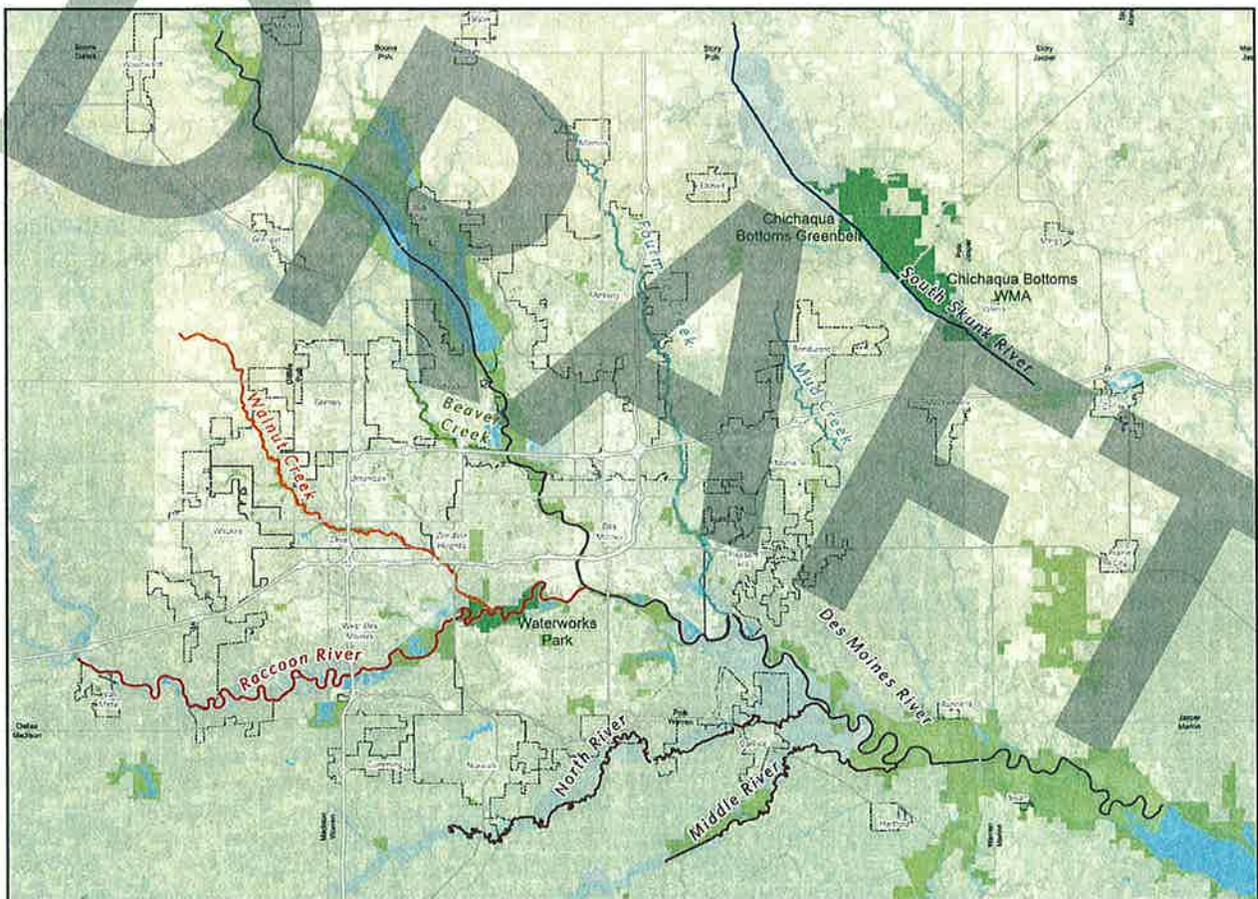
## **Booklet 8: Walnut Creek**

# One Vision, Many Communities

The Greater Des Moines Water Trails and Greenways Plan establishes a regional vision for our rivers, creeks, and greenways. Through extensive community engagement and with the help of a strong steering committee, a clear regional vision emerged.

## Regional Vision

The water trails and greenways of Greater Des Moines will be a natural haven, healthy ecosystem, signature recreational destination, economic driver, and community focal point that welcome people of all ages, abilities, interests, incomes, and cultures to connect with their rivers, creeks, and greenways.



Greater Des Moines Water Trails and Greenways planning area

## This Booklet

The Greater Des Moines Water Trails and Greenways Plan looks at more than 150 miles of water ways. This booklet provides an overview of Beaver Creek, including recommendations to improve its environmental, recreational, and economic potential for the entire community. There are companion booklets for each waterway, as well as a strategies and policies booklet.

# Recommendations

Beaver Creek is especially scenic and natural. There is strong interest in preserving the natural feel to the greenway corridor. The narrow and sinuous nature of the creek compared to the larger river systems offers a more intimate experience suitable for playing or walking along sandbars, fishing, birding, and paddling. That being said, there are additional opportunities for greater connections along the waterway.

## Access and Connections

Three non-motorized boat accesses are proposed for Beaver Creek. The first access point, at Mile Marker (S), would connect with a trail hub, provide interpretive signage, restrooms, and other key amenities for water and paved trail users.

The second, at Terra Lake Park, would create more connection between the park and creek, including soft trails for birding and hiking, carry-down boat access, wading areas, vistas, and fishing spaces. This would capitalize on the existing amenities the park offers.

The final access, at Merle Hay Road, offers a unique opportunity to develop an economic hub near the intersection of several quality of life amenities. Redevelopment that attracts businesses to capitalize on the convergence of the paved and water trails is encouraged as well as public art features for a gateway entrance that highlights the scenic creek as a focal point for the community. This area is ripe for restaurants, bars, bait and tackle shops, birding stores, and more that celebrate the trails and the various recreational uses they support. A livery could also be supported here to provide rentals and schedule outings.



### Fishing and Birding

Demand for fishing and birding is high, and both with designated access points with adjoining amenities such as parking, restrooms, soft trails, and a fish-cleaning station. Fishing amenities added along the creek are highly recommended in the last mile and a half of the creek before it reaches the confluence. Recently a conflict arose due to anglers parking along roadways to access foot paths along the creek. More enhanced places for fishing, parking, etc, will be a big attraction and improve safety.

### Conservation and Greenspace

The plan recommends restoring, currently operational, quarries as future recreation and greenspace. Significant opportunities exist to add fishing and birding as an amenity in these areas. Additionally, creek and shoreline restoration should be implemented according to the 2009 Johnston Watershed Assessment Stormwater Management and Action Plan. Wherever possible, the 100-year floodplain should be protected and maintained as a habitat corridor.



Additional recommendations include working with Camp Dodge to expand access to the creek that runs through their property. Currently there is access but only by permit.

## Relevant Links

[Terra Park Improvement Plans](#)

[Johnston Watershed Assessment Stormwater Management and Action Plan](#)

[State of the Rivers: Beaver Creek Report](#)



# Key Projects

Project	Location	Jurisdiction	Key Amenities	Considerations
Carry-down access	Mile marker ⑤	Johnston	<ul style="list-style-type: none"> <li>Wayfinding signage</li> <li>Small-scale parking</li> </ul>	<ul style="list-style-type: none"> <li>Low maintenance, minimal design for access and infrastructure</li> </ul>
Portage	Terra Lake Park	Johnston	<ul style="list-style-type: none"> <li>Wayfinding to Terra Lake Park</li> <li>Wading area</li> <li>Creek-side fishing spaces</li> </ul>	<ul style="list-style-type: none"> <li>Paved portage path</li> <li>Align with park master plan and take advantage of existing amenities</li> </ul>
Soft Trails	Terra Lake Park	Johnston	<ul style="list-style-type: none"> <li>Wayfinding and interpretive signage</li> <li>Benches</li> </ul>	<ul style="list-style-type: none"> <li>Connect and direct to Terra Lake Park amenities</li> <li>The lake and the park can offer complementary, but different experiences</li> </ul>
Economic Hub	Merle Hay Road	Johnston	<ul style="list-style-type: none"> <li>Livery and shuttles</li> <li>Small business development</li> <li>Public art and focal points</li> <li>Restrooms</li> <li>Fish-cleaning station</li> </ul>	<ul style="list-style-type: none"> <li>Consistent, quality maintenance needed</li> <li>Traffic management</li> <li>Safe walking connections to surrounding businesses and amenities</li> </ul>
Fishing access	Trestle-to-Trestle Trail to Confluence	Johnston	<ul style="list-style-type: none"> <li>Parking</li> <li>Restrooms</li> </ul>	<ul style="list-style-type: none"> <li>Increase ease and safety of use</li> <li>Design to minimize litter</li> </ul>
Quarry restoration	NW of the Confluence	Urbandale/Johnston	<ul style="list-style-type: none"> <li>Interpretive signage</li> <li>Benches and scenic views</li> <li>Habitat restoration</li> <li>Fishing amenities</li> </ul>	<ul style="list-style-type: none"> <li>Return to more natural state</li> <li>Recreational potential</li> <li>Important greenway corridor connection for wildlife</li> </ul>

*\*Additional initiatives can be found in the Policies and Practices Booklet*

# Beaver Creek



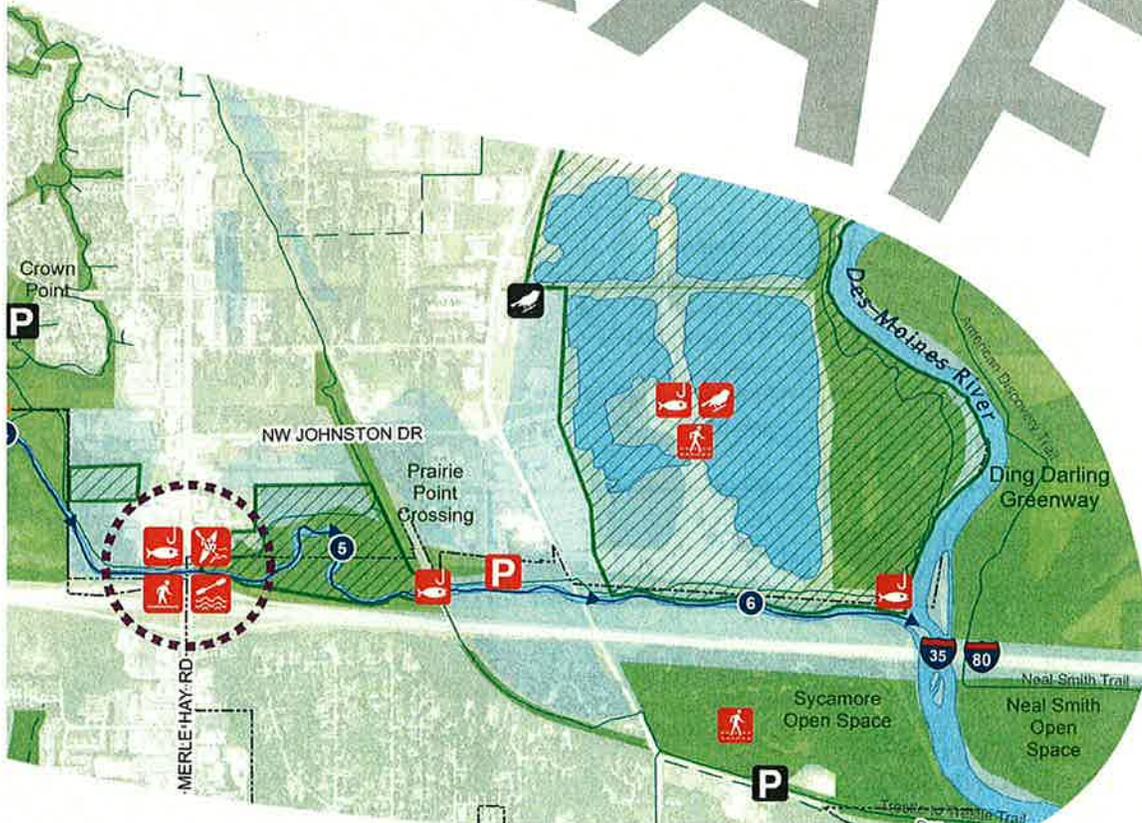
## Experience

Beaver Creek is a recreational experience that is appropriate for intermediate and experienced paddlers. The creek requires paddling experience to navigate around logjams and obstructions. If the logjams were removed, the slow-moving water and broad curves of the creek make it an excellent place for people new to paddling.

For all users, the creek is a quiet, natural respite from the surrounding metro.

Color Codes	Potential Hubs	Other Icons
Existing	Economic Hub	Mile Marker
Potential	Activity Hub	Beaver Creek
Modifications		County Boundary
<b>Amenities</b>		Conservation and Park Land (Public)
Carry-down Access	Restrooms	Floodplain
Fishing Access	Livery	<b>Bicycle/Pedestrian Facilities</b>
Wading Access	Parking	Trail Needed
Birding	Soft Trails	Existing
Respite	Conservation Area	Future

DRAFT



# Symbology Explained

## Carry-down Access



Carry-down accesses are for non-motorized paddling such as kayaking, tubing, or canoeing. Site design involves many factors, and should first look at the Iowa DNR's *Developing Water Trails in Iowa* guidelines. Lesser accesses are denoted by the portage symbol, and may not require the same level of infrastructure or amenities.

- Lighting and trash cans
- Parking
- Restrooms
- Launch types
- Watercraft and bicycle lockers
- Interpretive and wayfinding signage



## Wading Access



Wading spaces are where we can get our feet wet. They can be designed for mucking among natural vegetation and sandbars or as play spaces with steps and stones. No matter the design, wading areas allow us the opportunity to physically connect to the water and nature.

- All ages access
- Restrooms/showers
- Benches and resting points in view of access



## Fishing



Fishing is a popular activity all along the creeks and rivers. Creating access points can provide safe and comfortable areas that support anglers. Rock outcroppings, docks, and other designs offer different experiences. Universal design is critical since fishing is often a multi-generational activity.

- Restrooms
- Lights and trash cans
- Spaces for relaxing
- All-ages/abilities design
- Parking and bicycle parking



## Respite



Areas to relax, take in the view, and enjoy the river allow people to find a moment of respite in the metro. These areas can be natural greenspaces or more urban like the Principal Riverwalk depending on the context of the area and desire of the community.

- Benches with a view
- Picnic areas and tables
- Paths and trails along water

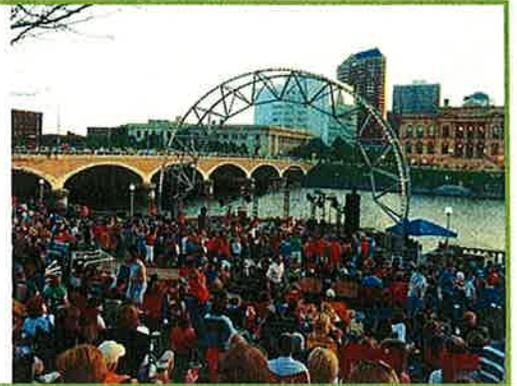


## Economic Hub



Water trails can play a role in developing economic hubs. These hubs typically represent the convergence of multiple assets, such as a river, trails, residential and economic clustering, and other factors. These are destinations that draw in visitors for multiple reasons. The scale changes for smaller or rural communities, but the economic impacts remain. These hubs are opportunities for supportive development along the rivers.

- Event spaces
- Parking
- Restrooms
- Launch types
- Bicycle parking
- Public art
- Restaurants and shops
- Liveries/outfitters
- Shuttle service



## Activity Hub



Activity hubs leverage existing attractions into destinations where multiple activities converge. These hubs take advantage of nearby parks and trails to create spaces for longer visits and multiple activities. Often multi-generational and family-friendly spaces, these hubs should be planned with a diverse audience in mind and combine several different reasons to visit.

- Play spaces
- Educational opportunities
- Areas to eat, relax and play
- Programming
- Restrooms and trash cans
- Lights
- Bicycle parking
- Wayfinding



## Conservation Area



A key component to fully enjoying the rivers and creeks is ensuring their natural quality and sustainability over time. Creating connected spaces for habitats, restoring wetlands and reducing flooding, and educating the next generation of river stewards are central pieces to the long-term health of the waterways.

- Educational programming
- Interpretive signage
- Habitat connectivity
- Wetlands restoration
- Floodplain management



## Soft Trails



Unpaved walking, hiking, and birding trails give people access to nature and offer a much different experience than paved trails. They also do not disrupt wildlife connections and can provide the opportunity for education programming.

- Educational programming
- Interpretive signage for history or birding
- Maintenance and conservation





# Beaver Creek

A DAY IN 2025

---

IMAGINE GOING KAYAKING WITH YOUR KIDS, WITHOUT LEAVING THE METRO. YOU SEE GREAT BLUE HERONS AND KINGFISHERS SEARCHING FOR FISH IN THE WATER, KILLDEER AND SPOTTED SANDPIPERS PROBING FOR INSECTS ON THE BEACHES. AS YOU PASS UNDER BRIDGES, YOU SPOT CLIFF SWALLOWS. NEEDING A SHORT BREAK, YOU EASILY PULL OFF ON THE BACKSIDE OF TERRA LAKE PARK AND WALK UP A PATH TO USE A RESTROOM AND GET A DRINK. NOT MUCH FURTHER DOWNSTREAM, A NEW PARK NEAR MERLE HAY PROVIDES A SAFE PLACE FOR YOU TO END YOUR TRIP.



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 WORK SESSION  
 August 15, 2016 Meeting

**SUBJECT: PROVIDE AN UPDATE ON THE 2014  
 STORM WATER PROJECTS.**

**ACTION REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Review

**SYNOPSIS:**

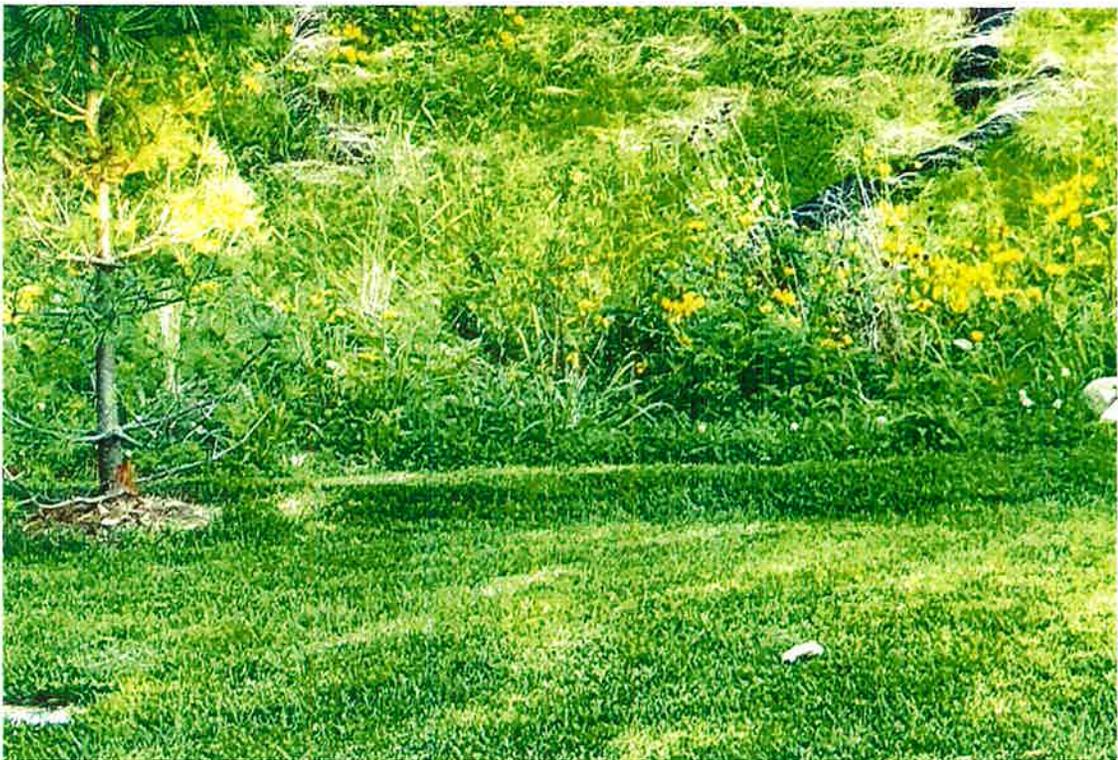
Staff would like to provide an update to the City Council on the 2014 storm water projects which were completed in 2015. The projects have been successfully constructed along with surface restoration completed.

The seven projects used native plantings per the recommendation of the project engineer. Many of these projects border Army Corp of Engineers property too. In negotiations with the Corps. We agreed to use native seed mixes that met their requirements. These native seed mixes have deep root systems and are designed to withstand heavy run off water. The native mixes help prevent erosion on steep grades where the projects were constructed.

Staff has received concerns from residents on two projects (Orchard Meadows, Country Ridge). Residents would prefer a different ground cover be used in these areas.

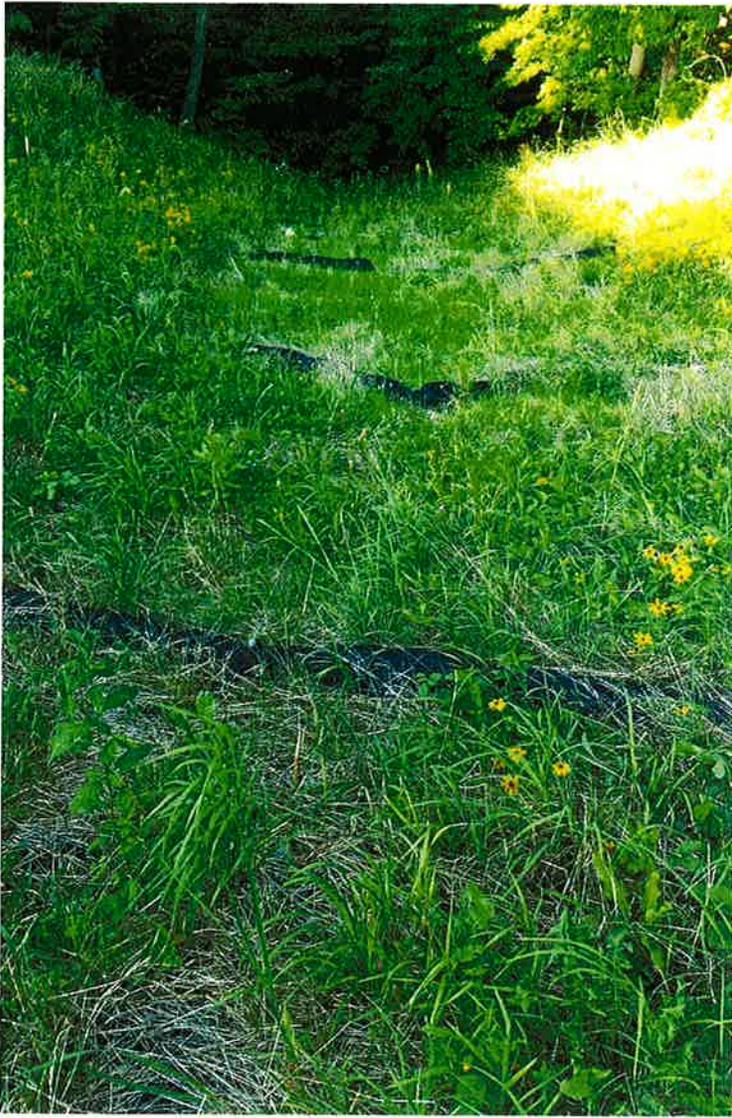
**RECOMMENDATION:**

Allow the native seed mix to fully establish which could take up to an additional two to three years. Staff will continue to monitor these sites.









## Matt Greiner

---

**From:** Welch, Jennifer - NRCS-CD, Ankeny, IA <Jennifer.Welch@ia.nacdnet.net>  
**Sent:** Tuesday, June 14, 2016 5:52 PM  
**To:** Matt Greiner  
**Subject:** Johnston UC Practice Site Visits on 6-10-16  
**Attachments:** 20150702\_150851.jpg; Biocell Check List2 (2).docx; Bioswale Check List.docx

Matt,

On 6/1/16 I reviewed four sites that I had been out to last June. These were the sites that had the storm sewer outlets lowered and steep slopes stabilized. The sites were Country Ridge, Orchard Meadows, Eagle Crest, and the Harbor.

Country Ridge looked great. The native plants were fairly well established and extremely well established for a second year stand. There were not as many plants on the downslope area, due to the amount of light availability. However, with the permanent TRM, it was fairly well protected and the plants were moving into the area, it seemed. I only saw about three or four species that were non-native weed plants. There was a small amount of sweet clover, some dock, and field pennycress. These are easily removed and not terrible invasive or problematic. However, their continued removal (monthly) would increase the acceptance and vitality of the stand. I saw a wide variety of native plants including foxglove beardtongue, golden alexanders and several native grasses.

Eagle Crest and The Harbor also looked similar. They had the same few weeds coming up in spots, and also including some purple and white clover. There were more non-native grasses at the Harbor. However, all in all these two sites also looked quite good. The super steep slope on Eagle Crest is just super steep and even for maintenance, the site overall is pretty tricky. I would keep an eye on the grape vines that are starting on the rocks in the yard, do be sure that they don't take over the slopes and not allow for good deep rooted cover on the hillslope.

Orchard Meadows looks much different than that other three sites. Last year when I reviewed the site, I could tell that there was no germination of any warm season natives that were planted. There was also a full stand of perennial ryegrass. This year when I reviewed, the perennial ryegrass was still predominant. I am guessing that they mistakenly used that instead of annual ryegrass. However, it looked pretty, was not overly competitive and was doing an okay job of allowing the natives to start to establish. The natives on this site were still small, at less than 1 foot tall. There was a fairly good amount of them coming in. It is just going to take some time. There were a few pennycress and sweet clover. I would suggest removing them periodically. There is also some other purple clover that could be removed, but its not a huge disaster.

All in all, these sites look good for young stands and will only need a bit of minimal maintenance from those who know a small variety of weeds and perhaps know a few native plants. But, even without native plant knowledge, the weeds are pretty similar and few, that a good job of monthly maintenance through the growing season will achieve a continued good stand. I suggested that an early spring cutting of the site back to the ground or 6 inches from the ground would allow for the new growth to not have to come up through the old dead material and it will be beneficial for the stand and the acceptance level from the neighbors.

JOHNSTON CITY COUNCIL  
COUNCIL MEETING NO. 16-18  
Johnston City Hall, 6221 Merle Hay Road  
TUESDAY, September 6, 2016 – 7:00 p.m.

1. CALL TO ORDER
2. ROLL CALL
3. WELCOME
4. PLEDGE OF ALLEGIANCE – Johnston Boys Little League All Stars who Represented the Entire Midwest Region at the International Little League World Series in Williamsport, PA, Will be on Hand to Lead
5. AGENDA APPROVAL
6. PUBLIC COMMUNICATIONS
  - a. Proclamation - Recognition of the Johnston Little League All Star Team for its Little League World Series Achievements
7. PUBLIC HEARINGS
  - a. Conduct a Public Hearing to Consider Approving the Vacation of an Existing Conservation Easement within Lot 8 of The Reserve at Orchard Meadows, Located on NW 84<sup>th</sup> Circle and Consider Resolution No. 16-182 – Releasing and Vacating an Existing Conservation Easement Recorded in Book 11969 Pages 359-365 Within Lot 8 of the Reserve at Orchard Meadows
8. CONSENT AGENDA
  - a. Consider Minutes of August 15, 2016, Work Session
  - b. Consider Minutes of August 15, 2016, Council Meeting
  - c. Consider the renewal application of a Class “C” Liquor License to Include Sunday Sales for El Mariachi Restaurant, 5825 Merle Hay Road.
  - d. Out-of-state travel – Consider Approval of Out-of-State Travel for Steve Nore and Kenny Agan to attend the Beyond Conflict Conference in Milwaukee, Wisconsin, October 21-22, 2016
  - e. Out-of-state travel – Consider Approval of Out-of-State Travel for Cyndee Rhames to Attend the Neogov Annual Training Conference in Las Vegas, NV, October 12-13, 2016
  - f. Consider Approval of Purchase Order No. 15-840 to Game Time C/o Cunningham Recreation for \$75,344.12 for Purchase of New Playground Equipment
  - g. Consider Approval of Purchase Order No. 15-841 to Game Time C/o Cunningham Recreation for \$44,654.40 for Interlocking Tile Surfacing for the Playground at Crosshaven Park
  - h. Consider Approval of Partial Pay Request No. 5 to Rochon Corporation of Iowa, Inc., in the Amount of \$204,156.55 for Terra Lake Park Improvements Phase 3
  - i. Consider Approval of Purchase Order No. 15-836 to Arbor Vantage, Inc. for Removal of Ash Trees for \$52,533.00
  - j. Consider Approval of Purchase Order No. 15-837 to Keltec, Inc. in the Amount of \$5,477.31 for the Purchase of Equipment and Technology to Up-fit One (1) New Police Investigations Unit Vehicle
  - k. Consider Approval of Purchase Order No. 15-838, to Keltec, Inc. in the Amount of \$47,978.80 for the Purchase of Equipment and Technology to Up-fit Two (2) New Police Patrol Vehicles
  - l. Consider Approval of a Purchase Order in the Amount of \$8,523.52 to Walsh Door for the Purchase and Installation of Security Doors at the Public Library Between Checkout and Staff Areas
  - m. Consider Approval of Pay Request No. 2 to TK Concrete in the Amount of \$36,489.63 for Work on the Green Meadows Flume Repair Project

- n. Consider Approval of Resolution No. 16-184 – Approving and Authorizing an Amendment to Loan and Disbursement Agreement by and Between the City of Johnston and the Iowa Finance Authority, and Authorizing and Providing for the Reissuance of the \$2,800,000 Sewer Revenue Capital Loan Note, Series 2006A of the City
- o. Consider Approval of Resolution No. 16-188 - the Construction Plans for Greenwood Hills Plat 5; West of NW 86<sup>th</sup> Street and North of Long Meadow Drive
- p. Consider Approval of Resolution No. 16-185 - Setting a Public Hearing for September 19<sup>th</sup>, 2016, at 7:00 PM to Consider an Official Amendment to the Johnston 2030 Comprehensive Plan's Future Land Use Map and an Official Zoning Map Amendment for 7.7 acres and adjoining right-of-way from A-R, agricultural reserve district to R-1(75), single-family residential district, and an official zoning map amendment for 28.2 acres and Adjoining right-of-way from A-R, agriculture reserve district to C-2, Community retail commercial district, and an official zoning map amendment for 17.9 acres from A-R, agriculture reserve district to PC, professional commerce park district, and an official zoning map amendment for 12.8 acres from A-R, agriculture reserve district to R-3, medium density multiple-family residential district. the subject property is located on the southwest corner of the intersection at NW 86<sup>th</sup> Street and NW 70<sup>th</sup> Avenue
- q. Consider Approval of Resolution No. 16-192 – A Resolution Ordering Construction and Fixing a Date of October 3, 2016, at 7:00 p.m. for the Public Hearing on the Greenwood Hills Greenbelt Wetland Mitigation Area, Beaver Creek Natural Resource Area Phase IV
- r. Consider Approval of Resolution No. 16-194 – Approving Change Order No. 1 for Additional Erosion Control, Additional Storm Culvert and Extension of Contract to September 30, 2016, for the Green Meadows Flume Project
- s. Consider Approval of Professional Services for the Facilitation of Public Meetings Related to Construction of a Road Near NW 54<sup>th</sup> Avenue and Birchwood Court
- t. Consider Approval of Resolution No. 16-191 – Approving the Economic Development Manager's Project Work in the City of Johnston's Urban Renewal Areas and Providing for the Advance Expenditure of Funds
- u. Consider Approval of Professional Services Agreement with Snyder and Associates to Provide a Third Party Review of Alternatives and Issues Related to Construction of Road Near NW 54<sup>th</sup> Avenue and Birchwood Ct.
- v. Consider Approval of Resolution No. 16-193 – Approving Change Order No. 2 for the East of Merle Hay Road NW 55<sup>th</sup> Ave Improvements Project Phase 1B
- w. Consider Approval of Pay Request No. 19 to H & W Contracting, LLC, in the Amount of \$137,206.60 for Work Completed as of August 26, 2016, on East of Merle Hay Road NW 55<sup>th</sup> Ave Improvements Project Phase 1B
- x. Consider Approval of Pay Request No. 12 to Alliance Construction Group in the Amount of \$499,107.98 for Work Completed as of August 19, 2016, on the NW 70<sup>th</sup> Ave Improvements 98<sup>th</sup> Street to West City Limits
- y. Consider Approval of Resolution No. 16-189 – Approving the Acquisition of Real Estate Interests and Authorizing Payments to Acquire Real Property for the NW 57<sup>th</sup> Avenue Improvements
- z. Consider Approval of a PO to Iowa DOT for the Purchase of Traffic Paint in the Amount of \$10,924.80
- aa. Consider Approval of Proposal from MidAmerican Energy for the Installation of Street Lights on the NW 100<sup>th</sup> Street Project in the Amount of \$356,406.45
- bb. Consider Approval of Proposal from MidAmerican Energy for the Installation of Street Lights on the NW 70<sup>th</sup> Street Project in the Amount of \$254,597.63
- cc. Consider Approval of Pay Request No. 8 to Rognes Corporation in the Amount of \$148,320.77 for Work Completed as of August 24, 2016, on East of Merle Hay Road NW 60<sup>th</sup> Avenue Improvements Project Phase 4A
- dd. Consider Approval of Maintenance Agreement with Baker Group for Fire Station #40 HVAC System
- ee. Receive and file the following reports:
  1. Planning and Zoning Commission Regular Meeting Minutes – August 29, 2016

9. NON-CONSENT AGENDA

- a. Consider Resolution No. 16-183 – Establishing Deer Management Zones on Private Properties for the 2016/17 Urban Bow Hunt Program
- b. Consider Approval of Resolution No. 16-186 - An Approval of an Amended Preliminary Plat for PZ Case No. 16-04, Wilkie Place Preliminary Plat. The Amended Preliminary Plat Updates the Original Preliminary Plat to Identify the Current Property Owner and Include Tree Removal Along the North, East, and South Property Boundaries
- c. Consider Approval of the Following Items Related to PZ Case No. 16-23
  - i. Consider Approval of Resolution No. 16-187 – Site Plans for Advantage Homes Warehouse Located at 4845 NW 59<sup>th</sup> Avenue
  - ii. Consider Approval of Resolution No. 16-190 – Storm Water Management Facilities Maintenance Agreement for 4845 NW 59<sup>th</sup> Avenue
- d. First Consideration of Ordinance No. 949 Amending Johnston Revised Ordinances of 2007, Chapter 65.05, Adding a School Stop on Windsor Parkway and Chapter 69.09 Regulating Parking on NW 63<sup>rd</sup> Place
- e. Consider approval of Claims in the amount of \$1,723,637.12

10. CITY ADMINISTRATOR/STAFF COMMENTS

11. CITY COUNCIL COMMENTS

12. UPCOMING MEETINGS

September 19, 2016	City Hall	Worksession 6:00 p.m. Meeting 7:00 p.m.
October 3, 2016	City Hall	Worksession 6:00 p.m. Meeting 7:00 p.m.

13. ADJOURNMENT



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 September 6<sup>th</sup>, 2016

**SUBJECT:** Conduct a public hearing to consider approving the vacation an existing conservation easement within Lot 8 of The Reserve at Orchard Meadows, located on NW 84<sup>th</sup> Circle; Resolution 16-182.

**ACTION REQUIRED:**  
 Ordinance  
 Resolution  
 Approval  
 Receive/File  
 Attorney Rvw

**SYNOPSIS:**

James and Cathy Uthe desire to eliminate an existing Conservation Easement located along the northern and eastern boundary of their property, Lot 8 of The Reserve at Orchard Meadows.

The land within the easement abuts Army Corps of Engineers land that is heavily wooded and trees have been maintained within the easement area. James and Cathy have requested the vacation of the easement so they may cleanup fallen trees and debris and also in the future enlarge their grand children’s play area, continue their landscaping, and put in a small storage shed. The language of the conservation easement prohibits the placement of any manicured or sodded lawn, restricts the clearing of underbrush or saplings, and prohibits the installation of structures within the easement area.

Since the easement is platted, the City Council must conduct a public hearing to vacate the City’s interest in the existing easement. The full text of the conservation easement is attached and a graphic of the existing easement is attached.

**RECOMMENDATION:**

Since the area of this conservation easement does not contain any portion of the ravines or tributaries to the Saylorville Lake corridor staff is recommending approval of Resolution 16-182.

**Attachments:**

- Easement Vacation Letter from Jim and Cathy Uthe;
- Copy of Recorded Conservation Easement;
- The Reserve at Orchard Meadows Final Plat (Easement to be vacated shown in red);
- Aerial Vicinity Map (Easement to be vacated shown in red);
- Lot 8 Conservation Easement Vacation Agreement;

**RESOLUTION 16-182**

**A RESOLUTION RELEASING AND VACATING AN EXISTING CONSERVATION EASEMENT RECORDED IN BOOK 11969 PAGES 359 - 365 WITHIN LOT 8 OF THE RESERVE AT ORCHARD MEADOWS**

**WHEREAS**, a Conservation Easement filed of record November 29, 2006, in Book 11969 Pages 359 - 365 of the Polk County Recorder's Office, was granted to the City of Johnston within The Reserve at Orchard Meadows; and,

**WHEREAS**, the Conservation Easement is no longer needed in the location identified as the following legally described property:

THE EAST 30.00 FEET AND THE NORTHERLY 40.00 FEET OF LOT 8 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that, the existing Conservation Easement on Lot 8 of The Reserve at Orchard Meadows, filed of record November 29, 2006, in Book 11969 Pages 359 - 365 of the Polk County Recorder's Office is hereby released and vacated, and the Mayor is hereby authorized to execute the Easement Vacation.

**PASSED AND APPROVED** this 6<sup>th</sup> day of September, 2016.

---

PAULA DIERENFELD, MAYOR

ATTEST:

---

CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Brown	___	___	___	___
Clabaugh	___	___	___	___
Cope	___	___	___	___
Lindeman	___	___	___	___
Temple	___	___	___	___

Johnston city council,

We would like the city of Johnston to lift the conservation easement located on our property at 6502 NW 84th Circle in Johnston. We would like to clean up the fallen trees and debris from the area. Also, in the future, enlarge our grandchildren's playground area, continue our landscaping and putting in a small storage shed. Thank you for your time and consideration.

**Jim & Cathy Uthe**  
515-480-9343

37  
7/6/38



Doc ID: 019310670007 Type: GEN  
Recorded: 11/29/2006 at 11:51:23 AM  
Fee Amt: \$37.00 Page 1 of 7  
Revenue Tax: \$0.00  
Polk County Iowa  
TIMOTHY J. BRIEN RECORDER  
File# 2007-00048352

BK **11969** PG **359-365**

## CONSERVATION EASEMENT

### Recorder's Cover Sheet

**Preparer Information:** (name, address and phone number)

David M. Erickson  
666 Walnut Street, Suite 2500  
Des Moines, IA 50309  
Phone: (515) 288-2500

RETURN TO:

**Return Document To:** (name and complete address)

City of Johnston  
6221 Merle Hay Road  
Johnston, Iowa 50131

**Grantor:** Kohles Development L.C.

**Grantee:** City of Johnston, Iowa

## **CONSERVATION EASEMENT**

By the execution and filing of this document, Kohles Development L.C. ("Declarant") hereby establishes for the benefit of all Lot Owners in The Reserve at Orchard Meadows, an Official Plat, now included in and forming a part of the City of Johnston, Iowa, as well as for the benefit of the City of Johnston, Iowa ("City"), a perpetual Conservation Easement over, through and across the real estate described herein subject to the terms and conditions set forth below. This Conservation Easement is established and reserved by Declarant with the intent that the Saylorville Lake corridor and tributaries extending through the plat of The Reserve at Orchard Meadows be preserved in a natural state and maintained in a fashion that will benefit the Lot Owners in The Reserve at Orchard Meadows. The Conservation Easement areas described herein shall be maintained only in the fashion described below and any other activities or alterations are prohibited.

### **1. CONSERVATION EASEMENT RESTRICTIONS.**

Within the plat of The Reserve at Orchard Meadows there is hereby established a Conservation Easement, all as more particularly described on the attached Exhibit "A" which is made a part of this Easement. Within said Conservation Easement Area there shall be no manicured or sodded lawns anywhere and there shall be no clearing of underbrush or saplings. Trees in excess of six (6) inches in diameter may be removed only if they present a danger or a nuisance to the Lot Owner or the general public and if such danger cannot be eliminated by pruning less than twenty-five percent (25%) of the branches, limbs or trunk. Tree pruning shall be allowed provided that not more than twenty-five percent (25%) or any living branches or limbs are removed. No land disturbing activity or burning may take place unless it is a part of a comprehensive improvement or maintenance plan developed by a professional landscape architect or engineer; provided, however, that the Lot Owner shall be responsible for obtaining all required permits or approvals from the City or other governmental agency having jurisdiction.

### **2. MAINTENANCE OF EASEMENT AREA.**

The Orchard Meadows Owners Association, an Iowa non-profit corporation ("Association") shall be responsible for the maintenance of the ravines in the Conservation Easement Area; however, the title to each Outlot shall remain with the lot owner and the Association shall have no ownership therein. An access easement is hereby established and reserved in favor of the Association and its contractors and agents to reach the Conservation Easement Area and to carry out the Association's responsibilities hereunder.

### **3. STRUCTURES PROHIBITED.**

There shall be no buildings, structures, fences or storage of any equipment, vehicles, firewood, or items of any nature or any drives or parking areas. Furthermore, tree houses, playground equipment or children's playhouses or similar items shall not be permitted.

### **4. ENFORCEMENT.**

The terms and conditions of this Conservation Easement shall be deemed to run with the land described herein and be binding on all Owners of Lots in The Reserve at Orchard Meadows as well as their heirs, successors in interest, assigns and grantees. The terms and conditions of this Conservation Easement may be enforced by the Association through the penalty and enforcement provisions set forth in the Association Declaration; any Lot Owner within The Reserve at Orchard Meadows; or the City of Johnston, Iowa, through its ordinances or through any legal recourse or remedy available under Iowa law.

Grantor does **HEREBY COVENANT** with the City that Grantor holds said real estate described in this Easement by title in fee simple; that Grantor has good and lawful authority to convey the same; and that Grantor covenants to **WARRANT AND DEFEND** the said premises against the lawful claims of all persons whosoever.

Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share, if any, in and to the interests conveyed by this Easement.

Words and phrases herein, including acknowledgement hereof, shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.

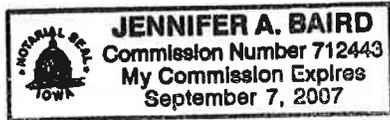
Signed this 25 day of October, 2006.

KOHLES DEVELOPMENT L.C.

By *Kevin P. Kohles*  
Kevin P. Kohles, Member

STATE OF IOWA, COUNTY OF POLK, ss:

This instrument was acknowledged before me on the 25 day of October, 2006, by Kevin P. Kohles as a Member of Kohles Development L.C.



*Jennifer A. Baird*  
Notary Public, State of Iowa.

Consented to by  
**First Federal Savings Bank of Iowa**

By William V. Kalianov  
Name: WILLIAM V. KALIANOV  
Title: VICE PRESIDENT

STATE OF IOWA, COUNTY OF POLK, ss:

This instrument was acknowledged before me on the 25 day of October, 2006 by William Kalianov as the Vice President of First Federal Savings Bank of Iowa.



Jennifer A. Baird  
Notary Public, State of Iowa.

**ACCEPTANCE BY CITY**

STATE OF IOWA, COUNTY OF POLK, ss:

I, Stephanie L. Reynolds, City Clerk of the City of Johnston, Iowa, do hereby certify that the within and foregoing Easement was duly approved and accepted by the City Council of said City of Johnston by Resolution No. 06-25 passed on the 10th day of 2006, and this certificate is made pursuant to authority contained in said Resolution.

Signed this 8th day of November, 2006.

NOVEMBER

Stephanie L. Reynolds  
City Clerk of Johnston, Iowa

## EXHIBIT "A"

### CONSERVATION EASEMENTS

THE EAST 40.00 FEET OF LOT 5 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

THE EAST 40.00 FEET OF LOT 6 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

THE EAST 30.00 FEET OF LOT 7 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

THE EAST 30.00 FEET AND THE NORTHERLY 40.00 FEET OF LOT 8 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

THAT PART OF LOTS 9 AND 10 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 9; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 9, A DISTANCE OF 43.10 FEET; THENCE NORTHWESTERLY ALONG A LINE PARALLEL WITH AND 40.00 FEET SOUTHERLY OF THE NORTHERLY LINE OF SAID LOT 9, TO A POINT 20.00 FEET EASTERLY OF THE WESTERLY LINE OF SAID LOT 9; THENCE SOUTHERLY ALONG A LINE PARALLEL WITH AND 20.00 FEET EASTERLY OF SAID WESTERLY LINE OF LOT 9, A DISTANCE OF 174.71 FEET; THENCE SOUTHERLY, TO A POINT ON THE SOUTHERLY LINE OF SAID LOT 9, SAID POINT BEING 44.00 FEET EASTERLY OF THE SOUTHWEST CORNER OF SAID LOT 9; THENCE SOUTHWESTERLY, TO A POINT ON THE WESTERLY LINE OF SAID LOT 10, SAID POINT BEING 72.30 FEET SOUTHERLY OF THE NORTHWEST CORNER OF SAID LOT 10; THENCE NORTHERLY ALONG SAID WESTERLY LINE OF LOTS 10 AND 9, TO THE NORTHWEST CORNER OF SAID LOT 9; THENCE EASTERLY ALONG SAID NORTHERLY LINE OF LOT 9, TO THE POINT OF BEGINNING.

THE EASTERLY 40.00 FEET OF LOT 13 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

## EXHIBIT "A"

### CONSERVATION EASEMENTS

THAT PART OF LOTS 14, 15 AND 16 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT ON THE SOUTH LINE OF SAID LOT 14, SAID POINT BEING 42.00 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 14; THENCE NORTHEASTERLY IN A STRAIGHT LINE, TO A POINT ON THE SOUTH LINE OF SAID LOT 15, SAID POINT BEING 52.50 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 15; THENCE NORTHEASTERLY IN A STRAIGHT LINE, TO A POINT ON THE SOUTH LINE OF SAID LOT 16, SAID POINT BEING 55.00 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 16; THENCE NORTHEASTERLY IN A STRAIGHT LINE, TO A POINT ON THE NORTHEASTERLY LINE OF SAID LOT 16, SAID POINT BEING 47.03 FEET WESTERLY OF THE NORTHEAST CORNER OF SAID LOT 16, TO THE END OF SAID LINE.

THE EAST 40.00 FEET OF LOT 17 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

THE EAST 40.00 FEET AND THE NORTH 45.00 FEET OF LOT 18 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

THE NORTH 45.00 FEET OF LOT 19 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

THE NORTH 45.00 FEET OF LOT 20 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

THE NORTH 45.00 FEET OF LOT 21, AS MEASURED ALONG THE EAST LINE OF SAID LOT 21, IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

THAT PART OF LOT 22 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 22; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 22, A DISTANCE OF 10.24 FEET, TO THE POINT OF BEGINNING; THENCE WESTERLY ALONG A LINE PARALLEL WITH AND 10.00 FEET SOUTH OF THE NORTHERLY LINE OF SAID LOT 22, A DISTANCE OF 42.70 FEET; THENCE SOUTH ALONG A LINE 41.75 FEET WESTERLY OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 22, A DISTANCE OF 24.30 FEET; THENCE EAST, A DISTANCE OF 41.75 FEET, TO SAID EAST LINE OF LOT 22; THENCE NORTH ALONG SAID EAST LINE OF LOT 22, A DISTANCE OF 33.24 FEET, TO THE POINT OF BEGINNING.

## EXHIBIT "A"

### CONSERVATION EASEMENTS

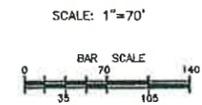
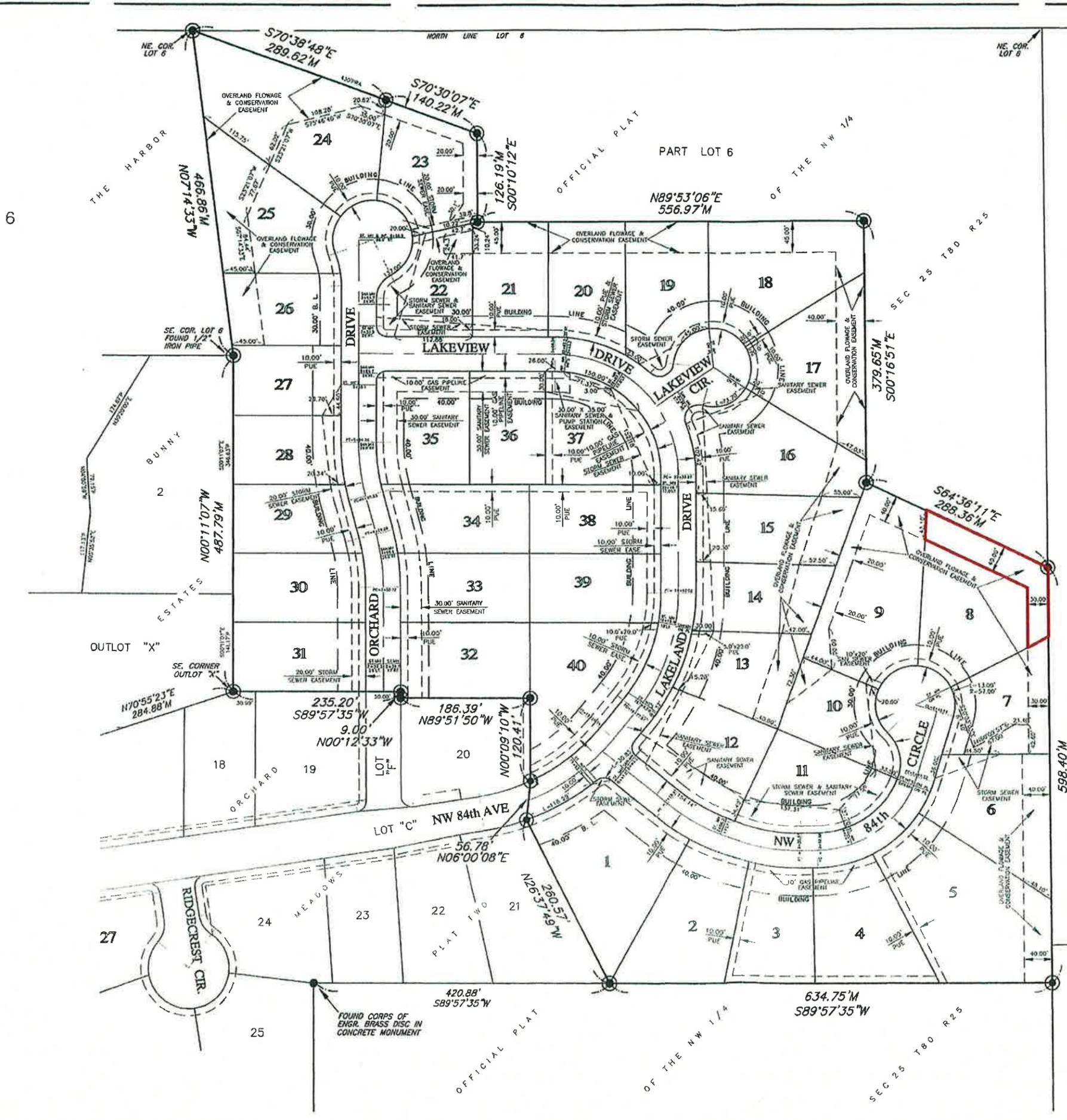
THAT PART OF LOT 23 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 23; THENCE NORTH ALONG THE EAST LINE OF SAID LOT 23, A DISTANCE OF 10.22 FEET; THENCE WESTERLY ALONG A LINE PARALLEL WITH AND 10.00 FEET NORTH OF THE SOUTHERLY LINE OF SAID LOT 23, A DISTANCE OF 39.80 FEET; THENCE NORTHEASTERLY IN A STRAIGHT LINE, A DISTANCE OF 30.10 FEET, TO A POINT 20.00 FEET WEST OF THE EAST LINE OF SAID LOT 23; THENCE NORTHERLY ALONG A LINE PARALLEL WITH AND 20.00 FEET WEST OF SAID EAST LINE OF LOT 23, TO A POINT 20.00 FEET SOUTHERLY OF THE NORTHERLY LINE OF SAID LOT 23; THENCE WESTERLY ALONG A LINE PARALLEL WITH AND 20.00 FEET SOUTHERLY OF SAID NORTHERLY LINE OF LOT 23, TO A POINT ON THE WESTERLY LINE OF SAID LOT 23; THENCE NORTHERLY ALONG SAID WESTERLY LINE, TO THE NORTHWEST CORNER OF SAID LOT 23; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 23, TO THE NORTHEAST CORNER OF SAID LOT 23; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 23, TO THE POINT OF BEGINNING.

THAT PART OF LOTS 24 AND 25 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 24; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 24, A DISTANCE OF 20.62 FEET; THENCE NORTH  $70^{\circ}30'07''$  WEST, A DISTANCE OF 35.00 FEET; THENCE SOUTH  $75^{\circ}46'40''$  WEST, A DISTANCE OF 108.28 FEET; THENCE SOUTH  $23^{\circ}21'07''$  WEST, A DISTANCE OF 62.02 FEET, TO A POINT ON THE NORTHEASTERLY LINE OF SAID LOT 25, SAID POINT BEING 115.75 FEET SOUTHEASTERLY OF THE NORTHWEST CORNER OF SAID LOT 25; THENCE CONTINUING SOUTH  $23^{\circ}21'07''$  WEST, A DISTANCE OF 77.67 FEET; THENCE SOUTH  $07^{\circ}14'33''$  EAST, A DISTANCE OF 84.44 FEET, TO A POINT ON THE SOUTHERLY LINE OF SAID LOT 25; THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF LOT 25, A DISTANCE OF 45.00 FEET, TO THE SOUTHWEST CORNER OF SAID LOT 25; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOTS 25 AND 24, TO THE NORTHWEST CORNER OF SAID LOT 24; THENCE SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 24, TO THE POINT OF BEGINNING.

THE WESTERLY 45.00 FEET OF LOT 26, AS MEASURED ON THE NORTH AND SOUTH LINES THEREOF, IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA.

# The Reserve at Orchard Meadows

## final plat



**LEGEND:**

- INDICATES PLAT CORNER FOUND 3/4" IRON PIPE UNLESS OTHERWISE NOTED
- P INDICATES PLATTED DISTANCE.
- M INDICATES MEASURED DISTANCE.
- PUE PUBLIC UTILITY EASEMENT
- MH MANHOLE
- INT INTAKE
- ST. STORM SEWER
- SAN. SANITARY SEWER
- L.T. LEFT
- R.T. RIGHT
- PL PROPERTY LINE

**NOTES:**

**ZONING:**  
 PUD PLANNED UNIT DEVELOPMENT IN ACCORDANCE WITH THE CITY OF JOHNSON, IOWA ORDINANCE No. 708 APPROVED APRIL 4, 2005 AND IN EFFECT APRIL 8, 2005

**BULK REQUIREMENTS:**  
 THE PROPERTY SHALL BE DEVELOPED UTILIZING THE BULK REGULATIONS OR THE R-1(100) ZONING DISTRICT EXCEPT THE FOLLOWING PROVISIONS: SHALL APPLY:  
 FRONT YARD SETBACK OF 30 FEET FOR LOT 7, 8, 9, 10 AND 20 THRU 25 INCLUSIVE.  
 R-1 BULK REGULATIONS:  
 FRONT YARD=40 FEET MINIMUM  
 REAR YARD= 40 FEET MINIMUM  
 SIDE YARD= 10 FEET MINIMUM & 25 FEET COMPOSITE.

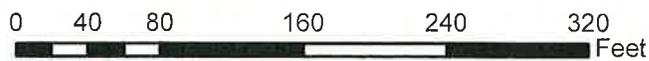
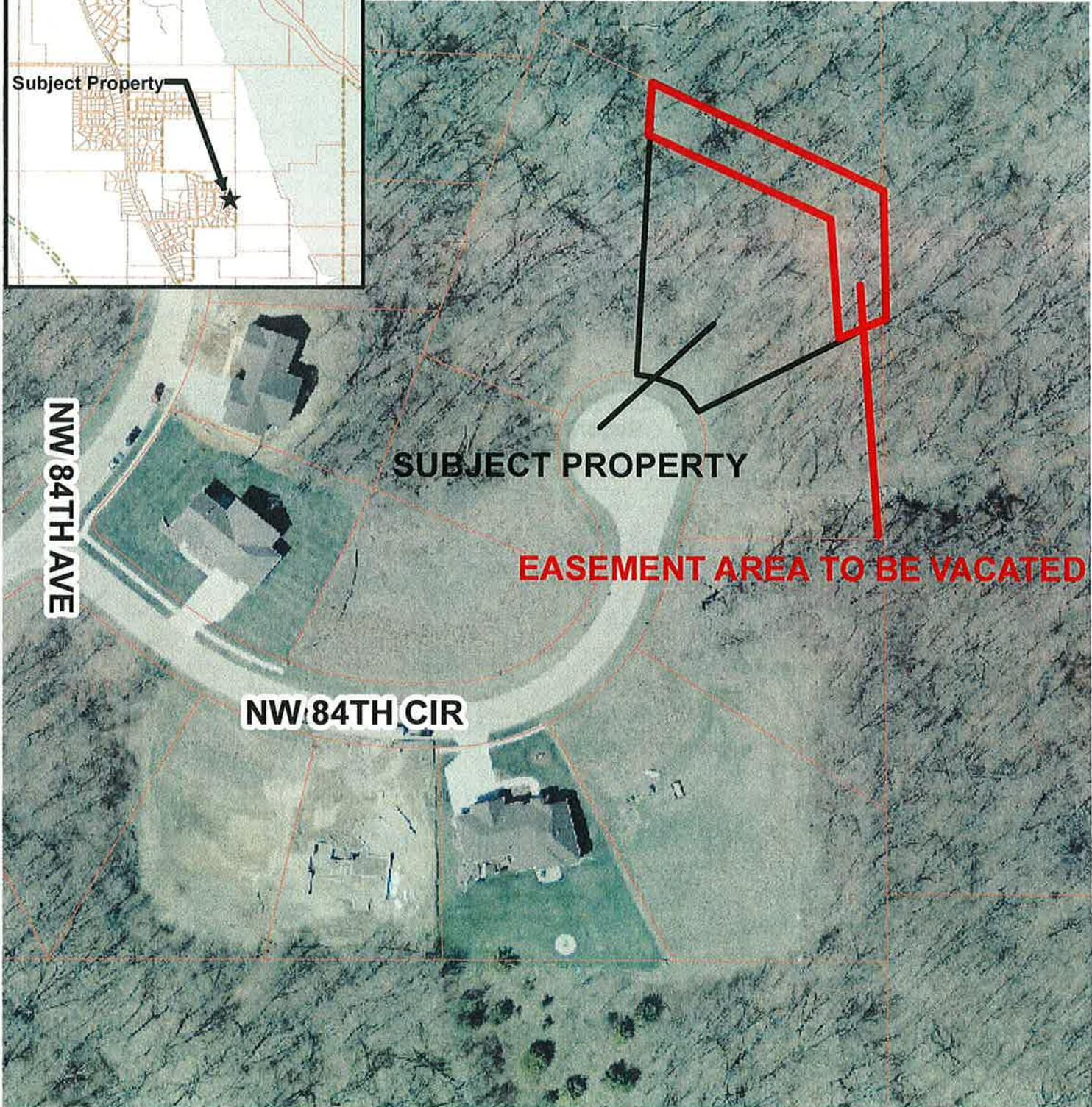
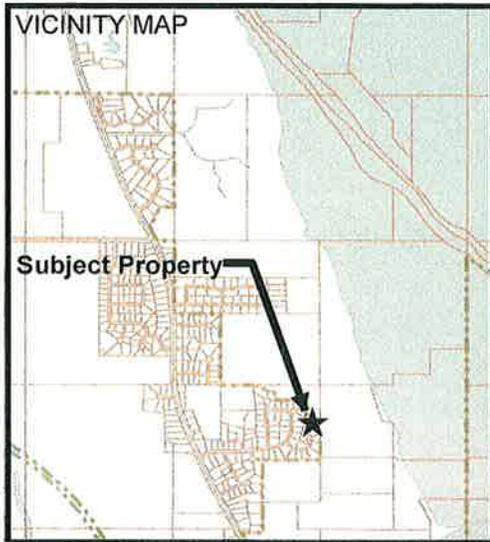
SERVICES: LOCATION AND DEPTH OF ALL SERVICES TO INDIVIDUAL LOTS SHALL BE VERIFIED BY THE CONTRACTOR/BUILDER PRIOR TO CONSTRUCTION.

	SIGNED: <i>Joel R. Rowan</i> JOEL R. ROWAN	DATE: 4/19/06	PROJECT NUMBER: '05-0560 SHEET: 2 OF 2	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME AND THE RELATED SURVEY AND DESIGN UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. LICENSE RENEWAL DATE: DECEMBER 31, 2007
--	---	---------------	---	---

**Bishop Engineering**  
 "Planning Your Successful Development"

3501 104th Street  
 Des Moines, Iowa 50322-3825  
 Phone: (515) 276-0467 Fax: (515) 276-0217  
 Civil Engineering & Land Surveying. Established 1959

# EASEMENT VACATION FOR LOT 8 THE RESERVE AT ORCHARD MEADOWS



1 inch = 3,333 feet

Created by City of Johnston Department of Community Development  
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033

H:\Community Development\PA&Z\Previous Years\2006 pz\06-48; Reserve at Orchard Meadows Final Plat\Lot 8 Easement Vacation\Lot 8 of The Reserve at Orchard Meadows Easement Vacation.mxd

**Conservation Easement Vacation  
Recorders Cover Sheet**

**Preparer Information:**

Clayton Ender  
City of Johnston  
P.O. Box 410, 6221 Merle Hay Road  
Johnston, IA 50131  
515-278-2344

**Return Document To:**

Clayton Ender  
City of Johnston  
P.O. Box 410, 6221 Merle Hay Road  
Johnston, IA 50131  
515-278-2344

**Grantors:**

James Uthe  
Cathy Uthe  
City of Johnston, Iowa

---

**VACATION OF EASEMENT**

COMES NOW, James Uthe and Cathy Uthe, as owners of the property legally described as Lot 8, The Reserve at Orchard Meadows, an official plat, Johnston, Polk County Iowa, and the City of Johnston, Iowa, a municipal corporation, who by their signatures hereon hereby vacate and release the following legally described property from the provisions of one certain Conservation Easement dated November 8, 2006, and filed of record November 29, 2006 at Book 11969 Pages 359-365, Polk County, Iowa records:

THE EAST 30.00 FEET AND THE NORTHERLY 40.00 FEET OF LOT 8 IN THE RESERVE AT ORCHARD MEADOWS, AN OFFICIAL PLAT, JOHNSTON, POLK COUNTY, IOWA

Dated this 8 day of Aug, 2016.

**PROPERTY OWNERS, JAMES AND CATHY UTHE**

  
\_\_\_\_\_

By: James Uthe, Owner

  
\_\_\_\_\_

By: Cathy Uthe, Owner

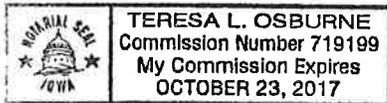
**CITY OF JOHNSTON**

\_\_\_\_\_  
By: Paula Dierenfeld, Mayor

\_\_\_\_\_  
By: Cyndee Rhames, City Clerk

STATE OF IOWA            )  
                                  (    ss.  
COUNTY OF POLK        )

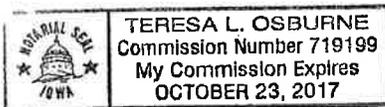
On the 8<sup>th</sup> day of August, 2016, before me, the undersigned, a Notary Public in and for the State of Iowa, appeared James Uthe, to me personally known, being by me duly sworn, did he is an owner of Lot 8, The Reserve at Orchard Meadows and that he acknowledged the execution of said instrument to be voluntarily executed.



Teresa L. Osburne  
Notary Public in and for the State of Iowa

STATE OF IOWA            )  
                                  (    ss.  
COUNTY OF POLK        )

On the 8<sup>th</sup> day of August, 2016, before me, the undersigned, a Notary Public in and for the State of Iowa, appeared Cathy Uthe, to me personally known, being by me duly sworn, did she is an owner of Lot 8, The Reserve at Orchard Meadows and that she acknowledged the execution of said instrument to be voluntarily executed.



Teresa L. Osburne  
Notary Public in and for the State of Iowa

STATE OF IOWA            )  
                                  (    ss:  
POLK COUNTY            )

On this \_\_\_\_ day of \_\_\_\_\_ 2016, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Paula Dierenfeld and Cyndee Rhames known to me to be Mayor and City Clerk, respectfully, of the City of Johnston, Iowa, a municipal corporation, executing the within and foregoing instrument and acknowledged that they executed the same as their voluntary act and deed of the City of Johnston, by it and them voluntarily executed.

\_\_\_\_\_  
Notary Public in and for the State of Iowa

8a

JOHNSTON CITY COUNCIL  
Worksession No. 16-16  
Johnston City Hall, 6221 Merle Hay Road  
August 15, 2016  
6:00 p.m.

1. CALL TO ORDER

Mayor Dierenfeld called the meeting to order at 6:13 p.m.

2. ROLL CALL

Present: Clabaugh, Lindeman, Brown, Cope, Temple  
Absent: None

3. PRESENTATION AND DISCUSSION OF THE "RECREATION AMENITIES FOR APARTMENT AND TOWNHOUSE DEVELOPMENTS" REPORT AS PREPARED BY THE NEIGHBORHOOD DEVELOPMENT CORPORATION

Community Development Director David Wilwerding introduced Glenn Lyons, Executive Director of the Neighborhood Development Corporation. Council Member Brown noted that the issue of recreational opportunities in multi-housing developments had come up at several meetings, and Mr. Lyons had been tasked with making recommendations related to the issue. He also noted that there had been no cost for Mr. Lyons services as they were covered under a 28E with Polk County.

Mr. Lyons reviewed the goals and objectives from the study, including guidelines and policies in place in other communities.

Council members requested additional information on the acceptance of the guidelines in Sultan, WA from a developer standpoint as well as the residents' perspective. Mayor Dierenfeld noted that the City needs to give some attention to the study and not just let it sit on the shelf.

Wilwerding requested direction from the Council. Council members noted that they would like to see a follow up with the community education/recreation group to let them know the results of the study. They also directed staff to begin working on recommendations for the City.

4. SIMPSON PROPERTY REZONING DISCUSSION (SW CORNER OF NW 70<sup>TH</sup> & NW 86<sup>TH</sup>)

Planner Clayton Ender reviewed the proposed rezoning, noting that the request was to rezone approximately 63 acres. Ender noted that Wesley Life is expected to purchase 23 acres of the property for a stepped living community with a small commercial aspect.

Matt McNeill, Vice President of Marketing and Sales for Wesley Life, addressed the Council on their proposed facility, noting that it would be smaller than the Edgewater facility and would provide independent living, assisted living, and a nursing home facility. He also noted that these would be market rate residences. Council Member Cope noted that his mother-in-law resides at the Edgewater facility and everything is first class.

A representative for Simpson Enterprises, Inc. also addressed the Council regarding the remaining property, noting that development would be market driven, but that the proposed development agreement specified the disallowed uses for the property.

Council members requested some clean up in the legal description in the development agreement prior to their consideration at a future meeting.

5. SIDEWALK PROGRAM DISCUSSION

Construction Inspector Matt Greiner provided an update on the sidewalk program in response to the letter of finding from the Department of Justice. Greiner noted that the City has identified all of its physical barriers, appointed an ADA Coordinator, reviewed policies and procedures, as well as developing and publishing a grievance process. He noted that items still needing completion are the public participation, which is ongoing, and also the creation of the transition plan, which includes funding amounts and sources.

Greiner noted that following the Public Works Ad Hoc Committee meeting regarding funding, staff would like to start with the nearly 80 ramps located in those projects that received federal funding. Greiner estimated the cost for rehabbing of those ramps at roughly \$312,000, and could be undertaken in a single year. Greiner advised that this would be funded through various project funds that had come in under budget, and that staff was looking at grant availability and other funding sources as well. He noted that the Ad Hoc Committee was slated to meet in September to discuss the other 1300 other ramps in the city that also need to be addressed. He advised that the estimated cost for those ramps was \$6.5 million. He noted that the committee would also be discussing the responsibility of abutting property owners as well as deferred sidewalks and gaps. Council Member Temple noted that there seemed to be a lot of deficient ramps. Greiner advised that approximately 77% of the ramps in the city are deficient. There was further discussion on the funding of the ramp rehabilitation as well as how to move forward with actual sidewalk deficiency resolution.

The meeting adjourned at 6:58 p.m.

---

Paula S. Dierenfeld, Mayor

ATTEST:

---

Cyndee Rhames, City Clerk

JOHNSTON CITY COUNCIL  
COUNCIL MEETING NO. 16-17  
Johnston City Hall, 6221 Merle Hay Road  
August 15, 2016  
7:00 p.m.

1. CALL TO ORDER

Mayor Dierenfeld called the meeting to order at 7:04 p.m.

2. ROLL CALL

Present: Clabaugh, Lindeman, Brown, Cope, Temple  
Absent: None

3. WELCOME

Mayor Dierenfeld welcomed residents and guests to the meeting.

4. PLEDGE OF ALLEGIANCE

2016 Class 5A State Champion Johnston Dragon Varsity Softball Team led the meeting in the Pledge.

5. AGENDA APPROVAL

Motion by Lindeman second by Clabaugh to approve the Agenda as presented.

ROLL CALL: Aye: Lindeman, Brown, Cope, Temple, Clabaugh  
Nay: None

Motion Approved: 5-0

6. PUBLIC COMMUNICATIONS

Proclamation – Recognition of the Johnston High School Varsity Softball Team – State Champions

7. PUBLIC HEARINGS

None

8. CONSENT AGENDA

- a. Consider Minutes of August 1, 2016, Work Session
- b. Consider Minutes of August 1, 2016, Council Meeting.
- c. Consider Resolution No. 16-172 – Making Staff Appointments and Establishing Wages.
- d. Consider Resolution No. 16-171 – Approving an Agreement for Cooperative Public Service between Polk County, Iowa, and the City of Johnston pertaining to the shared funding of a Watershed Coordinator.
- e. Consider Approval of Purchase Order No. 15-824 – Police Investigations Unit Replacement Vehicle
- f. Consider Approval of Purchase Order No. 15-825 – Police Patrol Replacement Vehicles (2)
- g. Consider Resolution No. 16-173 – Authorizing the Submittal of an Application for Clean Water State Revolving Funds through the Water Resource Restoration Sponsored Project Program
- h. Consider Approval of Pay Application #5 to Applied Ecological for the Greenwood Hills Greenbelt Phase 3 Landscaping Project - \$2,227.75
- i. Consider Resolution No. 16-174 – Setting a Date for a Public Hearing for 7:00 p.m. on September 6, 2016, to Consider the Vacation of an Existing Conservation Easement on Lot 8 of The Reserve at Orchard Meadows
- j. Consider Approval of Purchase Order No. 15-829 – Fire Department Breathing Air System (Compressor) for SCBA; Joint Purchase with Grimes
- k. Consider renewal of the Class C Liquor License to include Sunday sales for Joe’s Pub, 5500 Merle Hay Road, Suite D.
- l. Consider renewal of the Class C Liquor License to include Sunday sales and outdoor service for Nuevo Mexico Mexican Restaurant, 6110 NW 86<sup>th</sup> Street, Suite A-106.



Wilwerding noted that the motion should reflect the removal of item 2 of the resolution as the annexation has been acknowledged by the Secretary of State.

Motion by Temple second by Cope to approve Resolution No. 16-175, with the removal of item 2.

ROLL CALL: Aye: Cope, Temple, Clabaugh, Lindeman, Brown  
Nay: None

Motion Approved: 5-0

b. Consider approval of Claims in the amount of \$2,101,698.42

Motion by Clabaugh second by Cope to approve Claims as presented.

ROLL CALL: Aye: Temple, Clabaugh, Lindeman, Brown, Cope  
Nay: None

Motion Approved: 5-0

10. CITY ADMINISTRATOR/STAFF COMMENTS

Community Development Director David Wilwerding reminded the Council that there would be a public stormwater education meeting on August 16, 2016 at 6:00 p.m. in the Council chambers.

11. CITY COUNCIL COMMENTS

Council Member Cope commented on the Sundae in the Park event.

Council Member Clabaugh thanked staff who answered his questions over the weekend regarding the packet.

12. UPCOMING MEETINGS

TUESDAY, September 6, 2016	City Hall	Worksession 6:00 p.m. Meeting 7:00 p.m.
September 19, 2016	City Hall	Worksession 6:00 p.m. Meeting 7:00 p.m.

13. ADJOURNMENT

The meeting adjourned at 7:18 p.m.

\_\_\_\_\_  
Paula S. Dierenfeld, Mayor

ATTEST:

\_\_\_\_\_  
Cyndee Rhames, City Clerk



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016 Meeting

**SUBJECT:** Consider the renewal application of a Class "C" Liquor License to Include Sunday Sales for El Mariachi Restaurant, 5825 Merle Hay Road.

**ACTION REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Review

**SYNOPSIS:**

El Mariachi Restaurant, 5825 Merle Hay Road has requested approval of the following renewal application:

- Class "C" Liquor License – Allows on premise consumption of liquor, wine and beer which includes carryout beer
- Sunday Sales
- Outdoor Service

The applicant has submitted the appropriate application and paid the fees required by the State.

The application was filed in a timely manner and has been reviewed by the Chief of Police and the Building Official.

**FISCAL IMPACT:**

None

**RECOMMENDATION:**

Approve the Renewal Application as noted.



# LIQUOR LICENSE APPLICATION INSPECTION

Establishment Name: EL MARIACHI Restaurant

New  Existing

Address: 5825 MERUE HAY RD

Applicant Name: ELMARIACHI CORP

Date Application Received: \_\_\_\_\_

Council Deadline Date: \_\_\_\_\_

## Liquor License Privileges

License Class: C(LC)(Commercial)

Outdoor Service   
Sunday Sales

## Building Official Review

Date to Building Official: 8/31/16

Inspection Date: 8/13/16

Pass  Fail

Re-Inspect Date if Fail: \_\_\_\_\_ Pass  Fail

Reason for Fail: \_\_\_\_\_

Building Official Signature: \_\_\_\_\_

## Police Department Review

Date to Police Department: 8/29/16

Interview Required: Yes  No

DCI Background Received: Yes  No

Approve  Deny

Chief of Police Signature: \_\_\_\_\_

## City Clerk Review

City Council: Approve  Deny

Endorse Date: \_\_\_\_\_

City Clerk Signature: \_\_\_\_\_

**Applicant License Application ( LC0031506 )**

<b>Name of Applicant:</b>	<u>El Mariachi Corporation</u>		
<b>Name of Business (DBA):</b>	<u>El Mariachi Restaurant</u>		
<b>Address of Premises:</b>	<u>5825 Merle Hay Road</u>		
<b>City</b>	<u>Johnston</u>	<b>County:</b>	<u>Polk</u> <b>Zip:</b> <u>50131</u>
<b>Business</b>	<u>(515) 276-3887</u>		
<b>Mailing</b>	<u>5825 Merle Hay Road</u>		
<b>City</b>	<u>Johnston</u>	<b>State</b>	<u>IA</u> <b>Zip:</b> <u>50131</u>

**Contact Person**

<b>Name</b>	<u>Juan Carlos Guzman</u>		
<b>Phone:</b>	<u>(515) 778-4834</u>	<b>Email</b>	<u>carlos08281980@hotmail.com</u>

**Classification** Class C Liquor License (LC) (Commercial)

**Term:** 12 months

**Effective Date:** 09/10/2016

**Expiration Date:** 09/09/2017

**Privileges:**

Class C Liquor License (LC) (Commercial)

Outdoor Service

Sunday Sales

**Status of Business**

<b>BusinessType:</b>	<u>Privately Held Corporation</u>		
<b>Corporate ID Number:</b>	<u>255230</u>	<b>Federal Employer ID</b>	<u>42-1522854</u>

**Ownership**

**Carlos Guzman**

**First Name:** Carlos

**Last Name:** Guzman

**City:** johnston

**State:** Iowa

**Zip:** 50131

**Position:** Owner

**% of Ownership:** 100.00%

**U.S. Citizen:** Yes

**Insurance Company Information**

<b>Insurance Company:</b>	<u>Farmers Insurance Exchange</u>		
<b>Policy Effective Date:</b>	<u>09/10/2016</u>	<b>Policy Expiration</b>	<u>09/09/2017</u>
<b>Bond Effective</b>		<b>Dram Cancel Date:</b>	
<b>Outdoor Service Effective</b>		<b>Outdoor Service Expiration</b>	
<b>Temp Transfer Effective Date</b>		<b>Temp Transfer Expiration Date:</b>	



**OFFICE OF THE CITY ADMINISTRATOR**  
Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016 Meeting

**SUBJECT:** Consider Approval of Out-of-State Travel for Steve Nore and Kenny Agan to attend the Beyond Conflict Conference in Milwaukee, Wisconsin October 21-22, 2016

**ACTION REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Review

**SYNOPSIS:**

The conference is being held October 21-22, 2016 in Milwaukee, Wisconsin. City policy requires approval by the City Council for all out-of-state travel. A portion of the conference brochure with the training session agenda is attached.

This conference will allow the police department's Verbal Defense and Influence instructors to recertify on their basic and advanced skills. This program aids police department personnel with a variety of skills associated with conflict resolution and de-escalation.

Estimated costs for two officers are as follows:

- Registration: \$197/ea
- Mileage: 375 miles (city vehicle)
- Lodging & Taxes: \$319.98/ea per two nights
- Meals: estimated \$35/day - reimbursed for actual expense
- Parking: \$25
- Total Estimated Costs: \$1592.96

**FISCAL IMPACT:**

Funds are available in the police department's Travel and Training line items.

**RECOMMENDATION:**

Approve travel request.

## Vistelar's Beyond Conflict Conference 2016 - Advanced VDI Instructor

Vistelar

Friday, October 21, 2016 at 8:00 AM - Saturday, October 22, 2016 at 5:00 PM

Milwaukee, WI

### Event Details

#### We're back for 2016!

We are thrilled to be again hosting the Beyond Conflict Conference in 2016. This year will be focused primarily on YOU: Verbal Defense & Influence Instructors.

Our programs continue to improve and expand every day and as we did in 2014, we are again offering an *Advanced Verbal Defense & Influence Certification*. As a trainer in your organization the skills you

are teaching your colleagues are invaluable for creating a respectful work environment and keeping everyone safe.

The *Advanced Verbal Defense & Influence Certification* offers a chance for you to further hone your skills as a trainer and add to your professional credentials.

During this 2-day experience, you will not only get the most current updates to the curriculum and walk away with new training materials, you will learn how to integrate online learning options for your students to reduce the amount of time they need to spend in the classroom. The reality is that in today's world, there is a premium price on everyone's time. However, with our online training resources, you can more effectively deliver more and better information while preparing learners before they even walk into the room.

In addition, we will be going through the new Student Workbook that will be introduced this year.

Your registration payment covers your \$199 re-certification fee. If you certified in 2013 and did not attend the 2014 Beyond Conflict Conference, attending this event satisfies your on-going training requirement. If you are unable to attend, you can sign up for the online re-certification program [here](#).

#### Location:

Double Tree by Hilton Hotel Milwaukee Downtown  
611 W Wisconsin Avenue  
Milwaukee, WI 53203



## **But wait – there's more!**

We are extra excited to bring to you for the first time an ADDITIONAL certification at the same conference. Dave Young will be offering a track specifically for anyone interested in becoming a certified "Strategies for Surviving and Active Shooter Facilitator." Dave has launched his new program after decades of experience in the military, as a police and security officer and partnering with schools across the country to make their campuses safe from active shooter threats.

Unlike other active shooter programs out there, Vistelar's Strategies for Surviving an Active Shooter program provides unique and practical step-by-step real-world tactics for staying safe during an active shooter event. You can learn more about the online end-user offering by visiting: <http://vistelar.com/active-shooter/>

NOTE: Don't wait to register to take advantage of our early bird specials!

### **Agenda Outline:**

#### **Friday, October 21, 2016**

8:00 a.m. to Noon:

*Basic Verbal Defense & Influence Instructor Re-certification*

1 p.m. to 5 p.m.:

*Advanced Verbal Defense & Influence Instructor Certification/Re-certification (Track 1)*

*Strategies for Surviving and Active Shooter Facilitator Certification (Track 2)*

#### **Saturday, October 22, 2016**

8:00 a.m. to Noon:

*Basic Verbal Defense & Influence Instructor Re-certification*

1 p.m. to 5 p.m.:

*Advanced Verbal Defense & Influence Instructor Certification/Re-certification (Track 1)*

*Strategies for Surviving and Active Shooter Facilitator Certification (Track 2)*

Milwaukee, WI  
53202

SPECIAL DEAL!!! Invite a friend and they receive a discounted price of \$297! Enter the promo code: BCC2014 to receive this price.

Questions? Please email [info@vistelar.com](mailto:info@vistelar.com)

Have a question? Contact the organizer at [sminella@vistelar.com](mailto:sminella@vistelar.com)

## Order Summary

December 31, 2015

Order #: 480571103

Name	Type	Quantity	Price
Steve Nore	Holiday 2015 Registration	1	\$197.00
Kenny Agan	Holiday 2015 Registration	1	\$197.00
<b>TOTAL</b>			<b>\$394.00</b>

Charged to: Visa - XXXX-XXXXXX-7090

This order is subject to Eventbrite Terms of Service, Privacy Policy, and Cookie Policy

## About this event

Friday, October 21, 2016 at  
8:00 AM - Saturday,  
October 22, 2016 at 5:00  
PM  
1845 N Farwell Avenue  
Milwaukee, WI 53202

Add to my calendar:



**DoubleTree by Hilton Hotel Milwaukee Downtown**

611 W. Wisconsin Avenue, Milwaukee, Wisconsin, 53203, USA  
+1-414-273-2950

**Reservation Confirmation # 84763373**

**Hotel**

DoubleTree by Hilton Hotel Milwaukee Downtown  
611 W. Wisconsin Avenue  
Milwaukee, Wisconsin 53203  
USA  
Phone: +1-414-273-2950  
Email: mkecc\_ds@hilton.com

**Stay Information**

Arrival: Thursday, 20 Oct 2016  
Departure: Saturday, 22 Oct 2016  
2 rooms for 2 nights

Early check-in cannot be guaranteed. Contact the hotel to inquire about early check-in or late check-out. Hotel check-in time is 3:00 pm and check-out is at 11:00 am.

**Room and Plan Selection**

**Room 1:**

1 adult

Price (2 nights x 139.00) 278.00  
Taxes 41.98  
Room Subtotal 319.98

**Guest Information**

Guest name: Steve Nore  
Additional Guests: Room 2 Kenny Agan  
Address type: Work  
Address: On file  
Email: On file  
Phone: On file

**Room 2:**

1 adult

Price (2 nights x 139.00) 278.00  
Taxes 41.98  
Room Subtotal 319.98

**Payment Information**

Card type: Visa  
Card number: \*\*\*\*\*7090  
Expiration: Jan 2017

**Total for stay all rooms: \$639.96 USD**



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016 Meeting

<b>SUBJECT:</b> Consider Approval of Out-of-State Travel for Cyndee Rhames to attend the Neogov Annual Training Conference in Las Vegas, NV, October 12-13, 2016	<b>ACTION REQUIRED:</b> <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
--	---

<b>SYNOPSIS:</b>	<p>In May of 2016, the City purchased on-demand human resources software through Neogov. The software is being used to automate the hiring and selection process and streamline new hire paperwork, processes, and training.</p> <p>We are live on this software as of August 22, 2016 and are actively using the Insight portion of the software for recruiting the Parks Recreation Coordinator position, as well as a new Payroll Clerk.</p> <p>Attendance at the annual conference will allow us a training opportunity from the vendor, as well as networking with other entities utilizing the software.</p> <p><u>Estimated costs are as follows:</u></p> <ul style="list-style-type: none"><li>• Air Travel - \$180</li><li>• Lodging: \$340</li><li>• Conference Registration: \$475</li><li>• Meals: \$80</li><li>• Total Estimated Costs: \$1075</li></ul>
<b>FISCAL IMPACT:</b>	Funds are available.
<b>RECOMMENDATION:</b>	Approve request.

# 2016 NEOGOV Annual Training Conference

We invite you to join us for our 15th annual user conference in Las Vegas, NV.  
Pre-conference training will take place on Wednesday, October 12th.

📍 Las Vegas, NV

🏨 The Mirage Resort

📅 October 13<sup>th</sup>—14<sup>th</sup>

## PRELIMINARY SESSION TOPICS

### Roadmap for All NEOGOV Products

Join NEOGOV's Product Strategy Team for a popular and informative outline of the 2017 NEOGOV roadmap.

### Online Hiring Center (OHC)

The Online Hiring Center has a new fresh look and some great new features.

### Maximize the Latest Insight Enhancements

We will demonstrate the latest Insight system enhancements and discuss the best practices for incorporating these features into your process.

### System Administration

Learn some best practices to tailor the system to meet the specific needs of your organization.

### Report Builder

Learn about Insight's new report building tool and how to easily create recruitment reports to support your business needs.

### Applicant to Employee Life Cycle

Learn how to use all of NEOGOV's products in conjunction with one another and see a full lifecycle that automates the process from recruiting to new hire processing to performance appraisal and beyond.

### Industry Leading Keynote Speaker

Last year's keynote speaker, Ryan Estis, wowed the audience with his HR focused, motivational presentation. We're on the lookout for another outstanding keynote this year.

### Insight Testing/Online Tests

Learn best practice tips for creating and conducting tests within your organization, and online testing.

### E-References for Applicants

E-references allow you to automatically notify applicants' references and invite them to provide their reference letter and candidate feedback online, which makes it easier than ever to collect applicant references.

### Create More Value in Performance Evaluations

Produce robust reporting with a redesigned Dashboard and rating & approval forms. Manage goals more effectively and tailor evaluations with new enhancements. Keep your managers and employees engaged in the evaluation process year-round.

### Managing Eligible/ Referral Lists

Best practices for managing your lists so they work for you, not against you.

### Jump-start Employee Engagement with Streamlined Onboarding

Welcome new hires with vibrant, configurable portals that have all the information they need just one click away. Re-imagine new hire orientation sessions by completing onboarding tasks online before an employee's first day.

### Applicant Rating Matrix

With the new rating matrix, you can track scores from each rater in an interview process for all of the criteria being used to evaluate your candidates.

### Search Committees/SMEs, Police/Fire Recruiting

Discover new tips for managing various recruitments within your organization.

### Strategic Roundtable Discussions on HR Topics/Challenges

Exchange information with your colleagues and learn how they handle similar HR situations.

### Speed Consulting

Have a quick question regarding system functionality? Struggling with a general business process and want to know how the system can address that? Answers will be available to you directly from a NEOGOV Team Member during the conference.

\*Preliminary session topics are subject to change. The conference ends by 4:00pm Friday.

● = New Product Feature!



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 September 6th, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Purchase Order number #15-840 to Game Time c/o Cunningham Recreation for \$75,344.12 for purchase of new playground equipment.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
---	--

<p><b>SYNOPSIS:</b></p>	<p>This invoice is for the purchase of new playground equipment for the new Crosshaven Park. This includes all the playground equipment as well as the installation of all the equipment.</p>
<p><b>FISCAL IMPACT</b></p>	<p>Funds are available in the Park and Trail Improvement Fund from the Westridge Park District #318.5.764.67317.</p>
<p><b>RECOMMENDATION:</b></p>	<p>Staff is recommending approval of this Purchase Order for new Playground Equipment from Game Time c/o Cunningham Recreation.</p>

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve Purchase Order #15-840 to Game Time c/o Cunningham Recreation for \$75,344.12 for the purchase of new playground equipment.

<b>ROLL CALL VOTE:</b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



**CUNNINGHAM RECREATION**

GameTime c/o Cunningham Recreation  
PO Box 240981  
Charlotte, NC 28224  
800.438.2780  
704.525.7356 FAX

**QUOTE**  
#115404

08/30/2016

**Crosshaven Park - Option 4 (Equipment)**

Quantity	Part #	Description	Unit Price	Amount
1	INSTALL	MISC - Installation of Above Equipment to Include Digging/Boxing Out Footings Prior to Customer Pouring Concrete Substrate for Tile	\$23,140.00	\$23,140.00

*Site must be clear, level, free of obstructions, and accessible. Customer responsible for all site preparation. Safety surfacing quoted separately.*

SubTotal: \$70,919.50  
Freight: \$4,424.62  
**Total Amount: \$75,344.12**

**Pricing:** Prices are firm for 30 days unless otherwise noted. Above costs assume one shipment and one installation unless otherwise noted. Taxes will be shown as a separate line item if included. Any applicable taxes not shown will be applied to the final invoice.

**Lead Time/shipment:** Standard orders shipped 4 weeks after receipt of order and acceptance of your purchase order, color selections, approved submittals, (if required) unless otherwise noted. Custom equipment and shades may require a longer lead time. Surfacing lead time is approximately 2 weeks after scheduling request. It is the responsibility of the owner to offload and inventory equipment, unless other arrangements have been made. Missing or damaged equipment must be reported within 60 days of acceptance of delivery. Equipment may be sent in multiple shipments based on point of origin.

**Payment Terms:** Payment in full, Net 30 days subject to approval by Credit Manager. Pre-payment may be required for orders equaling less than \$5,000. A signed P.O. made out to Gametime C/O Cunningham Associates, Inc. or this signed quotation is required for all orders unless otherwise noted. A 1.5% per month finance charge will be imposed on all past due accounts. Equipment shall be invoiced separately from other services and shall be payable in advance of those services and project completion. Checks should be made payable to Game Time unless otherwise directed.

**Returns:** Returns are available on shipments delivered within the last 60 days and only if the product is in merchantable condition, has never been installed, and has never been stored in an area of little or no protection. A 25% restocking fee will be applied to all goods. Customer will be charged freight for both the outbound and inbound shipment. Any credit will be based on the condition of the item upon its return. Uprights cannot be returned.

*Acceptance of this proposal indicates your agreement to the terms and condition stated herein.*

**Wish to pay by credit card? Please complete the following information:**

\_\_\_\_\_ Mastercard    \_\_\_\_\_ Visa    \_\_\_\_\_ AMEX

Credit Card Number: \_\_\_\_\_ Exp Date: \_\_\_\_\_

CSC, Card Security Code: \_\_\_\_\_

Name as it appears on card: \_\_\_\_\_

Amount to be charged to card: \_\_\_\_\_

Email or Fax credit card receipt to: \_\_\_\_\_

Site should be clear, level and allow for unrestricted access of trucks and machinery. Customer is responsible for providing a secure location to off-load and store the equipment during the installation process. The customer is responsible for theft or damage of the equipment from the time the equipment is off-loaded until the installation of the equipment is complete, unless other arrangements are made and noted on the quotation. Price includes ONLY what is stated in this quotation. If additional site work or equipment is needed then the price is subject to change. Customer shall be responsible for unknown conditions such as buried utilities (public & private), tree stumps, rock, or any concealed materials or conditions that may result in additional labor or materials cost. Customer will be billed hourly or per job for any additional costs.



GameTime c/o Cunningham Recreation  
PO Box 240981  
Charlotte, NC 28224  
800.438.2780  
704.525.7356 FAX

QUOTE  
#115404

08/30/2016

**Crosshaven Park - Option 4 (Equipment)**

**Acceptance of quotation:**

Accepted By (printed): \_\_\_\_\_

Date: \_\_\_\_\_

Title: \_\_\_\_\_

P.O. No: \_\_\_\_\_

Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_

Purchase Amount: **\$75,344.12**

SALES TAX EXEMPTION CERTIFICATE #: \_\_\_\_\_

(PLEASE PROVIDE A COPY OF CERTIFICATE)

\_\_\_\_\_  
Salesman Signature

\_\_\_\_\_  
Customer Signature

**ORDER INFORMATION:**

Bill to: \_\_\_\_\_ Ship to: \_\_\_\_\_

Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Address: \_\_\_\_\_

Address: \_\_\_\_\_ Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Tel: \_\_\_\_\_ Fax: \_\_\_\_\_ Tel: \_\_\_\_\_ Fax: \_\_\_\_\_



**GameTime c/o Cunningham Recreation**  
**PO Box 240981**  
**Charlotte, NC 28224**  
**800.438.2780**  
**704.525.7356 FAX**

**QUOTE**  
**#115404**

08/30/2016

**Crosshaven Park - Option 4 (Equipment)**

Johnston Parks & Recreation  
 Attn: John Schmitz  
 6300 Pioneer Pkwy.  
 Johnston, IA 50131  
 Phone: 515-727-8091  
 jschmitz@cityofjohnston.com

Project #: P81695  
 Ship To Zip: 50131

Quantity	Part #	Description	Unit Price	Amount
1	RDU	GameTime - Powerscape 5-12 Yr Old Modular Structure (per drawing) (3) 80001 -- 49"Tri Punched Steel Deck (3) 80198 -- Conifer Post Topper (1) 80465 -- Spider Web (1) 80656 -- Access Attachment 3' & 4' (1) 81665 -- Seat and Table for Two (1) 81699 -- Bongos (1) 81743 -- Log Roll (2) 90004 -- Two Piece Hex Deck (1) 90013 -- Flower Talk Tube 4'6" - 6'0" (2 - 12) (1) 90114 -- Flower Talk Tube Gr lvl attach (5-12) (1) 90150 -- 3/4' Single Vine Climber (1) 90160 -- 3/5' Web Tail (1) 90267 -- 9' Upright, Alum (1) 90268 -- 10' Upright, Alum (3) 90269 -- 11' Upright, Alum (3) 90271 -- 13' Upright, Alum (6) 90273 -- 15' Upright, Alum (1) 90286 -- 8' Sky Hi Spiral Tube Slide, 30" Dia (1) 90299 -- 7'-6"/8' Wavy Tree Climber (2) 90335 -- Climber Offset Archway w/ Guardrail (1) 90366 -- Sloped Funnel Climber w/Barrier (1) 90369 -- River Rock Climber (1) 90391 -- 3'-0" Overhead Climber Access Ladder (1) 90442 -- Endangered Species Panel Below Dk (1) 90506 -- 6' Single Wave Zip Slide	\$44,460.50	\$44,460.50



GameTime c/o Cunningham Recreation  
 PO Box 240981  
 Charlotte, NC 28224  
 800.438.2780  
 704.525.7356 FAX

QUOTE  
 #115404

08/30/2016

**Crosshaven Park - Option 4 (Equipment)**

Quantity	Stock ID	Description	Unit Price	Amount
		(1) 90507 -- 2'-6"/3' Rumble & Roll Zip Slide		
		(1) 90700 -- Single Entrance WilderSlide II		
		(2) 90704 -- Left Curve Section WilderSlide II		
		(1) 90705 -- Right Curve Section WilderSlide II		
		(1) 90709 -- Support WilderSlide II		
		(1) 90750 -- Butterfly Climber		
		(1) 90762 -- Long Exit ( 7' & 8' Slides)		
		(3) 91146 -- Entryway - Guardrail		
		(1) 91178 -- 3' 0" Transfer Platform - Timbers		
		(1) 91185 -- 8' 0" Plank Climber - Timbers		
		(2) 91201 -- 2' 0" Transfer System - Timbers		
		(1) 91208 -- Climber Entryway - Guardrail		
		(3) 91209 -- Climber Entryway - Barrier		
		(2) 91216 -- 24" Slant Hex Roof Extension - Timbers		
		(2) 91218 -- 72" Slant Hex Roof Extension - Timbers		
		(1) 91219 -- Slant Hex Roof - Timbers		
		(2) 91224 -- 36" Slant Hex Roof Extension - Timbers		
		(1) 91262 -- Squirrel Accent		
		(1) 91271 -- Blue Jay Accent		
		(2) 91300 -- Topper Extension		
		(1) 91340 -- Timbers Encl w/Thunderring (Abov Dk)		
		(1) G90266 -- 8' Upright, Galv		
		(1) G90267 -- 9' Upright, Galv		
		(4) G90268 -- 10' Upright, Galv		
		(1) G90269 -- 11' Upright, Galv		
		(2) G90271 -- 13' Upright, Galv		
		(1) G90272 -- 14' Upright, Galv		
		(1) 178749 -- Owner's Kit		
		(1) 81510 -- Horiz Loop Lad Link 98"Lk		
1	5128	GameTime - Expression Swing 3 1/2" x 8'	\$1,199.00	\$1,199.00
1	5152	GameTime - PT Solo Add-A-Bay 3 1/2" x 8'	\$621.00	\$621.00
2	8910	GameTime - Belt Seat 3 1/2"Od(8910)	\$217.00	\$434.00
1	18826	GameTime - PrimeTime Swing 3 1/2" x 8'	\$1,065.00	\$1,065.00



**OFFICE OF THE CITY ADMINISTRATOR**  
 Johnston, Iowa  
 AGENDA COMMUNICATION  
 September 6th, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Purchase Order number #15-841 to Game Time c/o Cunningham Recreation for \$44,654.40 for Interlocking Tile Surfacing for the playground at Crosshaven Park.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
--	--

<p><b>SYNOPSIS:</b></p>	<p>This invoice is for the purchase of new interlocking tile surfacing and installation of the tile surfacing for the new playground at Crosshaven Park.</p>
<p><b>FISCAL IMPACT</b></p>	<p>Funds are available in the Park and Trail Improvement Fund from the Westridge Park District #318.5.764.67317.</p>
<p><b>RECOMMENDATION:</b></p>	<p>Staff is recommending approval of this Purchase Order for the new interlocking tile surface from Game Time c/o Cunningham Recreation.</p>

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve Purchase Order #15-841 to Game Time c/o Cunningham Recreation for \$44,654.40 for the purchase of new interlocking tile surfacing with installation for Crosshaven Park.

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



GameTime c/o Cunningham Recreation  
 PO Box 240981  
 Charlotte, NC 28224  
 800.438.2780  
 704.525.7356 FAX

QUOTE  
 #115405

08/30/2016

**Crosshaven Park - Option 4 (Surfacing)**

Johnston Parks & Recreation  
 Attn: John Schmitz  
 6300 Pioneer Pkwy.  
 Johnston, IA 50131  
 Phone: 515-727-8091  
 jschmitz@cityofjohnston.com

Project #: P81695  
 Ship To Zip: 50131

Quantity	Part #	Description	Unit Price	Amount
3584	GTILE	GT-Impax - Per SF Interlocking Tile Surfacing, 3.25" Thick for 8' CFH, with 263 LF Beveled Edge and (1) ADA Ramp, Standard Color - <i>Includes tile materials and adhesive.</i>	\$8.70	\$31,180.80
3584	INSTALL	MISC - Installation of Above Tile	\$2.90	\$10,393.60

*Site must be clear, level, free of obstructions, and accessible. Customer responsible for all site preparation, including concrete substrate for tile surfacing.*

SubTotal: \$41,574.40  
 Freight: \$3,080.00  
**Total Amount: \$44,654.40**

**Pricing:** Prices are firm for 30 days unless otherwise noted. Above costs assume one shipment and one installation unless otherwise noted. Taxes will be shown as a separate line item if included. Any applicable taxes not shown will be applied to the final invoice.  
**Lead Time/Shipment:** Standard orders shipped 4 weeks after receipt of order and acceptance of your purchase order, color selections, approved submittals, (if required) unless otherwise noted. Custom equipment and shades may require a longer lead time. Surfacing lead time is approximately 2 weeks after scheduling request. It is the responsibility of the owner to offload and inventory equipment, unless other arrangements have been made. Missing or damaged equipment must be reported within 60 days of acceptance of delivery. Equipment may be sent in multiple shipments based on point of origin.  
**Payment Terms:** Payment in full, Net 30 days subject to approval by Credit Manager. Pre-payment may be required for orders equaling less than \$5,000. A signed P.O. made out to Gametime C/O Cunningham Associates, Inc. or this signed quotation is required for all orders unless otherwise noted. A 1.5% per month finance charge will be imposed on all past due accounts. Equipment shall be invoiced separately from other services and shall be payable in advance of those services and project completion. Checks should be made payable to Game Time unless otherwise directed.  
**Returns:** Returns are available on shipments delivered within the last 60 days and only if the product is in merchantable condition, has never been installed, and has never been stored in an area of little or no protection. A 25% restocking fee will be applied to all goods. Customer will be charged freight for both the outbound and inbound shipment. Any credit will be based on the condition of the item upon its return. Uprights cannot be returned.

*Acceptance of this proposal indicates your agreement to the terms and condition stated herein.*

**Wish to pay by credit card? Please complete the following information:**

\_\_\_\_\_ Mastercard \_\_\_\_\_ Visa \_\_\_\_\_ AMEX

Credit Card Number: \_\_\_\_\_ Exp Date: \_\_\_\_\_  
 CSC, Carde Security Code: \_\_\_\_\_  
 Name as it appears on card: \_\_\_\_\_  
 Amount to be charged to card: \_\_\_\_\_  
 Email or Fax credit card receipt to: \_\_\_\_\_



GameTime c/o Cunningham Recreation  
 PO Box 240981  
 Charlotte, NC 28224  
 800.438.2780  
 704.525.7356 FAX

QUOTE  
 #115405

08/30/2016

**Crosshaven Park - Option 4 (Surfacing)**

Site should be clear, level and allow for unrestricted access of trucks and machinery. Customer is responsible for providing a secure location to off-load and store the equipment during the installation process. The customer is responsible for theft or damage of the equipment from the time the equipment is off-loaded until the installation of the equipment is complete, unless other arrangements are made and noted on the quotation. Price includes ONLY what is stated in this quotation. If additional site work or equipment is needed then the price is subject to change. Customer shall be responsible for unknown conditions such as buried utilities (public & private), tree stumps, rock, or any concealed materials or conditions that may result in additional labor or materials cost. Customer will be billed hourly or per job for any additional costs.

Acceptance of quotation:

Accepted By (printed): \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_ P.O. No: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Purchase Amount: **\$44,654.40**

SALES TAX EXEMPTION CERTIFICATE #: \_\_\_\_\_

(PLEASE PROVIDE A COPY OF CERTIFICATE)

\_\_\_\_\_  
 Salesman Signature

\_\_\_\_\_  
 Customer Signature

**ORDER INFORMATION:**

Bill to: \_\_\_\_\_ Ship to: \_\_\_\_\_

Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Address: \_\_\_\_\_

Address: \_\_\_\_\_ Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Tel: \_\_\_\_\_ Fax: \_\_\_\_\_ Tel: \_\_\_\_\_ Fax: \_\_\_\_\_



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6th, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Partial Pay Request Number 5 to Rochon Corporation of Iowa, Inc. in the amount of \$204,156.55 for Terra Lake Park Improvements Phase 3.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
---	--

<p><b>SYNOPSIS:</b></p>	<p>This invoice is for partial Pay Request number 5 for concrete and foundation work, grading, utility installations and structural steel installations at Terra Lake Park.</p>
<p><b>FISCAL IMPACT</b></p>	<p>Funds are available in the Terra Lake Improvements Fund Line: 340.5.764.67616.</p>
<p><b>RECOMMENDATION:</b></p>	<p>Staff is recommending approval of this payment of partial Pay Request No.5 to Rochon Corporation of Iowa, Inc.</p>

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve Partial Pay Request No.5 in the amount of \$204,156.55 to Rochon Corporation of Iowa, Inc. for work performed for the Terra Lake Park Improvements Phase 3.

<b>ROLL CALL VOTE:</b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

**APPLICATION FOR PARTIAL PAYMENT NO. 5**

PROJECT: Terra Lake Park Improvements Phase 3  
OWNER: City of Johnston  
CONTRACTOR: Rochon Corporation of Iowa, Inc.  
ADDRESS: 3401 106th Circle  
Urbandale, IA 50322  
DATE: August 29, 2016

S&A PROJECT NO.: 115.0890

PAYMENT PERIOD: 07/15/2016 - 08/31/16

**1. CONTRACT SUMMARY:**

Original Contract Amount: \$ 2,068,205.00  
Net Change by Change Order: \$0.00  
Contract Amount to Date: \$ 2,068,205.00

CONTRACT PERIOD: WORKING DAYS  
Original Contract Date: March 7, 2016  
Substantial Completion:  
Final Completion: December 1, 2016

**2. WORK SUMMARY:**

Total Work Performed to Date: \$ 883,858.63  
Retainage: 5% \$44,192.93  
Total Earned Less Retainage: \$ 839,665.70  
Total Previous Payments \$217,784.23 Pay App 1  
\$237,276.22 Pay App 2  
\$0.00 Pay App 3  
\$180,448.70 Pay App 4  
AMOUNT DUE THIS APPLICATION: \$ 204,156.55

Added by Change Order: 0  
Contract Time to Date: 0

**3. CONTRACTOR'S CERTIFICATION:**

The undersigned CONTRACTOR certifies that:  
(1) all previous progress payments received from OWNER on account of Work done under the Contract referred to above have been applied to discharge in full all obligations of CONTRACTOR incurred in connection with the Work covered by prior Applications for Payment  
(2) title to all materials and equipment incorporated in said Work or otherwise listed in or covered by this application for Payment are free and clear of all liens, claims, security interests and encumbrances.

Rochon Corporation of Iowa, Inc.  
CONTRACTOR

By [Signature] DATE: \_\_\_\_\_

**4. ENGINEER'S APPROVAL:**

Payment of the above AMOUNT DUE THIS APPLICATION is recommended:

Snyder & Associates, Inc.  
ENGINEER

By [Signature] DATE: 8/29/16

**5. OWNER'S APPROVAL**

City of Johnston  
OWNER

By \_\_\_\_\_ DATE: \_\_\_\_\_

**6. DETAILED ESTIMATE OF WORK COMPLETED:**

CODE	DESCRIPTION	ML	SCHEDULED VALUE	TOTAL TO DATE	% COMPLETE	BALANCE TO FINISH
<b>ORIGINAL CONTRACT</b>						
<b>GENERAL CONDITIONS</b>						
	General Conditions		\$ 102,820.00	\$ 44,000.00	43%	\$ 58,820.00
	Bond		\$ 16,000.00	\$ 16,000.00	100%	\$ -
	Overhead and Fee		\$ 69,000.00	\$ 29,550.00	43%	\$ 39,450.00
<b>CONCRETE</b>						
33000	Footings	L	\$ 119,588.00	\$ 107,500.00	90%	\$ 12,088.00
33000	Footings	M	\$ 79,856.00	\$ 72,056.00	90%	\$ 7,800.00
33000	Rebar	M	\$ 14,230.00	\$ 14,230.00	100%	\$ -
33000	Slab on Grade	L	\$ 7,240.00	\$ 7,240.00	100%	\$ -
33000	Slab on Grade	M	\$ 4,760.00	\$ 4,760.00	100%	\$ -
33000	Sidewalks and Patios	L	\$ 69,155.00	\$ -	0%	\$ 69,155.00
33000	Sidewalks and Patios	M	\$ 64,605.00	\$ -	0%	\$ 64,605.00
<b>MASONRY</b>						
42200	Mobilization/Submittals	L	\$ 13,000.00	\$ 13,000.00	100%	\$ -
42200	CMU	L	\$ 19,916.00	\$ 17,875.00	90%	\$ 2,041.00
42200	CMU	M	\$ 27,504.00	\$ 24,750.00	90%	\$ 2,754.00
44313	Stone Veneer	L	\$ 118,999.00	\$ -	0%	\$ 118,999.00
44313	Stone Veneer	M	\$ 184,331.00	\$ -	0%	\$ 184,331.00
<b>METALS</b>						
5000	Drafting	L	\$ 4,200.00	\$ 4,200.00	100%	\$ -
5000	Freight	L	\$ 1,300.00	\$ 1,300.00	100%	\$ -
51200	Structural Steel	L	\$ 20,000.00	\$ -	0%	\$ 20,000.00
51200	Structural Steel	M	\$ 44,275.00	\$ 44,275.00	100%	\$ -
55000	Metal Fabrication	M	\$ 26,425.00	\$ -	0%	\$ 26,425.00
<b>WOOD AND PLASTICS</b>						
61000	Rough Carpentry	L	\$ 47,000.00	\$ -	0%	\$ 47,000.00
61000	Rough Carpentry	M	\$ 14,200.00	\$ 13,240.63	93%	\$ 959.37
61800	Glued-Laminated Beams and Decking	M	\$ 73,632.00	\$ 73,632.00	100%	\$ -
64023	Finish Carpentry	L	\$ 3,000.00	\$ -	0%	\$ 3,000.00
<b>THERMAL AND MOISTURE</b>						
71900	Water Repellents	L	\$ 2,200.00	\$ -	0%	\$ 2,200.00
71900	Water Repellents	M	\$ 1,680.00	\$ -	0%	\$ 1,680.00
74113	Metal Roof/Soffit	L	\$ 40,925.00	\$ -	0%	\$ 40,925.00
74113	Metal Roof/Soffit	M	\$ 19,705.00	\$ -	0%	\$ 19,705.00
74646	Fiber Cement Siding	L	\$ 5,820.00	\$ -	0%	\$ 5,820.00
74646	Fiber Cement Siding	M	\$ 2,180.00	\$ -	0%	\$ 2,180.00
79200	Caulking	L	\$ 7,000.00	\$ -	0%	\$ 7,000.00
79200	Caulking	M	\$ 3,000.00	\$ -	0%	\$ 3,000.00
<b>DOORS AND WINDOWS</b>						
801113	HM Frames	M	\$ 2,240.00	\$ 2,240.00	100%	\$ -
801113	HM Doors	M	\$ 2,276.00	\$ 2,276.00	100%	\$ -
84500	Translucent Panel Wall Cladding Assemblies	L	\$ 3,063.00	\$ 677.00	22%	\$ 2,376.00
84500	Translucent Panel Wall Cladding Assemblies	M	\$ 6,624.00	\$ 6,354.00	96%	\$ 270.00
87100	Hardware	M	\$ 4,712.00	\$ 4,712.00	100%	\$ -
<b>FINISHES</b>						
99123	Painting	L	\$ 7,350.00	\$ -	0%	\$ 7,350.00
99123	Painting	M	\$ 3,150.00	\$ -	0%	\$ 3,150.00
96600	High Performance Coatings	L	\$ 2,420.00	\$ -	0%	\$ 2,420.00
96600	High Performance Coatings	M	\$ 2,080.00	\$ -	0%	\$ 2,080.00
<b>SPECIALTIES</b>						
101400	Signage	M	\$ 1,700.00	\$ -	0%	\$ 1,700.00
102800	Accessories	M	\$ 789.00	\$ -	0%	\$ 789.00
<b>FURNISHINGS</b>						
123613	Concrete Countertops		\$ 3,360.00	\$ -	0%	\$ 3,360.00
<b>MECHANICAL</b>						
220500	Common Plumbing	L	\$ 3,000.00	\$ 3,000.00	100%	\$ -
220719	Plumbing Insulation	L	\$ 1,140.00	\$ 500.00	44%	\$ 640.00
220719	Plumbing Insulation	M	\$ 1,620.00	\$ 500.00	31%	\$ 1,120.00
221005	Plumbing Piping	L	\$ 13,130.00	\$ 12,630.00	96%	\$ 500.00
221005	Plumbing Piping	M	\$ 11,406.00	\$ 10,906.00	96%	\$ 500.00

223000	Plumbing Equipment	L	\$ 1,350.00	\$ -	0%	\$ 1,350.00
223000	Plumbing Equipment	M	\$ 3,290.00	\$ -	0%	\$ 3,290.00
224000	Plumbing Fixtures	L	\$ 5,290.00	\$ -	0%	\$ 5,290.00
224000	Plumbing Fixtures	M	\$ 4,240.00	\$ -	0%	\$ 4,240.00
233100	Ductwork	L	\$ 2,445.00	\$ -	0%	\$ 2,445.00
233100	Ductwork	M	\$ 2,310.00	\$ -	0%	\$ 2,310.00
233423	Power Ventilators	L	\$ 800.00	\$ -	0%	\$ 800.00
233423	Power Ventilators	M	\$ 1,630.00	\$ -	0%	\$ 1,630.00
233700	Air Outlets and Inlets	L	\$ 640.00	\$ -	0%	\$ 640.00
233700	Air Outlets and Inlets	M	\$ 745.00	\$ -	0%	\$ 745.00
ELECTRICAL						
260534	Conduit Roughin	L	\$ 21,422.00	\$ 5,100.00	24%	\$ 16,322.00
260534	Conduit Roughin	M	\$ 5,528.00	\$ 1,300.00	24%	\$ 4,228.00
262726	Wire	L	\$ 6,451.00	\$ -	0%	\$ 6,451.00
262726	Wire	M	\$ 21,301.00	\$ -	0%	\$ 21,301.00
262716	Gear	L	\$ 1,191.00	\$ -	0%	\$ 1,191.00
262716	Gear	M	\$ 6,000.00	\$ -	0%	\$ 6,000.00
265100	Lights	L	\$ 8,466.00	\$ -	0%	\$ 8,466.00
265100	Lights	M	\$ 29,556.00	\$ -	0%	\$ 29,556.00
SITE WORK						
328400	Irrigation System	L	\$ 21,814.00	\$ -	0%	\$ 21,814.00
328400	Irrigation System	M	\$ 27,762.00	\$ -	0%	\$ 27,762.00
	Strip and Spread Topsoil	L	\$ 16,400.00	\$ 8,000.00	49%	\$ 8,400.00
	Grading	L	\$ 137,050.00	\$ 123,100.00	90%	\$ 13,950.00
	Overexcavation	L	\$ 35,000.00	\$ 35,000.00	100%	\$ -
	Overexcavation	M	\$ 34,000.00	\$ 34,000.00	100%	\$ -
	Subgrade Prep	L	\$ 13,500.00	\$ -	0%	\$ 13,500.00
	Granular Fill	L	\$ 2,000.00	\$ 2,000.00	100%	\$ -
	Granular Fill	M	\$ 4,500.00	\$ 4,500.00	100%	\$ -
	Wet Well	L	\$ 20,000.00	\$ 15,000.00	75%	\$ 5,000.00
	Wet Well	M	\$ 56,855.00	\$ 56,855.00	100%	\$ -
	Storm Sewer	L	\$ 29,256.00	\$ 29,256.00	100%	\$ -
	Storm Sewer	M	\$ 34,344.00	\$ 34,344.00	100%	\$ -
	Water Line	L	\$ 2,000.00	\$ 2,000.00	100%	\$ -
	Water Line	M	\$ 2,000.00	\$ 2,000.00	100%	\$ -
	Hardscape	L	\$ 94,880.00	\$ -	0%	\$ 94,880.00
	Hardscape	M	\$ 106,993.00	\$ -	0%	\$ 106,993.00
	Seeding		\$ 9,600.00	\$ -	0%	\$ 9,600.00
GRAND TOTAL			\$ 2,068,205.00	\$ 883,858.63		\$ 1,184,346.37



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 September 6th, 2016 Meeting

<p><b>SUBJECT:</b> Approve Purchase Order #15-836 to Arbor Vantage, Inc. for removal of Ash Trees for \$52,533.00.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
--	--

**SYNOPSIS:**

The Parks Department is requesting the removal of 100 Ash Trees. This Bid is for a one year time period from 2016/2017. The cost includes removal of the Ash trees and stump grinding.

**FISCAL IMPACT**

\$52,533.00 will be paid from the Emerald Ash Borer tree removal Account: 010.5.430.64293

**RECOMMENDATION:**

Approve

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve PO # 15-836 to Arbor Vantage, Inc. for \$52,533.00 for the removal of Ash Trees.

<b>ROLL CALL VOTE:</b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

**WORK PROPOSED**

Arbor Vantage, Inc  
~~Arbor Vantage, Inc~~

**CATEGORY A: TREE REMOVAL**

The City of Johnston is requesting the removal of one hundred (100) trees per year over a three (3) year period. These designated trees will range in size from eighteen (18) inch up to thirty six (36) inch dbh.

CAN CUT 20 XTRA TREES / YR.

Year 1 Bid 2014/2015:

\* Total Estimate for Tree Removal and Disposal of all Portions Of Designated Trees: 39,800 (47,900) = 418<sup>00</sup> / TREE

Year 2 Bid 2015/2016:

Total Estimate for Tree Removal and Disposal of all Portions Of Designated Trees: 40,994 (51,294) = 512<sup>94</sup> / TREE

Year 3 Bid 2016/2017: — BID CONFIRMED 8/24/16 1.00

Total Estimate for Tree Removal and Disposal of all Portions Of Designated Trees: 42,223 (52,533) = 525<sup>33</sup> / TREE

Total Tree Removal Bid: 123,017 (153,627)

**CATEGORY B: STUMP GRINDING SERVICES**

Stumps shall be ground down with the use of a stump grinder to a depth of twelve (12") inches below the existing ground surface. grindings removed and backfilled with topsoil.

Year 1 Bid 2014/2015:

\* Total Estimate for Stump and Grindings Removal and Backfilled With Topsoil: 10,000

Year 2 Bid 2015/2016:

Total Estimate for Stump and Grindings Removal and Backfilled With Topsoil: 10,300

Year 3 Bid 2016/2017: — BID CONFIRMED 8/24/16 1.00

Total Estimate for Stump and Grindings Removal and Backfilled With Topsoil: 10,310

Total Stump Removal Bid: 30,610



ITEM NO. 8j

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
AGENDA COMMUNICATION  
Sep 6, 2016 Meeting

<p><b>SUBJECT:</b> Approve Purchase Order #15-837 for the purchase of equipment and technology to up-fit one (1) new Investigations unit vehicle in the police department.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
--	--

**SYNOPSIS:**

The Police Department's FY17 budget includes funds for the upfitting of one (1) new Investigations unit vehicle. This vehicle will serve as our criminal investigators' primary response vehicle to the scene of incidents that require emergent response and scene management. This vehicle will receive the following updated equipment:

- Lighting and siren package
- Center equipment console & rear equipment tray
- Power modulator system
- Mobile radio system upgrade
- Installation of new equipment
- Labor costs for decommission of outgoing vehicle and equipment

Keltek Inc. based in Baxter, Iowa has been the department's sole-source provider for this equipment for many years and continues to offer the best pricing and work quality of vendors in the area.

**FISCAL IMPACT:**

\$5,477.31 has been allocated from the fiscal year 2016-17 Misc. Capital Equipment capital outlay line item (040-5.110.67990). See attached itemized quote for added detail.

**RECOMMENDATION:**

Approve Purchase Order #15-837



Main Phone: 641-227-2222  
 Email: sales@keltekinc.com  
 Address: PO Box 14 Baxter, IA 50028

# QUOTATION

Quote Number: 12547  
 Quote Date: 08/2/2016

**Quote Total: 5,077.31**

**Quoted To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131  
  
 Ph: 515-278-2345

**Deliver To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131

**Quote Notes:**

Account	Customer Contact	Order Ref	Terr	Rep	Quote Valid for:	
100468	Scott Richmann	406 DODGE CHARGE	2	KM	30 Days	
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
	<i>Scott Richmann, (515) 979-4541, srichmann@police.ci.johnston</i>					
	<i>Install Detective Dodge Charger</i>					
	<i>Silver 2016 Dodge Charger</i>					
	<i>OEM Options: Street Appearance, Full OEM Console</i>					
	<i>Customer Providing: Harris Radio</i>					
	<i>Siren Light Controller, Remote Mt, Basic - 4 Hrs</i>					
HHS2200	HAND-HELD SIREN - (Add U022-006 for programming)	1.00	\$605.00	43.00	\$344.85	\$344.85
<b>HORN RING</b>	<b>Horn Ring (Requires 75411) -</b> Enables siren tones to change tones when horn button is	1.00	\$75.00	0.00	\$75.00	\$75.00
75411	Bosch Relay <i>Siren Speaker(s) and Bracket(s) - 1 Hrs</i>	1.00	\$2.29	0.00	\$2.29	\$2.29
SA315P	SA315P SPEAKER, BLACK PLASTIC	1.00	\$328.00	43.00	\$186.96	\$186.96
SAK37	Dodge Charger, 2011-2015 <i>Lighting, Headlights - 1.5 Hrs</i> <i>OEM Flasher</i> <i>Lighting, Grill - 1.5 Hrs</i>	1.00	\$41.00	43.00	\$23.37	\$23.37
	<i>None</i> <i>Lighting, Fog Lights - 1.5 Hrs</i> <i>None</i> <i>Lighting, Front Corners - 1 Hrs</i> <i>None</i> <i>Lighting, Front Sides - 1 Hrs</i> <i>Lighting, Mirrors - 4 Hrs</i> <i>None</i> <i>Lighting, Under Mirrors - 2 Hrs</i> <i>None</i> <i>Lighting, Spot Light Upgrade - .5 Hrs</i> <i>None</i> <i>Lighting, Lower Windshield - 1 Hrs</i> <i>None</i> <i>Lighting, Upper Windshield - 1 Hrs</i>					
IW35UFX	DUO INNEREDGE XLP 12LT CHARGER	1.00	\$1768.00	43.00	\$1007.76	\$1007.76
IWD60000	DUO XLP LT PKG DRVR 6 R/W	1.00	\$0.00	0.00	\$0.00	\$0.00
IWP06000	DUO XLP LT PKG PASS 6 B/W <i>Lighting, Light Bar - 3 Hrs</i>	1.00	\$0.00	0.00	\$0.00	\$0.00

Continued...



QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	406 DODGE CHARGE	MAIN	2	KM	12547	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
	<i>None</i>					
	<i>Lighting, Mid Sides - 2 Hrs</i>					
	<i>None</i>					
	<i>Lighting, Rear Sides - 2.5 Hrs</i>					
	<i>None</i>					
	<i>Lighting, Lower Deck/Hatch - 2 Hrs</i>					
IWDTRAY8	WC Inner Edge RTX 8-LT DUO	1.00	\$1578.00	43.00	\$899.46	\$899.46
IEDK	ADD 1 DUO R/A INNER EDGE RTX	4.00	\$0.00	0.00	\$0.00	\$0.00
IEDM	ADD 1 DUO B/A INNER EDGE RTX	4.00	\$0.00	0.00	\$0.00	\$0.00
IE35LR8	6/8-LT Lower HSG Charger RTX	1.00	\$0.00	0.00	\$0.00	\$0.00
	<i>Lighting, Upper Deck/Hatch - 2 Hrs</i>					
	<i>None</i>					
	<i>Lighting, Rear Tail Lights - 2 Hrs</i>					
	<i>OEM Flasher</i>					
	<i>Lighting, Backup Lights - 1.5 Hrs</i>					
	<i>OEM Flasher</i>					
	<i>Lighting, Trunk/Endgate - 2.5 Hrs</i>					
	<i>None</i>					
	<i>Push Bumper -4 Hrs</i>					
	<i>None</i>					
	<i>Equipment Console - 1 Hr</i>					
	<i>None</i>					
	<i>Mount HHS and HHC in Center Console</i>					
	<i>Computer</i>					
	<i>None</i>					
	<i>Mobile Printer - .25 Hrs</i>					
	<i>None</i>					
	<i>Imaging Scanner - .5 Hrs</i>					
	<i>None</i>					
	<i>Mobile Router 3-6 Hrs</i>					
	<i>None</i>					
	<i>Camera - 4 Hrs</i>					
	<i>None</i>					
	<i>Radar -2 Hr</i>					
	<i>None</i>					
	<i>Radio 1 and Antenna(s) - 2 Hrs</i>					
REUSE RADIO	Reuse Radio	1.00	\$0.00	0.00	\$0.00	\$0.00
TRAB7603	LAIRD 760-870 MHz Phantom 3 dB low visibility black antenna	1.00	\$35.18	0.00	\$35.18	\$35.18
MB8U	Laird Antenna - 0-1000 MHz, 3/4" Brass Mt, 17' RG58 coax cable. Connector not included	1.00	\$11.16	0.00	\$11.16	\$11.16
RFT-1202-2	TNC MALE CRIMP CONNECTOR <i>Radio 2 and Antenna(s) -2 Hrs</i>	1.00	\$2.39	0.00	\$2.39	\$2.39

Continued...



QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	406 DODGE CHARGE	MAIN	2	KM	12547	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
	<i>None</i>					
	<i>Radio, Scanner and Antenna(s) -2 Hr</i>					
	<i>None</i>					
	<i>Radio, Vehicular Repeater and Antenna(s) -2 Hrs</i>					
	<i>None</i>					
	<i>Radio, AVL and Antenna(s) - 3 Hrs</i>					
	<i>None</i>					
	<i>Radio, CB and Antenna(s) - 2 Hrs</i>					
	<i>None</i>					
	<i>Prisoner Transport, Front -2 Hrs</i>					
	<i>None</i>					
	<i>Weapon(s) Mounting, (1) - 1.5 Hrs</i>					
GK0068E	Single T Rail Mount with 1080E for Blac Rack	1.00	\$539.00	7.75	\$497.23	\$497.23
	<i>Mount on Rear Edge of Equipment Tray Facing out</i>					
	<i>Flashlight, (1) - .5 Hrs</i>					
75454	Streamlight Stinger DS LED HL Flashlight w/ AC&DC Chargers	1.00	\$144.98	0.00	\$144.98	\$144.98
	<i>Mount in front center console</i>					
	<i>Shore Line, AC Power Input - 4 Hrs</i>					
	<i>None</i>					
	<i>Vehicle Control Module, (1) -2.5 Hrs</i>					
	<i>None</i>					
	<i>Power Management, Control</i>					
CG-X	Chargeguard-select order CGX100	1.00	\$99.00	43.00	\$56.43	\$56.43
185080F	BUSS HI-AMP CIRCUIT BREAKER, SWITCHABLE WITH A MANUAL TRIP PUSH BUTTON	1.00	\$29.92	0.00	\$29.92	\$29.92
V23232D0001X001	75 AMP Relay	1.00	\$25.40	0.00	\$25.40	\$25.40
15600-12-21	ATC FUSE PANEL W/ GROUNDING PAD, 12 POSITION	1.00	\$15.15	0.00	\$15.15	\$15.15
HHF	3-20 AMP ATC FUSE HOLDER W/ COVER	1.00	\$1.78	0.00	\$1.78	\$1.78
	<i>Equipment Tray -1 Hr</i>					
C-TTB-CHGR-4-DD	2011-2013 Dodge Charger Full Width Trunk Tray Bearing, Double Decker Shelves	1.00	\$698.25	43.00	\$398.00	\$398.00
	<i>Place all Electronics on top tray, leave bottom for storage</i>					
INSTALL - KELTEK	Installation at KELTEK	18.00	\$65.00	0.00	\$65.00	\$1170.00
FRT	Freight Charge-	1.00	\$150.00	0.00	\$150.00	\$150.00

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	406 DODGE CHARGE	MAIN	2	KM	12547	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
	Billed at time of invoice					

**Complete Shipments vs Partial** -KELTEK only ships complete orders unless partials are specifically requested (shipments may be from multiple manufacturers). Partial shipments may result in multiple shipments and multiple invoices with payment terms starting at time of invoice.

**Returns:** Special order item sales are final. Returns need to be completed within 90 days of invoice. All returns are subject to a 50% restocking fee or a replacement order of 1.5 times the original order amount. Items need to be unopened and in original packaging. Please contact your inside sales rep for RA information.

Subtotal:	5,077.31
Sales Tax:	0.00
Grand Total:	5,077.31

**Warranty:** Please contact your inside sale rep for details.

**Payment Methods:** KELTEK accepts cash, check, Visa or Mastercard. There is a 2.31% processing fee for use of a credit card. Prepayment required if new account or no terms.



# QUOTATION

Main Phone: 641-227-2222  
 Email: sales@keltekinc.com  
 Address: PO Box 14 Baxter, IA 50028

Quote Number: 12546  
 Quote Date: 08/2/2016

**Quote Total: 400.00**

**Quoted To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131  
  
 Ph: 515-278-2345

**Deliver To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131

**Quote Notes:**

Account	Customer Contact	Order Ref	Terr	Rep	Quote Valid for:	
100468	Scott Richmann	416 REMOVAL	2	KM	30 Days	
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
REMOVAL - FULL	<b>Scott Richmann, (515) 979-4541, srichmann@police.ci.johnston</b> <b>416 Removal</b> <b>White 2010 Ford Explorer</b> <b>Remove: Radio, Console, Lights</b> <b>Reinstall OEM Console</b> <b>Customer Provided: OEM Console</b> <b>Removal of All Equipment</b> <b>for Vehicle Decommission</b> <b>(Trade In/Auction)</b>	1.00	\$400.00	0.00	\$400.00	\$400.00

<b>Complete Shipments vs Partial</b> -KELTEK only ships complete orders unless partials are specifically requested (shipments may be from multiple manufacturers). Partial shipments may result in multiple shipments and multiple invoices with payment terms starting at time of invoice.		Subtotal:	400.00
<b>Returns:</b> Special order item sales are final. Returns need to be completed within 90 days of invoice. All returns are subject to a 50% restocking fee or a replacement order of 1.5 times the original order amount. Items need to be unopened and in original packaging. Please contact your inside sales rep for RA information.		Sales Tax:	0.00
		Grand Total:	400.00

**Warranty:** Please contact your inside sale rep for details.

**Payment Methods:** KELTEK accepts cash, check, Visa or Mastercard. There is a 2.31% processing fee for use of a credit card. Prepayment required if new account or no terms.



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

Sep 6, 2016 Meeting

**SUBJECT:** Approve Purchase Order #15-838 for the purchase of equipment and technology to up-fit two (2) new patrol vehicles in the police department.

**ACTION REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Review

**SYNOPSIS:**

The Police Department's FY17 budget includes funds for the upfitting of two (2) new patrol vehicles. These vehicles serve as a patrol officer's mobile office and require the regular replacement/updating of equipment and technologies (typically a five-year rotation).

Keltek Inc. based in Baxter, Iowa has been the department's sole-source provider for this equipment for many years and continues to offer the best pricing and work quality of vendors in the area. Items being purchased include:

- Lighting and siren package (2)
- Push bumper with PIT protection wrap around (1)
- Center equipment console & rear equipment tray (2)
- Power modulator system (2)
- Replacement in-car computer with GPS and mounts, printer, scanner (2)
- In-car audio video camera/recorder (2)
- Mobile radio system (1)
- Prisoner transport cage (2)
- Weapons mounting systems (shotgun & rifle) (2)
- Installation of new equipment (2)
- Labor costs for decommission of outgoing vehicle and equipment (1)

**FISCAL IMPACT:**

\$47,978.80 has been allocated from the fiscal year 2016-17 Automotive Equipment capital outlay line item (040-5.110.67110). See attached itemized quotes for added detail.

**RECOMMENDATION:**

Approve Purchase Order #15-838



Main Phone: 641-227-2222  
 Email: sales@keltekinc.com  
 Address: PO Box 14 Baxter, IA 50028

# QUOTATION

Quote Number: 12551A  
 Quote Date: 08/23/2016

**Quote Total: 24,057.11**

**Quoted To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131  
  
 Ph: 515-278-2345

**Deliver To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131

**Quote Notes:**

Account	Customer Contact	Order Ref	Terr	Rep	Quote Valid for:	
100468	Lynn Aswegan	407 UTILITY INST	2	KM	30 Days	
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
	<i>Scott Richmann, (515) 979-4541, srichmann@police.ci.johnston</i>					
	<b>407 Utility Patrol Marked Unit</b>					
	<i>OEM Options:, 60A, 51Y, 85R, 86P</i>					
	<i>Customer Providing:</i>					
	<i>Reuse: Cencom, Radar, Radio</i>					
	<i>Siren Light Controller, Remote Mt, Basic - 4 Hrs</i>					
REUSE CONTROLLER	REUSE LIGHT CONTROLLER	1.00	\$0.00	0.00	\$0.00	\$0.00
HORN RING	Horn Ring (Requires 75411) - Enables siren tones to change tones when horn button is	1.00	\$75.00	0.00	\$75.00	\$75.00
75411	Bosch Relay	1.00	\$2.29	0.00	\$2.29	\$2.29
PARK KILL	Park Kill -- Cancels Siren Operation when in Park	1.00	\$75.00	0.00	\$75.00	\$75.00
	<i>Siren Speaker(s) and Bracket(s) - 1 Hrs</i>					
SA315P	SA315P SPEAKER, BLACK PLASTIC	1.00	\$328.00	43.00	\$186.96	\$186.96
SAK1	Universal, Ford Explorer, 2002-2010, Chevy Suburban/ Tahoe, 2004-2006, <i>Lighting, Headlights - 1.5 Hrs</i>	1.00	\$41.00	43.00	\$23.37	\$23.37
SSFFP16	Headlight Flasher 16 SUV Interceptor SUV - Vehicle must be orderd with option 60A <i>Requires OEM Option 60A</i> <i>Lighting, Grill - 1.5 Hrs</i> <i>None</i> <i>Lighting, Fog Lights - 1.5 Hrs</i> <i>None</i> <i>Lighting, Front Corners - 1 Hrs</i>	1.00	\$129.00	43.00	\$73.53	\$73.53
I3JC	TRIO ION R/B W/ WHT OVERRIDE <i>Lighting, Front Sides - 1 Hrs</i> <i>None</i> <i>Lighting, Mirrors - 4 Hrs</i> <i>None</i> <i>Lighting, Under Mirrors - 2 Hrs</i> <i>None</i> <i>Lighting, Spot Light Upgrade - .5 Hrs</i> <i>Requires OEM option 51Y</i>	2.00	\$234.00	43.00	\$133.38	\$266.76

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	407 UTILITY INST	MAIN	2	KM	12551A	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
P46FLC	LED Spotlight Upgrade PAR-46 8 Degree Spotlight 12VDC <i>Lighting, Lower Windshield - 1 Hrs</i> <i>None</i> <i>Lighting, Upper Windshield - 1 Hrs</i> <i>None</i> <i>Lighting, Light Bar - 3 Hrs</i>	1.00	\$260.00	43.00	\$148.20	\$148.20
SPC-GB2-DUO	Legacy Duo 54" bar - GB2DEDE GBTL, x3 GBDLD, GBAWD, GBAWE, x4 GBDLK, x4 GBDLM, x3 GBDLE	1.00	\$3121.06	43.00	\$1779.00	\$1779.00
MKLP83	LO-PRO LIGHTBAR MOUNT KIT #83 <i>Lighting, Mid Sides - 2 Hrs</i> <i>None</i> <i>Lighting, Rear Sides - 2.5 Hrs</i>	1.00	\$112.00	43.00	\$63.84	\$63.84
IONR	ION LIGHT RED	1.00	\$180.00	43.00	\$102.60	\$102.60
IONB	ION LIGHT BLUE	1.00	\$180.00	43.00	\$102.60	\$102.60
IONPEDB	ION PEDESTAL MOUNT KIT BLACK <i>Lighting, Lower Deck/Hatch - 2 Hrs</i> <i>None</i> <i>Lighting, Upper Deck/Hatch - 2 Hrs</i>	2.00	\$69.00	43.00	\$39.33	\$78.66
IONR	ION LIGHT RED	1.00	\$180.00	43.00	\$102.60	\$102.60
IONB	ION LIGHT BLUE	1.00	\$180.00	43.00	\$102.60	\$102.60
IONK1B	SWIVEL MOUNT KIT FOR ION BLACK <i>Lighting, Rear Tail Lights - 2 Hrs</i>	2.00	\$32.50	43.00	\$18.53	\$37.05
VTX609R	VERTEX SUPER-LED LIGHT RED	1.00	\$135.00	43.00	\$76.95	\$76.95
VTX609B	VERTEX SUPER-LED LIGHT BLUE <i>Lighting, Backup Lights - 1.5 Hrs</i> <i>None</i> <i>Lighting, Trunk/Endgate - 2.5 Hrs</i> <i>None</i> <i>Push Bumper -4 Hrs</i>	1.00	\$135.00	43.00	\$76.95	\$76.95
BK2017ITU16	PB450L2 Aluminum Bumper ION for 2016 Ford Interceptor SUV	1.00	\$699.00	7.75	\$644.83	\$644.83
HK0810ITU16	PB6 - PB400/450 Headlight Guard with PB5 Fendor Wrap - 2016 Ford Interceptor Utility <i>Equipment Console - 1 Hr</i>	1.00	\$559.00	7.75	\$515.68	\$515.68
C-VS-1400-INUT-H	2013-2016 Ford Interceptor Utility Police Vehicle Specifi 14 in Console - Housing Only <i>Equipment Console, Upper Equipment - .5 Hrs</i>	1.00	\$288.75	43.00	\$164.59	\$164.59
C-FP-2	2 in Filler Plate	1.00	\$11.55	43.00	\$6.58	\$6.58

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	407 UTILITY INST	MAIN	2	KM	12551A	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
C-EB40-CCS-1P	1-Piece Equipment Mounting Bracket, 4" Mounting Space, Fits Whelen Cencom Ccsm,	1.00	\$32.55	43.00	\$18.55	\$18.55
C-EB30-CH7-1P	3 in Equipment Mounting Bracket (1 PC)	1.00	\$29.40	43.00	\$16.76	\$16.76
C-AP-0325	3 in accessory pocket, 2.5 in deep	1.00	\$48.30	43.00	\$27.53	\$27.53
C-LP3-PS2	3 Lighter plug outlet w/2 switch cut outs - 2"	1.00	\$52.50	43.00	\$29.93	\$29.93
091-219	Dual port USB, fits into switch slot on bracket, LED indic., 3 Amps Max - IPAD/IPHO	1.00	\$40.00	0.00	\$40.00	\$40.00
C-SW-B	Switch blank <b>Equipment Console, Armrest .5 Hrs</b>	1.00	\$5.25	43.00	\$2.99	\$2.99
C-ARM-104	Molded armrest to mount to trak-mount base <b>Equipment Console, Accessories</b>	1.00	\$155.45	43.00	\$88.61	\$88.61
C-CUP2-E-C	Dual external cup holder - 4"	1.00	\$38.85	43.00	\$22.14	\$22.14
C-MCB	Mic clip bracket	2.00	\$14.70	43.00	\$8.38	\$16.76
MMSU-1	Single Unit Magnetic Mic Mount <b>Computer</b>	3.00	\$26.83	0.00	\$26.83	\$80.48
CF-3113-00VM	Toughbook 31 Premier Bundle **See Literature for Details** <b>Computer Dock - 1 Hr</b>	1.00	\$6039.00	30.00	\$4227.30	\$4227.30
DS-PAN-112-2	Docking station: Panasonic Toughbook 30/31, Dual Hi Gain	1.00	\$1243.43	43.00	\$708.76	\$708.76
AP-CG-Q-S11-BL	Antenna & Power Supply <b>Computer, Antenna - 1 Hr</b> BLACK - AP-Cell/LTE/GPS <b>Computer, GPS - .5 Hrs</b> <b>Integrated in Computer</b> <b>Computer, Accessories - .5 Hrs</b> <b>None</b> <b>Computer, Mounting - 2.5 Hrs</b>	1.00	\$110.18	0.00	\$110.18	\$110.18
C-HDM-153	2013-2017 Interceptor SUV & 2011-2012 Ford Explorer Retail Heavy Duty Vehicle Mount	1.00	\$114.45	43.00	\$65.24	\$65.24
C-HDM-209	8.5 in Heavy Duty Telescoping Pole	1.00	\$95.28	43.00	\$54.31	\$54.31
C-MD-102	Swing arm with motion adapter	1.00	\$330.63	43.00	\$188.46	\$188.46
C-HDM-401	Heavy duty stability side support arm, Mounts to OEM frame under passenger glove	1.00	\$68.25	43.00	\$38.90	\$38.90
CM003406	Adapter bushing <b>Computer, Professional Services - 1 Hr</b>	1.00	\$12.60	43.00	\$7.18	\$7.18

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	407 UTILITY INST	MAIN	2	KM	12551A	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
	<b>None</b>					
	<b>Mobile Printer - .25 Hrs</b>					
PJ722	POCKETJET 7 ENGINE, 200-dpi, Thermal Printer with USB Engine Only, No Battery, No Doc	1.00	\$299.00	7.75	\$275.83	\$275.83
LB3603	USB CABLE - 10 FOOT LENGTH	1.00	\$12.00	7.75	\$11.07	\$11.07
LB3692	PJ3 12C DIRECT WIRE POWER CORD - CAR ADAPTER 14'	1.00	\$19.00	7.75	\$17.53	\$17.53
	<b>Mobile Printer, Mounting - 1 Hr</b>					
C-PM-109	Brother printer mount	1.00	\$157.50	43.00	\$89.78	\$89.78
CM93051	Arm Rest replacement, large	1.00	\$65.10	43.00	\$37.11	\$37.11
C-B3	1-piece L shaped universal Individual vehicle mounting bracket, 4 in high, 5 in wide	2.00	\$18.90	43.00	\$10.78	\$21.55
	<b>Imaging Scanner - .5 Hrs</b>					
4910LR-151-LTRK	Next Gen Area-Imaging Scanner	1.00	\$320.00	0.00	\$320.00	\$320.00
	<b>Camera - 4 Hrs</b>					
ARB-KIT-HD	ARbitrator MK 3 NO MICROPHONE Includes GPS, HD Front Camera, <b>Camera, Accessories - 1 Hr</b>	1.00	\$4499.00	0.00	\$4499.00	\$4499.00
ARB-M90	Add'l 900 Mhz Wireless Mic Ful kit w/transmitter, Receiver, harness, base, lapel mic	1.00	\$600.00	10.00	\$540.00	\$540.00
ARB-WV-VC31-C	Panasonic BACK SEAT HD Camera INCLUDES CABLE	1.00	\$515.00	10.00	\$463.50	\$463.50
ARB-WJ-VR3004	Arbitrator MK3 Wireless LAN Module WIRELESS 2, LAN upgrade-must use antennas	1.00	\$170.00	10.00	\$153.00	\$153.00
ARB-APWWQS22RP	Panasonic Double WiFi Antenna Black Bolt Mount Required for W1 Kits	2.00	\$165.00	10.00	\$148.50	\$297.00
CF-SVCARB2AMA1Y	Arbitrator 360 Software Maint. Agreement -1 Year per VPU-Good 1 year from purchase.	1.00	\$300.00	0.00	\$300.00	\$300.00
TECH SUPPORT	Tech Support (Phone or onsite) 1/2 Hr Min. for Support - then billed in 15 min. increments	1.00	\$169.00	0.00	\$169.00	\$169.00
	<b>Radar - 2 Hr</b>					
REUSE RADAR	<b>Reuse Radar</b>	1.00	\$0.00	0.00	\$0.00	\$0.00
651-S	651-S Adjusting Knuckle with 1/4 -20 Stud ADD 210° TILT, 360 TILT	1.00	\$15.96	0.00	\$15.96	\$15.96
827-06	Panavise Adjustable Camera Mount	1.00	\$23.57	0.00	\$23.57	\$23.57

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	407 UTILITY INST	MAIN	2	KM	12551A	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
REUSE RADIO	<b>Radio 1 and Antenna(s) - 2 Hrs</b> Reuse Radio <b>Reuse Harris M7300</b>	1.00	\$0.00	0.00	\$0.00	\$0.00
BMAX7603S	PCTEL Antenna, 760-870 3dB 150W, Black	1.00	\$32.19	0.00	\$32.19	\$32.19
MB8U	Laird Antenna - 0-1000 MHz, 3/4" Brass Mt, 17' RG58 coax cable. Connector not included	1.00	\$11.16	0.00	\$11.16	\$11.16
RFT-1202-2	TNC MALE CRIMP CONNECTOR <b>Radio 2 and Antenna(s) -2 Hrs</b> None <b>Radio, Scanner and Antenna(s) -2 Hr</b> None <b>Radio, Vehicular Repeater, Accessories -1 Hr</b> None <b>Radio, AVL and Antenna(s) - 3 Hrs</b> None <b>Radio, CB and Antenna(s) - 2 Hrs</b> None <b>Prisoner Transport, Front -2 Hrs</b>	1.00	\$2.39	0.00	\$2.39	\$2.39
P1000UINT13A	Interceptor SUV - Single Pris Compartment Pro-Cell Pris. Transport System, 1/2 Partition <b>Weapon(s) Mounting, (1) - 1.5 Hrs</b>	1.00	\$2326.00	25.00	\$1744.50	\$1744.50
G5000	Pro-gard P/N's - G5020UT-X and G5040UT - Single Weapon, Horizontal Mount on Partitions	1.00	\$335.00	25.00	\$251.25	\$251.25
3G6300	Pro-gard Single Mount for 870	1.00	\$38.00	25.00	\$28.50	\$28.50
GPMAR	Barrel Mount Gunrack for AR <b>Flashlight, (2) - .5 Hrs</b>	1.00	\$325.00	25.00	\$243.75	\$243.75
20202	Streamlight SL-20X®-LED Flashlight 12V <b>Shore Line, AC Power Input - 4 Hrs</b> None <b>Power Management, Battery Upgrade</b>	1.00	\$116.43	0.00	\$116.43	\$116.43
65-PC1750T-H	ODYSSEY -HEAVY-DUTY/COMMERICAL BATTERY - FOUR FULL YEAR Interceptor SUV <b>Vehicle Control Module, (1) -2.5 Hrs</b> None	1.00	\$425.84	32.75	\$286.38	\$286.38
POWER MANAGEMENT	Kit includes all components to complete power management system (fuses, relay, etc)	1.00				
CG-X	Chargeguard-select order CGX100	1.00	\$99.00	0.00	\$99.00	\$99.00

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	407 UTILITY INST	MAIN	2	KM	12551A	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
185080F	BUSS HI-AMP CIRCUIT BREAKER, SWITCHABLE WITH A MANUAL TRIP PUSH BUTTON	2.00	\$29.92	0.00	\$29.92	\$59.84
V23232D0001X001	75 AMP Relay	2.00	\$25.40	0.00	\$25.41	\$50.81
15600-12-21	ATC FUSE PANEL W/ GROUNDING PAD, 12 POSITION	2.00	\$15.15	0.00	\$15.15	\$30.30
HHF	3-20 AMP ATC FUSE HOLDER W/ COVER <i>Equipment Tray -1 Hr</i>	2.00	\$1.78	0.00	\$1.78	\$3.56
TK0476ITU12	Setina Easy Lift Cargo Deck w/ Lower Tray, Extended, fits 13-17 Interceptor Utility	1.00	\$499.00	17.75	\$410.43	\$410.43
<b>INSTALL - KELTEK</b>	<b>Installation at KELTEK</b>	66.00	\$65.00	30.00	\$45.50	\$3003.00

**Complete Shipments vs Partial** -KELTEK only ships complete orders unless partials are specifically requested (shipments may be from multiple manufacturers). Partial shipments may result in multiple shipments and multiple invoices with payment terms starting at time of invoice.

**Returns:** Special order item sales are final. Returns need to be completed within 90 days of invoice. All returns are subject to a 50% restocking fee or a replacement order of 1.5 times the original order amount. Items need to be unopened and in original packaging. Please contact your inside sales rep for RA information.

Subtotal:	24,057.11
Sales Tax:	0.00
Grand Total:	24,057.11

**Warranty:** Please contact your inside sale rep for details.

**Payment Methods:** KELTEK accepts cash, check, Visa or Mastercard. There is a 2.31% processing fee for use of a credit card. Prepayment required if new account or no terms.



# QUOTATION

Main Phone: 641-227-2222  
 Email: sales@keltekinc.com  
 Address: PO Box 14 Baxter, IA 50028

Quote Number: 12557  
 Quote Date: 08/2/2016

**Quote Total: 23,521.69**

**Quoted To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131  
  
 Ph: 515-278-2345

**Deliver To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131

**Quote Notes:**

Account	Customer Contact	Order Ref	Terr	Rep	Quote Valid for:	
100468	Lynn Aswegan	408 UTILITY INST	2	KM	30 Days	
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
	<i>Scott Richmann, (515) 979-4541, srichmann@police.ci.johnston</i>					
	<b>408 Utility Patrol UnMarked</b>					
	<b>OEM Options:, 60A, 51Y, 85R, 86P</b>					
	<b>Customer Providing:</b>					
	<b>Reuse: Light Bar, Cencom, Radar, Radio</b>					
	<b>Siren Light Controller, Remote Mt, Basic - 4 Hrs</b>					
CCSRN3	Cencom Sapphire Siren System w/ Slide Switch Control Head (Add U022-006 for programming)	1.00	\$1396.00	43.00	\$795.72	\$795.72
HORN RING	Horn Ring (Requires 75411) - Enables siren tones to change tones when horn button is	1.00	\$75.00	0.00	\$75.00	\$75.00
75411	Bosch Relay	1.00	\$2.29	0.00	\$2.29	\$2.29
PARK KILL	Park Kill -- Cancels Siren Operation when in Park	1.00	\$75.00	0.00	\$75.00	\$75.00
SA315P	Siren Speaker(s) and Bracket(s) - 1 Hrs	1.00	\$328.00	43.00	\$186.96	\$186.96
SAK1	SA315P SPEAKER, BLACK PLASTIC Universal, Ford Explorer, 2002-2010, Chevy Suburban/ Tahoe, 2004-2006,	1.00	\$41.00	43.00	\$23.37	\$23.37
SSFFP16	<b>Lighting, Headlights - 1.5 Hrs</b> Headlight Flasher 16 SUV Interceptor SUV - Vehicle must be orderd with option 60A <b>Requires OEM Option 60A</b>	1.00	\$129.00	43.00	\$73.53	\$73.53
MCRNTRX	<b>Lighting, Grill - 1.5 Hrs</b>	1.00	\$166.00	43.00	\$94.62	\$94.62
MCRNTBX	STUD MOUNT MICRON RED SMOKE	1.00	\$166.00	43.00	\$94.62	\$94.62
	STUD MOUNT MICRON BLUE SMOKE	1.00	\$166.00	43.00	\$94.62	\$94.62
	<b>Lighting, Fog Lights - 1.5 Hrs</b>					
	None					
	<b>Lighting, Front Corners - 1 Hrs</b>					
I3JC	TRIO ION R/B W/ WHT OVERRIDE	2.00	\$234.00	43.00	\$133.38	\$266.76
	<b>Lighting, Front Sides - 1 Hrs</b>					
	None					
	<b>Lighting, Mirrors - 4 Hrs</b>					
	None					
	<b>Lighting, Under Mirrors - 2 Hrs</b>					

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	408 UTILITY INST	MAIN	2	KM	12557	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
P46FLC	<b>None</b> <b>Lighting, Spot Light Upgrade - .5 Hrs</b> <b>Requires OEM option 51Y</b> LED Spotlight Upgrade PAR-46 8 Degree Spotlight 12VDC <b>Lighting, Lower Windshield - 1 Hrs</b> <b>None</b> <b>Lighting, Upper Windshield - 1 Hrs</b>	1.00	\$260.00	43.00	\$148.20	\$148.20
IW34UFX	DUO INNEREDGE XLP 12LT EXPLORER	1.00	\$1768.00	43.00	\$1007.76	\$1007.76
IWD60000	DUO XLP LT PKG DRVR 6 R/W	1.00	\$0.00	0.00	\$0.00	\$0.00
IWP06000	DUO XLP LT PKG PASS 6 B/W <b>Lighting, Light Bar - 3 Hrs</b> <b>None</b> <b>Lighting, Mid Sides - 2 Hrs</b> <b>None</b> <b>Lighting, Rear Sides - 2.5 Hrs</b>	1.00	\$0.00	0.00	\$0.00	\$0.00
IONR	ION LIGHT RED	1.00	\$180.00	43.00	\$102.60	\$102.60
IONB	ION LIGHT BLUE	1.00	\$180.00	43.00	\$102.60	\$102.60
IONPEDB	ION PEDESTAL MOUNT KIT BLACK <b>Lighting, Lower Deck/Hatch - 2 Hrs</b> <b>None</b> <b>Lighting, Upper Deck/Hatch - 2 Hrs</b>	2.00	\$69.00	43.00	\$39.33	\$78.66
IWDTRAY8	WC Inner Edge RTX 8-LT DUO	1.00	\$1578.00	43.00	\$899.46	\$899.46
IEDK	ADD 1 DUO R/A INNER EDGE RTX	4.00	\$0.00	0.00	\$0.00	\$0.00
IEDM	ADD 1 DUO B/A INNER EDGE RTX	4.00	\$0.00	0.00	\$0.00	\$0.00
IE34UR8	6/8-LT UPPER HSG EXPLORER RTX <b>Lighting, Rear Tail Lights - 2 Hrs</b>	1.00	\$0.00	0.00	\$0.00	\$0.00
VTX609R	VERTEX SUPER-LED LIGHT RED	1.00	\$135.00	43.00	\$76.95	\$76.95
VTX609B	VERTEX SUPER-LED LIGHT BLUE <b>Lighting, Backup Lights - 1.5 Hrs</b> <b>None</b> <b>Lighting, Trunk/Endgate - 2.5 Hrs</b> <b>None</b> <b>Push Bumper -4 Hrs</b> <b>None</b> <b>Equipment Console - 1 Hr</b>	1.00	\$135.00	43.00	\$76.95	\$76.95
C-VS-1400-INUT-H	2013-2016 Ford Interceptor Utility Police Vehicle Specifi 14 in Console - Housing Only <b>Equipment Console, Upper Equipment - .5 Hrs</b>	1.00	\$288.75	43.00	\$164.59	\$164.59
C-FP-2	2 in Filler Plate	1.00	\$11.55	43.00	\$6.58	\$6.58

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltetekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	408 UTILITY INST	MAIN	2	KM	12557	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
C-EB40-CCS-1P	1-Piece Equipment Mounting Bracket, 4" Mounting Space, Fits Whelen Cencom Ccsm,	1.00	\$32.55	43.00	\$18.55	\$18.55
C-EB30-CH7-1P	3 in Equipment Mounting Bracket (1 PC)	1.00	\$29.40	43.00	\$16.76	\$16.76
C-AP-0325	3 in accessory pocket, 2.5 in deep	1.00	\$48.30	43.00	\$27.53	\$27.53
C-LP3-PS2	3 Lighter plug outlet w/2 switch cut outs - 2"	1.00	\$52.50	43.00	\$29.93	\$29.93
091-219	Dual port USB, fits into switch slot on bracket, LED indic., 3 Amps Max - IPAD/IPHO	1.00	\$40.00	0.00	\$40.00	\$40.00
C-SW-B	Switch blank <b>Equipment Console, Armrest .5 Hrs</b>	1.00	\$5.25	43.00	\$2.99	\$2.99
C-ARM-104	Molded armrest to mount to trak-mount base <b>Equipment Console, Accessories</b>	1.00	\$155.45	43.00	\$88.61	\$88.61
C-CUP2-E-C	Dual external cup holder - 4"	1.00	\$38.85	43.00	\$22.14	\$22.14
C-MCB	Mic clip bracket	2.00	\$14.70	43.00	\$8.38	\$16.76
MMSU-1	Single Unit Magnetic Mic Mount <b>Computer</b>	3.00	\$26.83	0.00	\$26.83	\$80.48
CF-3113-00VM	Toughbook 54 Premier Bundle **See Literature for Details** <b>Computer Dock - 1 Hr</b>	1.00	\$6039.00	30.00	\$4227.30	\$4227.30
DS-PAN-112-2	Docking station: Panasonic Toughbook 30/31, Dual Hi Gain Antenna & Power Supply <b>Computer, Antenna - 1 Hr</b>	1.00	\$1243.43	43.00	\$708.76	\$708.76
AP-CG-Q-S11-BL	BLACK - AP-Cell/LTE/GPS <b>Computer, GPS - .5 Hrs</b> <b>Integrated in Computer</b> <b>Computer, Accessories - .5 Hrs</b> <b>None</b> <b>Computer, Mounting - 2.5 Hrs</b>	1.00	\$110.18	0.00	\$110.18	\$110.18
C-HDM-153	2013-2016 Interceptor SUV & 2011-2012 Ford Explorer Retail Heavy Duty Vehicle Mount	1.00	\$114.45	43.00	\$65.24	\$65.24
C-HDM-209	8.5 in Heavy Duty Telescoping Pole	1.00	\$95.28	43.00	\$54.31	\$54.31
C-MD-102	Swing arm with motion adapter	1.00	\$330.63	43.00	\$188.46	\$188.46
C-HDM-401	Heavy duty stability side support arm, Mounts to OEM frame under passenger glove	1.00	\$68.25	43.00	\$38.90	\$38.90
CM003406	Adapter bushing <b>Computer, Professional Services - 1 Hr</b>	1.00	\$12.60	43.00	\$7.18	\$7.18

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	408 UTILITY INST	MAIN	2	KM	12557	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
	<b>None</b>					
	<b>Mobile Printer - .25 Hrs</b>					
PJ722	POCKETJET 7 ENGINE, 200-dpi, Thermal Printer with USB Engine Only, No Battery, No Doc	1.00	\$299.00	7.75	\$275.83	\$275.83
LB3603	USB CABLE - 10 FOOT LENGTH	1.00	\$12.00	7.75	\$11.07	\$11.07
LB3692	PJ3 12C DIRECT WIRE POWER CORD - CAR ADAPTER 14'	1.00	\$19.00	7.75	\$17.53	\$17.53
	<b>Mobile Printer, Mounting - 1 Hr</b>					
C-PM-109	Brother printer mount	1.00	\$157.50	43.00	\$89.78	\$89.78
CM93051	Arm Rest replacement, large	1.00	\$65.10	43.00	\$37.11	\$37.11
C-B3	1-piece L shaped universal Individual vehicle mounting bracket, 4 in high, 5 in wide	2.00	\$18.90	43.00	\$10.78	\$21.55
	<b>Imaging Scanner - .5 Hrs</b>					
4910LR-151-LTRK	Next Gen Area-Imaging Scanner	1.00	\$320.00	0.00	\$320.00	\$320.00
	<b>Camera - 4 Hrs</b>					
ARB-KIT-HD	ARbitrator MK 3 NO MICROPHONE Includes GPS, HD Front Camera, <b>Camera, Accessories - 1 Hr</b>	1.00	\$4499.00	0.00	\$4499.00	\$4499.00
ARB-M90	Add'l 900 Mhz Wireless Mic Ful kit w/transmitter, Receiver, harness, base, lapel mic	1.00	\$600.00	10.00	\$540.00	\$540.00
ARB-WV-VC31-C	Panasonic BACK SEAT HD Camera INCLUDES CABLE	1.00	\$515.00	10.00	\$463.50	\$463.50
ARB-WJ-VR3004	Arbitrator MK3 Wireless LAN Module WIRELESS 2, LAN upgrade-must use antennas	1.00	\$170.00	10.00	\$153.00	\$153.00
ARB-APWWQS22RPE	Panasonic Double WiFi Antenna Black Bolt Mount Required for W1 Kits	2.00	\$165.00	10.00	\$148.50	\$297.00
CF-SVCARB2AMA1Y	Arbitrator 360 Software Maint. Agreement -1 Year per VPU-Good 1 year from purchase.	1.00	\$300.00	0.00	\$300.00	\$300.00
TECH SUPPORT	Tech Support (Phone or onsite) 1/2 Hr Min. for Support - then billed in 15 min. increments	1.00	\$169.00	0.00	\$169.00	\$169.00
	<b>Radar -2 Hr</b>					
	<b>Reuse Radar</b>					
REUSE RADAR		1.00	\$0.00	0.00	\$0.00	\$0.00
651-S	651-S Adjusting Knuckle with 1/4 -20 Stud ADD 210° TILT, 360 TILT	1.00	\$15.96	0.00	\$15.96	\$15.96
827-06	Panavise Adjustable Camera Mount	1.00	\$23.57	0.00	\$23.57	\$23.57

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltetekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	408 UTILITY INST	MAIN	2	KM	12557	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
REUSE RADIO	<b>Radio 1 and Antenna(s) - 2 Hrs</b> <b>Reuse Radio</b> <b>Reuse Harris M7300</b>	1.00	\$0.00	0.00	\$0.00	\$0.00
BMAX7603S	PCTEL Antenna, 760-870 3dB 150W, Black	1.00	\$32.19	0.00	\$32.19	\$32.19
MB8U	Laird Antenna - 0-1000 MHz, 3/4" Brass Mt, 17' RG58 coax cable. Connector not included	1.00	\$11.16	0.00	\$11.16	\$11.16
RFT-1202-2	TNC MALE CRIMP CONNECTOR <b>Radio 2 and Antenna(s) -2 Hrs</b> <b>None</b> <b>Radio, Scanner and Antenna(s) -2 Hr</b> <b>None</b> <b>Radio, Vehicular Repeater, Accessories -1 Hr</b> <b>None</b> <b>Radio, AVL and Antenna(s) - 3 Hrs</b> <b>None</b> <b>Radio, CB and Antenna(s) - 2 Hrs</b> <b>None</b>	1.00	\$2.39	0.00	\$2.39	\$2.39
P1000UJINT13A	<b>Prisoner Transport, Front -2 Hrs</b> Interceptor SUV - Single Pris Compartment Pro-Cell Pris. Transport System, 1/2 Partition	1.00	\$2326.00	25.00	\$1744.50	\$1744.50
G5000	<b>Weapon(s) Mounting, (1) - 1.5 Hrs</b> Pro-gard P/N's - G5020UT-X and G5040UT - Single Weapon, Horizontal Mount on Partitions	1.00	\$335.00	25.00	\$251.25	\$251.25
3G6300	Pro-gard Single Mount for 870	1.00	\$38.00	25.00	\$28.50	\$28.50
GPMAR	Barrel Mount Gunrack for AR <b>Flashlight, (2) - .5 Hrs</b>	1.00	\$325.00	25.00	\$243.75	\$243.75
20202	Streamlight SL-20X®-LED Flashlight 12V <b>Shore Line, AC Power Input - 4 Hrs</b> <b>None</b> <b>Power Management, Battery Upgrade</b>	1.00	\$116.43	0.00	\$116.43	\$116.43
65-PC1750T-H	ODYSSEY -HEAVY-DUTY/COMMERICAL BATTERY - FOUR FULL YEAR Interceptor SUV <b>Vehicle Control Module, (1) -2.5 Hrs</b> <b>None</b>	1.00	\$425.84	32.75	\$286.38	\$286.38
POWER MANAGEMENT KIT	Kit Includes all components to complete power management system (fuses, relay, etc)	1.00				
CG-X	Chargeguard-select order CGX100	1.00	\$99.00	0.00	\$99.00	\$99.00

Continued...



# QUOTATION

Main Phone: 641-227-2222

Email: sales@keltekinc.com

Account	Order Ref	Whse	Terr	Rep	Our Order No.	Quote Valid for
100468	408 UTILITY INST	MAIN	2	KM	12557	30 Days
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
185080F	BUSS HI-AMP CIRCUIT BREAKER, SWITCHABLE WITH A MANUAL TRIP PUSH BUTTON	2.00	\$29.92	0.00	\$29.92	\$59.84
V23232D0001X001	75 AMP Relay	2.00	\$25.40	0.00	\$25.41	\$50.81
15600-12-21	ATC FUSE PANEL W/ GROUNDING PAD, 12 POSITION	2.00	\$15.15	0.00	\$15.15	\$30.30
HHF	3-20 AMP ATC FUSE HOLDER W/ COVER <b>Equipment Tray -1 Hr</b>	2.00	\$1.78	0.00	\$1.78	\$3.56
TK0476ITU12	Setina Easy Lift Cargo Deck w/ Lower Tray, Extended, fits 13-17 Interceptor Utility	1.00	\$499.00	17.75	\$410.43	\$410.43
<b>INSTALL - KELTEK</b>	<b>Installation at KELTEK</b>	62.00	\$65.00	30.00	\$45.50	\$2821.00

**Complete Shipments vs Partial** -KELTEK only ships complete orders unless partials are specifically requested (shipments may be from multiple manufacturers). Partial shipments may result in multiple shipments and multiple invoices with payment terms starting at time of invoice.

**Returns:** Special order item sales are final. Returns need to be completed within 90 days of invoice. All returns are subject to a 50% restocking fee or a replacement order of 1.5 times the original order amount. Items need to be unopened and in original packaging. Please contact your inside sales rep for RA information.

Subtotal:	23,521.69
Sales Tax:	0.00
<b>Grand Total:</b>	<b>23,521.69</b>

**Warranty:** Please contact your inside sale rep for details.

**Payment Methods:** KELTEK accepts cash, check, Visa or Mastercard. There is a 2.31% processing fee for use of a credit card. Prepayment required if new account or no terms.



# QUOTATION

Main Phone: 641-227-2222  
 Email: sales@keltekinc.com  
 Address: PO Box 14 Baxter, IA 50028

Quote Number: 12550  
 Quote Date: 08/2/2016

**Quote Total: 400.00**

**Quoted To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131  
  
 Ph: 515-278-2345

**Deliver To:**  
 Johnston Police  
 6373 Merle Hay Road  
  
 Johnston  
 IA 50131

**Quote Notes:**

Account	Customer Contact	Order Ref	Terr	Rep	Quote Valid for:	
100468	Scott Richmann	420 REMOVAL	2	KM	30 Days	
Item Code	Item Description	Quantity	List	Disc %	Unit Price	Line Total
REMOVAL - FULL	<i>Scott Richmann, (515) 979-4541, srichmann@police.ci.johnston</i> <b>420 Removal</b> <b>Black/White 2013 Interceptor Utility</b> <b>Remove: Light Bar, Cencom, Radar, Radio - Leave the Balance</b> <b>Removal of All Equipment</b> for Vehicle Decommission (Trade In/Auction)	1.00	\$400.00	0.00	\$400.00	\$400.00

**Complete Shipments vs Partial** -KELTEK only ships complete orders unless partials are specifically requested (shipments may be from multiple manufacturers). Partial shipments may result in multiple shipments and multiple invoices with payment terms starting at time of invoice.

**Returns:** Special order item sales are final. Returns need to be completed within 90 days of invoice. All returns are subject to a 50% restocking fee or a replacement order of 1.5 times the original order amount. Items need to be unopened and in original packaging. Please contact your inside sales rep for RA information.

Subtotal:	400.00
Sales Tax:	0.00
<b>Grand Total:</b>	<b>400.00</b>

**Warranty:** Please contact your inside sale rep for details.

**Payment Methods:** KELTEK accepts cash, check, Visa or Mastercard. There is a 2.31% processing fee for use of a credit card. Prepayment required if new account or no terms.

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016

<p><b>SUBJECT:</b> Consider the approval of a purchase order to Walsh Door for purchase and installation of two doors between the checkout and staff areas. The cost to the library for this project is \$8,523.52.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
---	--

**SYNOPSIS:**

The openings to the staff area behind the checkout desk mean there is no way to completely block the staff area from the public area in the event of a physical threat or some other emergency. We received a quote (attached) last April from Walsh Door for installing doors between the checkout desk and the staff area. The doors would be held open with magnetic latches. Both doors could be closed with a push of one of the buttons that will be installed inside each entry.

Both the Police and Fire Departments were consulted in the development of this plan.

Funds will come for the library's regular operating budget. This expenditure has been approved by the Library Board.

**RECOMMENDATION:**

Approval of a purchase order to Walsh Door for purchase and installation of two doors between the checkout and staff areas.



Walsh Door & Hardware  
 2600 Delaware Ave  
 Des Moines, IA 50317  
 Tel: 515-262-9822 Fax: 515-262-8315

# Quote

Quote # : **401072**  
 Quote Date : **Apr 29, 2016**  
 Expiration Date : **Oct 26, 2016**

Customer:  
 City Of Johnston  
 P.O. Box 410  
 Johnston, IA 50131

Ship To:  
 City Of Johnston  
 6400 Nw Beaver  
 Johnston, IA 50131  
 Attn: Margaret Sharp  
 Tel: (515) 278-2344 Fax: (515) 278-2033

Account Code : 1379  
 Terms : Net30  
 Customer Job # :  
 Salesperson : Chad Straight  
 Order Name : LIBRARY NORTH END

Purchase Order # :  
 Shipped Via : Install

**INSTALL NEW FRAME, DOOR, GLASS AND HARDWARE, ACCESS CONTROL TO FOLLOW UP ON QUOTE NUMBER 401033**

**Qty Product Description**

- 1 Elevation - 1  
ASA STRIKE-DIMPLE IN FIELD
- 1 1/4" TEMP LAMINATED GLASS
- 1 3070 1 3/4 WD 5509 QK 20MSP PSWM F WSPC NONE (SHOP CLEAR WDD;  
W-MORT/LOCK; W-SPEC/HNG-3ea)
- 1 Lockset 8206 LNJ RH 26D  
CUSTOMER TO GET MORTISE KEYED CYLINDER FROM DOOR INC.
- 1 Hinges CB179 4 1/2 X 4 1/2 NRP US26D
- 1 Closer 4040 XP REG/PA AL
- 1 Protection Plate AP50 34" X 34" US32D
- 16 Field Labor

Pre-Tax Total : 3,332.71  
 004 - IA-POLK - 6% : 0.00  
**Quote Total : 3,332.71**

# Quote



Walsh Electronic Security  
2600 Delaware Ave  
Des Moines, IA 50317  
Tel: 515-777-7277 Fax: 515-262-8315

Quote # : 401033  
Quote Date : Apr 26, 2016  
Expiration Date : Oct 23, 2016

Customer:  
City Of Johnston  
P.O. Box 410  
Johnston, IA 50131

Ship To:  
City Of Johnston  
6400 Nw Beaver  
Johnston, IA 50131  
Attn: Margaret Sharp  
Tel: (515) 278-2344 Fax: (515) 278-2033

Account Code : 1379  
Terms : Net30  
Customer Job # :  
Salesperson : Kenton Straughn  
Order Name : Johnston Public Library -  
Purchase Order # :  
Shipped Via :

This quote is to supply two hold open magnets that will be disabled so the doors will shut and latch when a push button is pressed.

**Price includes:**

Installation labor, programming, training, equipment, with one year warranty on parts and labor unless otherwise specified.

**Price does not include:**

120v outlets, or power connections. Lift Rental. Warranty on any existing equipment to be utilized on the new system.

**Qty Product Description**

- 2 Magnetic Holder SEM7830 514 E050 AL
- 2 Pushbutton Switch 625RD AA DP L2/ILL 630
- 2 Electronic Security Miscellaneous Wire & Materials
- 8 Electronic Security Labor

Pre-Tax Total : 1,858.10  
004 - IA-POLK - 6% : 0.00  
**Quote Total : 1,858.10**



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 September 6th, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Pay Request number 2 to TK Concrete in the amount of \$36,489.63 for work on the Green Meadows Flume Repair Project.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
---	--

<p><b>SYNOPSIS:</b></p>	<p>This invoice is for Pay Request number 2 for work done on the Green Meadows Flume Repair project. Work includes special subgrade preparation for recreational trail/sidewalk path; removal of sidewalk/recreational trail path; erosion Stone and mobilization work.</p>
<p><b>FISCAL IMPACT</b></p>	<p>Funds are available in the Flume Repair Line:              342.5.770.64170</p>
<p><b>RECOMMENDATION:</b></p>	<p>Staff is recommending approval of this payment of Pay Request number 2 to TK Concrete.</p>

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve Pay Request number 2 in the amount of \$36,489.63 to TK Concrete for work performed for the Green Meadows Flume Project.

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

TK CONCRETE INC.

PELLA, IA 50219  
641-628-4590

# Invoice

DATE	INVOICE #
8/26/2016	8790

<b>BILL TO</b>
City of Johnston 6221 Merle Hay Road Johnston, IA 50131

DUE DATE	P.O. NO.	TERMS	PROJECT
8/26/2016		30 Day Progress Payme...	Flume Repair & Wat...

ITEM	DESCRIPTION	RATE	QTY	AMOUNT
	Pay App #2 Work from 6/23-8/26/2016			
Mobilization	Mobilization LS	47,500.00	0.25	11,875.00
Removal	Removal of Sidewalk/Recreational Trail SY	15.00	325.53	4,882.95
5.0 - 5" Sidewalks/...	Sidewalk/Recreational Trail Path, PCC, 5 IN. SY	50.00	159.53	7,976.50
Subgrade Prep	Special Subgrade Preparation For Recreational Trail SY	6.00	159.53	957.18
6" Concrete	Concrete Flume, PCC, 6 IN. SY	80.00	34	2,720.00
Traffic Control - TK	Traffic Control LS	4,000.00	0.5	2,000.00
	ALTERNATE 1:			0.00
Detectable Warning	Detectable Warning SF	37.50	32	1,200.00
Subgrade Prep	Special Subgrade Preparation For Recreational Trail SY	10.00	29.3	293.00
5" PCC	Recreational Trail, PCC, 5" SY	50.00	29.3	1,465.00
Excavation	Excavation Class 10 CY	40.00	78	3,120.00
	ALTERNATE 3:			0.00
	ALTERNATE 4:			0.00
	ALTERNATE 5:			0.00

	<b>Total</b>	\$36,489.63
	<b>Balance Due</b>	\$36,489.63



OFFICES OF CITY ADMINISTRATION

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016

<p><b>SUBJECT:</b></p> <p><b>Motion</b> to approve <b>RESOLUTION 16-184</b> Approving and authorizing an amendment to loan and disbursement agreement by and between the City of Johnston and the Iowa Finance Authority and authorizing and providing for the reissuance of the \$2,800,000 Sewer Revenue Capital Loan Note, Series 2006A of the City</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance  <input checked="" type="checkbox"/> Resolution  <input type="checkbox"/> Approval  <input type="checkbox"/> Receive/File</p> <p style="text-align: right;"><i>Seena</i></p>
--	---

<p><b>SYNOPSIS:</b></p>	<p>The State Revolving Fund for Clean Water and Drinking Water Program (SRF Program) reduced its interest rate on all new 20-year SRF loans to 1.75%. Due to growth in the program and careful financial management, the SRF Program is able to offer this new interest rate on all existing SRF Loans that are at least 10 years old.</p> <p>Therefore, as of June 1, 2016, the interest rate on the City of Johnston Sewer Revenue Bond, MC88R, will be reduced from 3% to 1.75%.</p>
<p><b>FISCAL IMPACT</b></p>	<p>Over the remaining term of the City's loan, this interest rate reduction will save the City \$115,325.</p>
<p><b>RECOMMENDATION</b></p>	<p>Approve Resolutions 16-184.</p>

Council Member \_\_\_\_\_ introduced the following Resolution entitled "A RESOLUTION APPROVING AND AUTHORIZING AN AMENDMENT TO LOAN AND DISBURSEMENT AGREEMENT BY AND BETWEEN THE CITY OF JOHNSTON AND THE IOWA FINANCE AUTHORITY, AND AUTHORIZING AND PROVIDING FOR THE REISSUANCE OF THE \$2,800,000 SEWER REVENUE CAPITAL LOAN NOTE, SERIES 2006, OF THE CITY", and moved its adoption. \_\_\_\_\_ Member \_\_\_\_\_ seconded the motion to adopt. The roll was called and the vote was:

AYES: \_\_\_\_\_

\_\_\_\_\_

NAYS: \_\_\_\_\_

Whereupon the Mayor declared the following Resolution duly adopted:

A RESOLUTION APPROVING AND AUTHORIZING AN AMENDMENT TO LOAN AND DISBURSEMENT AGREEMENT BY AND BETWEEN THE CITY OF JOHNSTON AND THE IOWA FINANCE AUTHORITY, AND AUTHORIZING AND PROVIDING FOR THE REISSUANCE OF THE \$2,800,000 SEWER REVENUE CAPITAL LOAN NOTE, SERIES 2006, OF THE CITY

16-184

WHEREAS, the City of Johnston (hereinafter the "Issuer") previously issued its Sewer Revenue Capital Loan Note, Series 2006, to the extent of \$2,800,000, (hereinafter the "Notes"), pursuant to a Loan and Disbursement Agreement between Issuer, the Iowa Finance Authority, and Wells Fargo Bank, N.A., dated of like date (the "Agreement"), for the purpose of defraying the costs of the Project (as defined in the resolution authorizing issuance of the same (hereinafter the "Resolution")); and

WHEREAS, the Iowa Finance Authority, as Original Purchaser and current holder of the Notes, has authorized a reduction in the interest rate on the Notes to 1.75%; and

WHEREAS, an Amendment to the Loan and Disbursement Agreement (hereinafter the "Amendment") has been prepared to reflect said interest rate reduction, a copy of which is attached hereto as Exhibit A; and

WHEREAS, pursuant to IRS regulations adoption of the Amendment constitutes a reissuance of the Notes.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL  
OF THE CITY OF JOHNSTON, IN THE COUNTY OF POLK, STATE OF IOWA:

- Section 1. That the Resolution is hereby amended to reflect the interest rate reduction to 1.75% per annum on the outstanding principal amount from and after June 1, 2016, for the remainder of the life of the Note.
- Section 2. That the Amendment in substantially the form attached to this Resolution is hereby authorized to be executed and issued on behalf of the Issuer by the Mayor and attested by the City Clerk.
- Section 3. That the Mayor and Clerk be and they are hereby authorized to execute and deliver a Supplemental Tax Certificate in connection with the Amendment, affirming the tax covenants made by the City with respect to the Note at the time of the issuance thereof.
- Section 4. Except as amended herein, all of the other terms and conditions of the Resolution and Agreement are in all respects ratified, confirmed and approved and shall remain in full effect.

PASSED AND APPROVED this 6th day of September, 2016.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk



EXHIBIT "A"

AMENDMENT TO LOAN AND DISBURSEMENT AGREEMENT

The Loan and Disbursement Agreement (Sewer Revenue Capital Loan Note) (the "Agreement") entered into as of May 5, 2006, by and between the City of Johnston, Iowa (the "City" or "Issuer"), the Iowa Finance Authority, as lender (the "Lender"), and Wells Fargo Bank, N.A., as trustee (the "Trustee"), relating to a loan from the Lender to the City in the amount of \$2,800,000, is hereby amended as follows:

1. The applicable interest rate for the Agreement shall be changed to 1.75%, effective as of June 1, 2016 and the Agreement shall thereafter be payable in accordance with the debt service schedule attached hereto and incorporated herein by this reference.
2. Except as amended herein, all of the other terms and conditions of the Agreement are in all respects ratified, confirmed and approved and shall remain in full effect.

IN WITNESS WHEREOF, we have hereunto affixed our signatures all as of the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

CITY OF JOHNSTON, STATE OF IOWA

By: \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

(SEAL)

IOWA FINANCE AUTHORITY

By: \_\_\_\_\_  
Executive Director

# JOHNSTON

\*\*\* Effective 6.1.16 \*\*\*



**Loan ID** MC88R  
**Dated Date** 5/5/2006  
**Loan Amount** \$2,800,000.00  
**Interest Savings** \$115,325.00

Date	Current Schedule			New Debt Schedule			
	Principal	Current Interest 3.00%	Servicing Fee	Principal	New Interest 1.75%	Servicing Fee	New Annual Debt Service
12/1/2016		24,090.00			14,052.50		
6/1/2017	140,000.00	24,090.00	4,015.00	140,000.00	14,052.50	4,015.00	172,120.00
12/1/2017		21,990.00			12,827.50		
6/1/2018	144,000.00	21,990.00	3,665.00	144,000.00	12,827.50	3,665.00	173,320.00
12/1/2018		19,830.00			11,567.50		
6/1/2019	149,000.00	19,830.00	3,305.00	149,000.00	11,567.50	3,305.00	175,440.00
12/1/2019		17,595.00			10,263.75		
6/1/2020	153,000.00	17,595.00	2,932.50	153,000.00	10,263.75	2,932.50	176,460.00
12/1/2020		15,300.00			8,925.00		
6/1/2021	158,000.00	15,300.00	2,550.00	158,000.00	8,925.00	2,550.00	178,400.00
12/1/2021		12,930.00			7,542.50		
6/1/2022	162,000.00	12,930.00	2,155.00	162,000.00	7,542.50	2,155.00	179,240.00
12/1/2022		10,500.00			6,125.00		
6/1/2023	167,000.00	10,500.00	1,750.00	167,000.00	6,125.00	1,750.00	181,000.00
12/1/2023		7,995.00			4,663.75		
6/1/2024	172,000.00	7,995.00	1,332.50	172,000.00	4,663.75	1,332.50	182,660.00
12/1/2024		5,415.00			3,158.75		
6/1/2025	178,000.00	5,415.00	902.50	178,000.00	3,158.75	902.50	185,220.00
12/1/2025		2,745.00			1,601.25		
6/1/2026	183,000.00	2,745.00	457.50	183,000.00	1,601.25	457.50	186,660.00
	1,606,000.00	276,780.00	23,065.00	1,606,000.00	161,455.00	23,065.00	1,790,520.00



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 September 6, 2016

<p><b>SUBJECT:</b> Consider approval of the Construction Plans for Greenwood Hills Plat 5. The subject property is west of NW 86<sup>th</sup> Street and north of Long Meadow Drive; Resolution 16-188.</p>	<p><b>ACTION REQUIRED:</b>  <input type="checkbox"/> Ordinance  <input checked="" type="checkbox"/> Resolution  <input type="checkbox"/> Approval  <input type="checkbox"/> Receive/File  <input type="checkbox"/> Attorney Review</p>
---	--

<p><b>SYNOPSIS:</b></p>	<p>The applicant, Clarkson Land Company, wishes to construct the public improvements for Greenwood Hills Plat 5. Foth Infrastructure and Environment and City Staff have reviewed the construction plans and found them to be in conformance with the Statewide Urban Standards and Specifications (SUDAS) and City Standards.</p>
<p><b>FISCAL IMPACT:</b></p>	<p>The City would assume maintenance upon acceptance of the improvements and expiration of the 4-year maintenance bond.</p>
<p><b>RECOMMENDATION:</b></p>	<p>Staff recommends approval of Resolution 16-188.</p>

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to approve Resolution No. 16-188:  
**A RESOLUTION APPROVING THE CONSTRUCTION PLANS FOR GREENWOOD HILLS PLAT 5.**

**Attachments:** Construction Plans Sheet 3, prepared by Civil Engineering Consultants, Inc., and dated August 16, 2016

**RESOLUTION 16-188**

**A RESOLUTION APPROVING THE CONSTRUCTION PLANS FOR GREENWOOD HILLS PLAT 5**

**WHEREAS**, the Construction Plans for Greenwood Hills Plat 5 as prepared by Civil Engineering Consultants, Inc., dated August 16, 2016, have been reviewed by Foth Infrastructure and Environment and City staff, and

**WHEREAS**, said plans conform to the City's Subdivision Regulations, Design Standards and Specifications.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that,

The Construction Plans for Greenwood Hills Plat 5, prepared by Civil Engineering Consultants, Inc., dated August 16, 2016 are hereby approved.

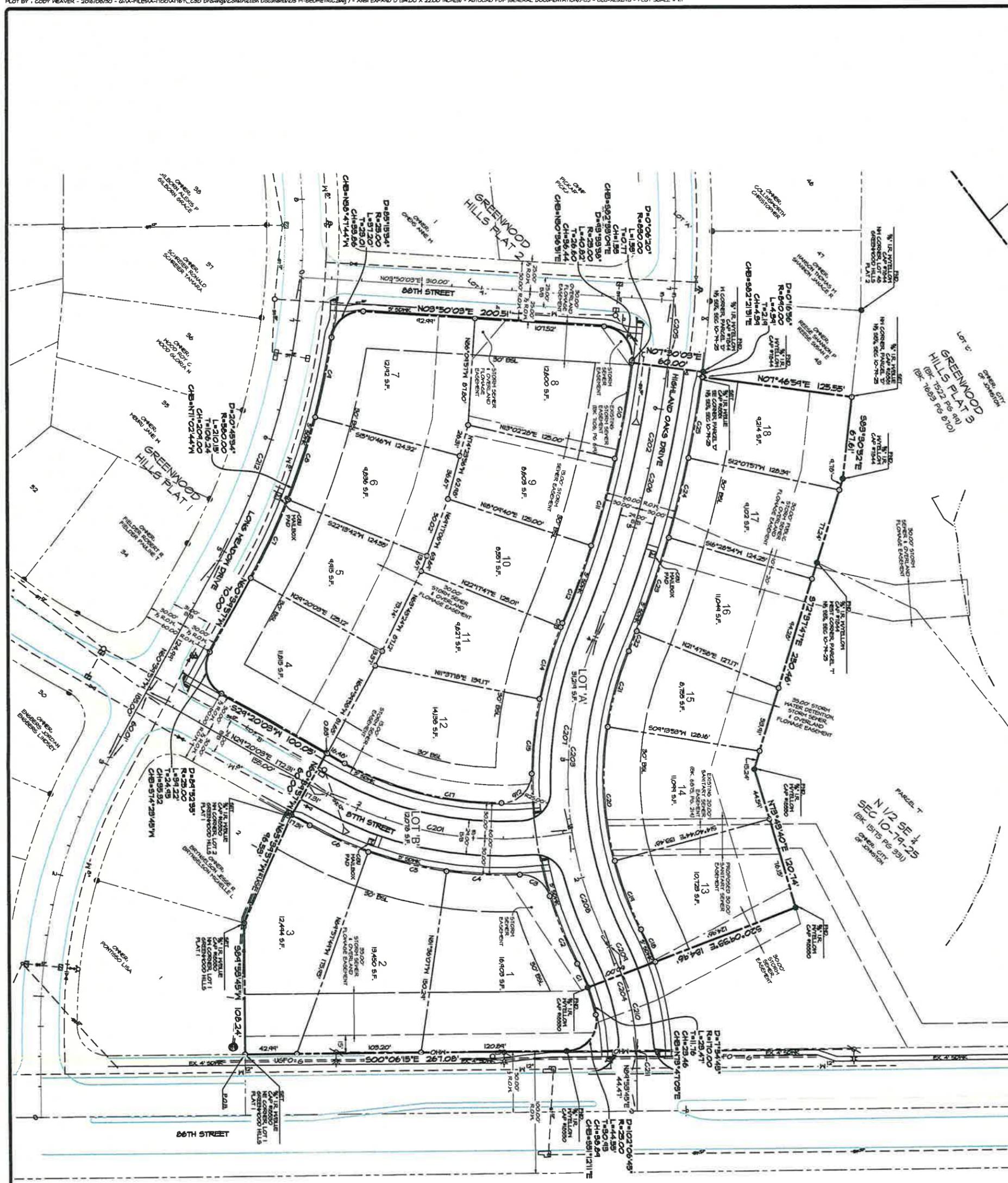
**PASSED AND APPROVED** this 6<sup>th</sup> Day of September, 2016.

\_\_\_\_\_  
PAULA DIERENFELD, MAYOR

**ATTEST:**

\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH BEARING
C201	40°07'28"	300.00'	310.04'	104.56'	205.89'	N24°16'11"E
C202	14°05'48"	860.00'	286.62'	144.65'	226.28'	N16°57'08"W
C203	50°14'31"	300.00'	293.50'	140.43'	255.11'	N21°46'01"E
C204	21°17'50"	300.00'	95.27'	46.59'	94.57'	N81°46'01"W
C205	3°54'51"	860.00'	55.05'	27.52'	55.02'	N84°19'58"W
C206	15°25'44"	860.00'	281.54'	116.50'	230.84'	N14°47'07"W
C207	91°22'24"	300.00'	164.37'	64.25'	162.29'	S62°45'28"E
C208	18°57'07"	300.00'	94.25'	50.07'	98.78'	N72°04'44"E
C209	11°18'31"	300.00'	52.22'	12.89'	25.20'	S84°18'01"W
C210	18°28'50"	300.00'	64.51'	32.54'	64.29'	S79°04'11"W
C211	1°59'04"	300.00'	5.54'	2.71'	5.54'	S84°06'11"W
C212	25°30'00"	350.00'	244.78'	124.45'	242.77'	N13°24'57"W

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH BEARING
C1	119°27'	170.00'	21.43'	10.75'	21.42'	N66°19'00"E
C2	10°20'56"	300.00'	54.57'	29.87'	54.44'	N61°46'55"E
C3	15°07'41"	250.00'	92.78'	14.29'	30.44'	S85°22'33"W
C4	10°54'50"	350.00'	60.44'	30.56'	60.85'	S03°06'23"W
C5	11°19'10"	350.00'	61.03'	33.63'	66.42'	S41°10'21"W
C6	41°15'21"	350.00'	53.59'	28.83'	53.44'	S24°41'07"W
C7	1°08'20"	500.00'	11.43'	96.01'	11.86'	S64°13'07"E
C8	1°02'58"	500.00'	11.34'	95.72'	11.81'	S71°17'46"E
C9	6°56'17"	500.00'	66.56'	33.41'	66.82'	S78°07'22"E
C10	5°32'25"	850.00'	80.28'	40.81'	80.29'	S74°43'30"E
C11	5°07'12"	850.00'	74.17'	37.11'	74.15'	S74°24'01"E
C12	4°46'09"	850.00'	64.04'	34.56'	64.07'	S64°27'20"E
C13	0°57'57"	350.00'	3.64'	1.82'	3.64'	S61°29'19"E
C14	10°44'30"	350.00'	61.48'	30.83'	61.94'	S73°02'28"E
C15	10°42'34"	350.00'	61.68'	30.89'	61.94'	S68°45'54"E
C16	64°19'54"	250.00'	94.08'	24.81'	94.22'	N44°18'07"W
C17	28°59'22"	210.00'	135.48'	64.47'	134.59'	N14°54'22"E
C18	11°19'36"	250.00'	24.01'	14.59'	28.94'	N66°19'04"E
C19	12°42'56"	210.00'	54.42'	30.08'	54.80'	N68°57'49"E
C20	28°34'41"	210.00'	122.68'	57.17'	118.96'	N57°16'39"E
C21	19°41'51"	210.00'	64.95'	32.43'	64.54'	S73°55'11"E
C22	1°07'51"	940.00'	17.56'	8.78'	17.56'	S61°19'11"E
C23	5°19'05"	940.00'	32.81'	41.39'	32.59'	S70°13'19"E
C24	4°20'57"	940.00'	61.56'	39.80'	61.54'	S75°41'40"E
C25	4°20'57"	940.00'	61.56'	39.80'	61.54'	S60°02'37"E

SCALE: 1"=40'

NORTH

IOWA ONE CALL  
1-800-292-4889

GREENWOOD HILLS PLAT 5  
JOHNSTON, IOWA  
GEOMETRIC PLAN

DATE:	08/16/2016
DATE OF SURVEY:	08/10/2016
DESIGNED BY:	03/15/2016
DRAWN BY:	CM

CEC Civil Engineering Consultants, Inc.  
2400 86th Street . Unit 12 . Des Moines, Iowa 50322  
515.276.4884 . Fax: 515.276.7084 . mail@ceclac.com



**RESOLUTION 16-185**

**A RESOLUTION SETTING A PUBLIC HEARING FOR SEPTEMBER 19<sup>TH</sup>, 2016 AT 7:00 PM TO CONSIDER AN OFFICIAL AMENDMENT TO THE JOHNSTON 2030 COMPREHENSIVE PLAN'S FUTURE LAND USE MAP AND AN OFFICIAL ZONING MAP AMENDMENT FOR 7.7 ACRES AND ADJOINING RIGHT-OF-WAY FROM A-R, AGRICULTURAL RESERVE DISTRICT TO R-1(75), SINGLE-FAMILY RESIDENTIAL DISTRICT, AND AN OFFICIAL ZONING MAP AMENDMENT FOR 28.2 ACRES AND ADJOINING RIGHT-OF-WAY FROM A-R, AGRICULTURE RESERVE DISTRICT TO C-2, COMMUNITY RETAIL COMMERCIAL DISTRICT, AND AN OFFICIAL ZONING MAP AMENDMENT FOR 17.9 ACRES FROM A-R, AGRICULTURE RESERVE DISTRICT TO PC, PROFESSIONAL COMMERCE PARK DISTRICT, AND AN OFFICIAL ZONING MAP AMENDMENT FOR 12.8 ACRES FROM A-R, AGRICULTURE RESERVE DISTRICT TO R-3, MEDIUM DENSITY MULTIPLE-FAMILY RESIDENTIAL DISTRICT. THE SUBJECT PROPERTY IS LOCATED ON THE SOUTHWEST CORNER OF THE INTERSECTION AT NW 86<sup>TH</sup> STREET AND NW 70<sup>TH</sup> AVENUE**

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that:**

A public hearing to consider an Official Amendment to the Johnston 2030 Comprehensive Plan's Future Land Use Map and Official Zoning Map Amendment to rezone approximately 7.7 acres and adjoining right of way from A-R, Agricultural Reserve District to R-1(75), Single-Family Residential District and an Official Zoning Map Amendment to rezone approximately 28.2 acres and adjoining right-of-way from A-R, Agriculture Reserve District to C-2, Community Retail Commercial District, and an Official Zoning Map Amendment to rezone approximately 17.9 acres from A-R, Agriculture Reserve District to PC, Professional Commerce Park District, and an Official Zoning Map Amendment to rezone approximately 12.8 acres from A-R, Agriculture Reserve District to R-3, Medium Density Multiple-Family Residential District is hereby set for September 19<sup>th</sup>, 2016, at 7:00 p.m.

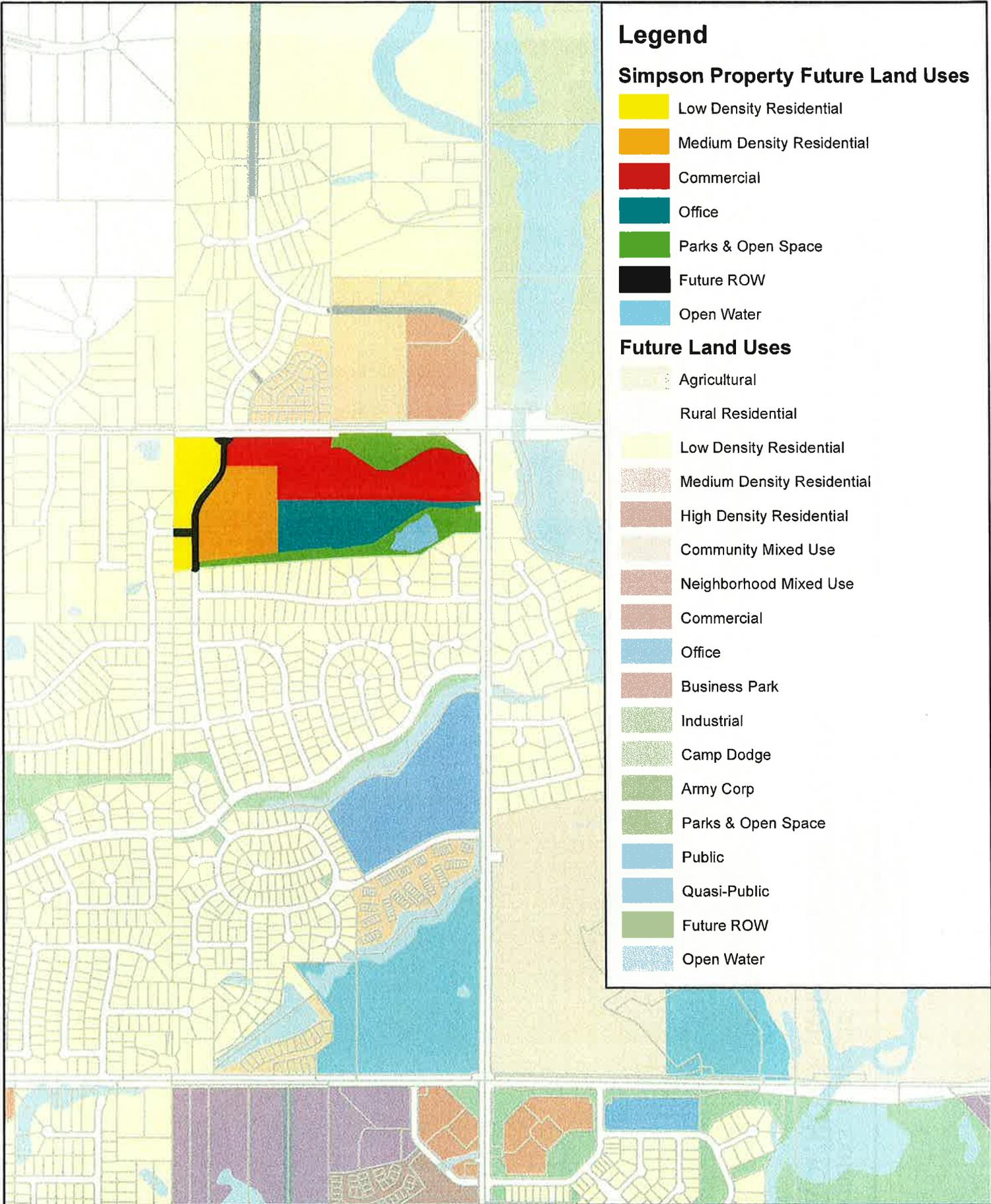
**PASSED AND APPROVED** this 6<sup>th</sup> Day of September, 2016.

\_\_\_\_\_  
PAULA S. DIERENFELD, MAYOR

**ATTEST:**

\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



**Legend**

**Simpson Property Future Land Uses**

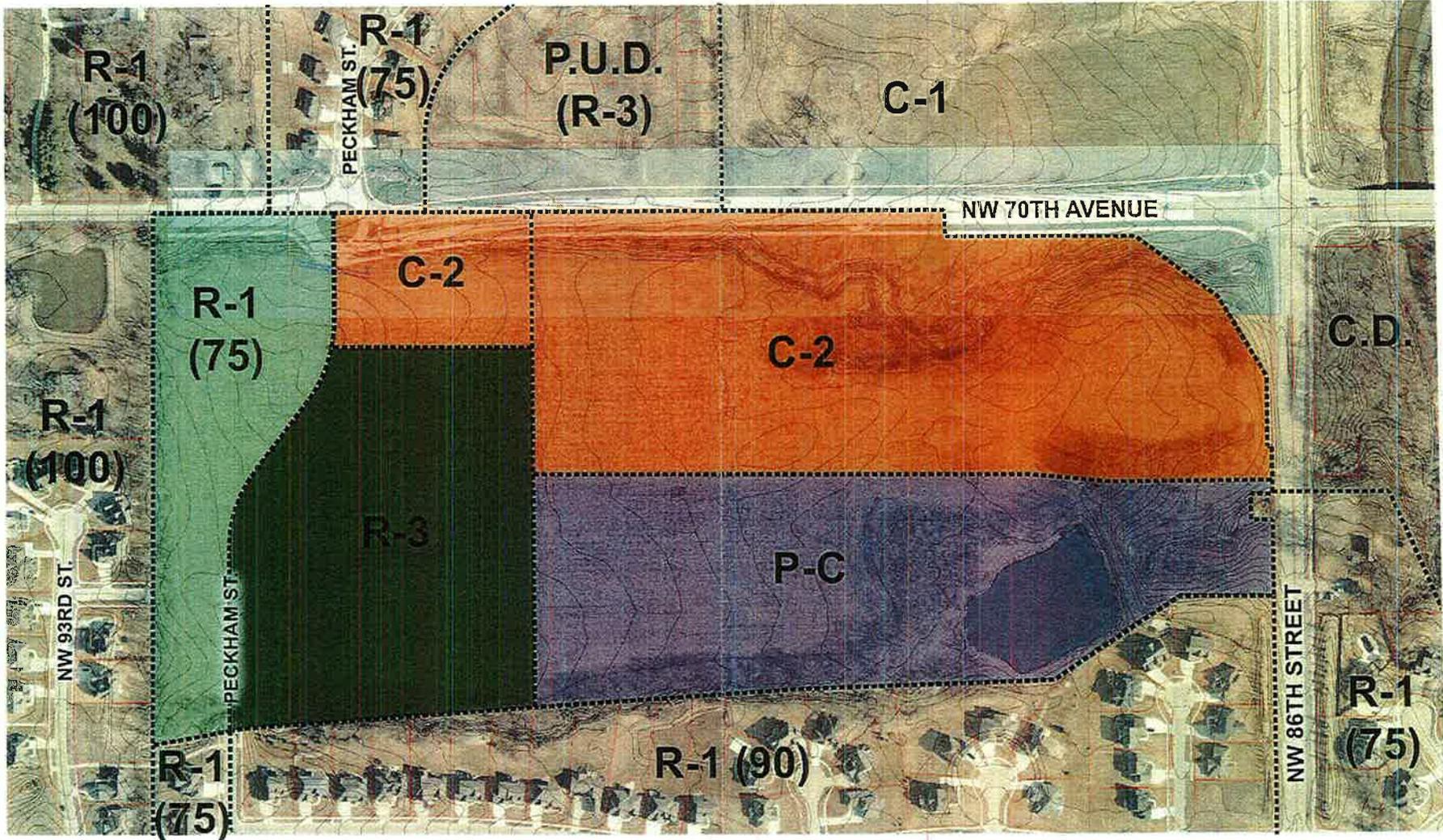
- Low Density Residential
- Medium Density Residential
- Commercial
- Office
- Parks & Open Space
- Future ROW
- Open Water

**Future Land Uses**

- Agricultural
- Rural Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Community Mixed Use
- Neighborhood Mixed Use
- Commercial
- Office
- Business Park
- Industrial
- Camp Dodge
- Army Corp
- Parks & Open Space
- Public
- Quasi-Public
- Future ROW
- Open Water



**Amendment #10 To The  
Future Land Use Map**



**SIMPSON PROPERTY - JOHNSTON, IOWA**

CITY OF JOHNSTON  
 COMMUNITY DEV. DEPT.  
 DATE REC'D: 07/12/11  
 CASE NO.: 07 110-22

REZONING - EXHIBIT 'A'



ITEM NO. 89

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
AGENDA COMMUNICATION  
September 6th, 2016 Meeting

<b>SUBJECT:</b> Consider Resolution 16-192- A resolution ordering construction and fixing a date of October 3, 2016 at 7:00 p.m. for the public hearing on the Greenwood Hills greenbelt wetland mitigation area, Beaver Creek Natural Resource Area Phase IV	<b>ACTION REQUIRED:</b>
	<input type="checkbox"/> Ordinance
	<input checked="" type="checkbox"/> Resolution
	<input checked="" type="checkbox"/> Approval
	<input type="checkbox"/> Receive/File
	<input type="checkbox"/> Attorney Review

**SYNOPSIS:**

Documents have been reviewed by Ahlers & Clooney for the Greenwood Hills greenbelt wetland mitigation area

Staff is recommending the following schedule for the bidding of the project:

**September 6th, 2016** City Council action to order construction and set the public hearing on the plans, specifications, form of contract, and estimate of costs for the project.

**September 20th, 2016** Receive and open bids at 2:00 p.m.

**October 3, 2016** Public hearing and consideration of award of contract.

**FISCAL IMPACT:**

Estimated Cost      \$454,453.30

**RECOMMENDATION:**

Approve Resolution 16-192

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve

<b>ROLL CALL VOTE:</b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Clabaugh	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cope	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lindeman	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Temple	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

September 6, 2016

The City Council of the City of Johnston, State of Iowa, met in \_\_\_\_\_ session, in the Council Chambers, City Hall, 6221 Merle Hay Road, Johnston, Iowa, at 7:00 P.M., on the above date. There were present Mayor \_\_\_\_\_, in the chair, and the following named Council Members:

\_\_\_\_\_

Absent: \_\_\_\_\_

Vacant: \_\_\_\_\_

\* \* \* \* \*

Council Member \_\_\_\_\_ introduced the following Resolution entitled "RESOLUTION ORDERING CONSTRUCTION OF THE GREENWOOD HILLS GREENBELT WETLAND MITIGATION, AND FIXING A DATE FOR HEARING THEREON AND TAKING OF BIDS THEREFOR," and moved that the same be adopted. Council Member \_\_\_\_\_ seconded the motion to adopt. The roll was called and the vote was,

AYES: \_\_\_\_\_

\_\_\_\_\_

NAYS: \_\_\_\_\_

Whereupon, the Mayor declared the following Resolution duly adopted:

RESOLUTION ORDERING CONSTRUCTION OF THE  
GREENWOOD HILLS GREENBELT WETLAND  
MITIGATION, AND FIXING A DATE FOR HEARING  
THEREON AND TAKING OF BIDS THEREFOR

16-192

WHEREAS, it is deemed advisable and necessary to construct certain public improvements described in general as the Greenwood Hills Greenbelt Wetland Mitigation; and

WHEREAS, the City has caused to be prepared plans, specifications and form of contract, together with estimate of cost, which are now on file in the office of the City Clerk for public inspection, for the construction of the public improvements; and

WHEREAS, the plans, specifications and form of contract are deemed suitable for the making of the public improvements; and

WHEREAS, before the plans, specifications, form of contract and estimate of cost may be adopted, and contract for the construction of the public improvements is entered into, it is necessary, pursuant to Chapter 26 of the Code of Iowa, to hold a public hearing and to advertise for bids:

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA:

Section 1. That it is hereby determined that it is necessary and advisable to construct certain public improvements described in general as the Greenwood Hills Greenbelt Wetland Mitigation, in the manner set forth in the plans and specifications and form of contract, above

referred to, the cost thereof to be paid in accordance with the provisions as set out in the posted Notice to Bidders and published Notice of Public Hearing; the public improvements being more generally described as follows:

Construct the Greenwood Hills Greenbelt Wetland Mitigation Terra Park including all materials, labor and equipment necessary for installation of approximately: **12,130 CY of excavation, 11.8 AC of seeding, 375 EA tree planting**

Section 2. That the amount of the bid security to accompany each bid shall be in an amount which shall conform to the provisions of the notice to bidders approved as a part of the specifications.

BE IT FURTHER RESOLVED, that the City Clerk be and is hereby directed to post a notice to bidders once in a relevant contractor plan room service with statewide circulation and a relevant construction lead generating service with statewide circulation and on an internet site sponsored by either the City or a statewide association that represents the City. Posting shall be not less than thirteen clear days nor more than forty-five days prior to September 20, 2016, which is hereby fixed as the date for receiving bids. The bids are to be filed prior to 2:00 P.M., on such date.

The City Council hereby delegates to the City Clerk or her designee the duty of receiving, opening and tabulating bids for construction of the Project. Bids shall be received and opened as provided in the public notice and the results of the bids shall be considered at the meeting of this Council on October 3, 2016, at 7:00 P.M.

BE IT FURTHER RESOLVED, that the City Clerk be and is hereby directed to publish notice of hearing once in the "Des Moines Register", a legal newspaper, printed wholly in the English language, published at least once weekly and having general circulation in this City. Publication shall be not less than four clear days nor more than twenty days prior to the date hereinafter fixed as the date for a public hearing on the plans, specifications, form of contract and estimate of costs for the project, the hearing to be at 7:00 P.M. on October 3, 2016.

PASSED AND APPROVED this 6th day of September, 2016.

---

Mayor

ATTEST:

---

City Clerk

CERTIFICATE

STATE OF IOWA

)

) SS

COUNTY OF POLK

)

I, the undersigned City Clerk of the City of Johnston, State of Iowa, do hereby certify that attached is a true and complete copy of the portion of the records of the City showing proceedings of the Council, and the same is a true and complete copy of the action taken by the Council with respect to the matter at the meeting held on the date indicated in the attachment, which proceedings remain in full force and effect, and have not been amended or rescinded in any way; that meeting and all action thereat was duly and publicly held in accordance with a notice of meeting and tentative agenda, a copy of which was timely served on each member of the Council and posted on a bulletin board or other prominent place easily accessible to the public and clearly designated for that purpose at the principal office of the Council pursuant to the local rules of the Council and the provisions of Chapter 21, Code of Iowa, upon reasonable advance notice to the public and media at least twenty-four hours prior to the commencement of the meeting as required by law and with members of the public present in attendance; I further certify that the individuals named therein were on the date thereof duly and lawfully possessed of their respective City offices as indicated therein, that no Council vacancy existed except as may be stated in the proceedings, and that no controversy or litigation is pending, prayed or threatened involving the incorporation, organization, existence or boundaries of the City or the right of the individuals named therein as officers to their respective positions.

WITNESS my hand and the seal of the Council hereto affixed this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
City Clerk, City of Johnston, State of Iowa

(SEAL)

STATE OF IOWA )  
 ) SS  
COUNTY OF POLK )

I, the undersigned, do hereby certify that I am now and was at the times hereinafter mentioned, the duly qualified and acting Clerk of the City of Johnston, in the County of Polk, State of Iowa, and that as such Clerk and by full authority from the Council of the City, I have caused a

NOTICE TO BIDDERS  
(Greenwood Hills Greenbelt Wetland Mitigation)

of which a copy/screenshot annexed to the poster's affidavit hereto attached is in words and figures a correct and complete copy, to be posted as required by law in a relevant contractor plan room service with statewide circulation and a relevant construction lead generating service with statewide circulation and on an internet site sponsored by the City or a statewide association that represents the City, and that the Notice was posted and circulated on the following date:

\_\_\_\_\_, 2016.  
\_\_\_\_\_, 2016.  
\_\_\_\_\_, 2016.

WITNESS my official signature at Johnston, Iowa, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
City Clerk, City of Johnston, State of Iowa

(SEAL)

STATE OF IOWA

)

) SS

COUNTY OF POLK

)

I, the undersigned, do hereby certify that I am now and was at the times hereinafter mentioned, the duly qualified and acting Clerk of the City of Johnston, in the County of Polk, State of Iowa, and that as such Clerk and by full authority from the Council of the City, I have caused a

NOTICE OF PUBLIC HEARING  
(Greenwood Hills Greenbelt Wetland Mitigation)

of which the clipping annexed to the publisher's affidavit hereto attached is in words and figures a correct and complete copy, to be published as required by law in the "Des Moines Register", a legal newspaper published at least once weekly, printed wholly in the English language, published regularly and mailed through the post office of current entry for more than two years and which has had for more than two years a bona fide paid circulation recognized by the postal laws of the United States, and has a general circulation in the County, and that the Notice was published in all of the issues thereof published and circulation on the following date:

\_\_\_\_\_, 2016.

WITNESS my official signature at Johnston, Iowa, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
City Clerk, City of Johnston, State of Iowa

(SEAL)

# Draft Schedule - 1



Client: City of Johnston, Iowa  
 Project: Greenwood Hills Greenbelt Wetland Mitigation Area, Beaver Creek Natural Resource Area Phase IV  
 Council - Orders Construction: Tuesday, September 06, 2016  
 Desired Letting Date: Tuesday, September 20, 2016  
 Council - Public Hearing/Award: Monday, October 03, 2016

Task	Date	Days from Critical Date	Comments
Submit Pre-Final Plans to City for Final Review	Monday, August 22, 2016	(15)	
Final comments due from City to Foth	Saturday, August 27, 2016	(10)	**City Critical Date
Submit Draft NH&L to Ahlers	Saturday, August 27, 2016	(10)	
Final Estimate and NH&L to City	Thursday, September 01, 2016	(5)	Electronic
Final Plans Complete	Saturday, September 03, 2016	(3)	Hard Copy to City Hall
Council - Orders Construction	Tuesday, September 06, 2016		1st or 3rd Monday
Send NH&L to Paper	Thursday, September 08, 2016	(7)	Min. 1 week advance of publication date
Publish Plans to Contractors	Wednesday, September 07, 2016	1	Day after Council sets public hearing
Post Notice to Bidders	Thursday, August 25, 2016	(26)	Between 13-45 days before Letting
Publish NH&L	Thursday, September 15, 2016	(18)	Between 4-20 days before Public Hearing
No. Days for Contractor	13		
Letting	Tuesday, September 20, 2016		
Submit Bid Tab to City	Wednesday, September 21, 2016	1	
Signed Contracts, Bonds & Insurance to City	Wednesday, September 28, 2016	8	
Council - Public Hearing/Award	Monday, October 03, 2016	18	Between 4-20 days after Publish of NH&L

Critical Construction Task	Date		Comments
Start Construction	Thursday, October 13, 2016		
Seeding Deadline	Friday, June 30, 2017	260	April 1 to June 30. Dormant seeding prior to December 25 (no snow, temps <40°), Frost Seeding February 1 to April 1 (<1" snow)
Tree Planting	Thursday, June 01, 2017	231	August 15 to November 15 and prior to June 1 (balled/burlapped and container), Spring prior to May 15 (bare root)

## Critical Tasks



ITEM NO. 8c

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016 Meeting

<p><b>SUBJECT:</b> Consider Resolution 16-194 approving change order #1 for additional erosion control, additional storm culvert and extension of contract to September 30, 2016 for the Green Meadows Flume project.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input checked="" type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
---	---

**SYNOPSIS:**

The Green Meadow’s flume project has experienced several issues related to rain. Due to these conditions, additional erosion control is needed. This control is temporary until grass can be established.

A second 24” pipe culvert was also deemed necessary through final examination. There is concern that the one pipe will not be sufficient to handle the storm water through one of the branches of the flume.

Finally, an extremely wet July and August has put the overall project timeline behind schedule. The original date of completion was scheduled for August 12<sup>th</sup>, 2016. Due to the rains and the wet grounds, an additional 47 days have been requested.

**FISCAL IMPACT:**

Estimated Cost Not to exceed \$10,370. Funds are available to cover this additional cost.

**RECOMMENDATION:**

Approve Resolution 16-194

**RESOLUTION NO. 16-194**

A RESOLUTION APPROVING CHANGE ORDER #1 FOR ADDITIONAL EROSION CONTROL, ADDITIONAL STORM CULVERT AND EXTENSION OF CONTRACT TO SEPTEMBER 30, 2016 FOR THE GREEN MEADOWS FLUME PROJECT

**WHEREAS**, additional temporary erosion control is needed to stabilize the ground as grass gets established; and

**WHEREAS**, an additional pipe culvert is deemed necessary to handle the volume of water in one section of the flume; and

**WHEREAS**, rain has delayed the completion of the project and additional time is necessary for completion; and

**WHEREAS**, this work falls outside of the original construction design and bid documents; therefore

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that:

Change order #1 for the additional erosion control, additional storm culvert and an extension of contract for the Green Meadows flume project.

**PASSED AND APPROVED** this 6<sup>th</sup> day of September, 2016

\_\_\_\_\_  
Paula Dierenfeld, Mayor

**ATTEST:**

\_\_\_\_\_  
Cyndee Rhames, City Clerk

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



Department of Parks and Recreation  
 8900 Finnear Parkway  
 Johnston, Iowa 50131-0410  
 (515) 727-8001 Fax (515) 727-8092

**CHANGE ORDER 01**

Distribution:  
 Owner - Finance \_\_\_\_\_  
 Owner - Public Works \_\_\_\_\_  
 Engineer \_\_\_\_\_  
 Contractor \_\_\_\_\_  
 Other \_\_\_\_\_

Contractor: **TK CONCRETE, INC.**  
 1608 Fifield Road  
 Pella, IA 50219

Project Title	Flume Repair and Water Quality Improvements in Green Meadows	
Foth Project Number	11J016.01	
Johnston Project File Number		
Orig. Contract Amount & Date	\$208,058.00	April 7, 2016
Change Order Number	1	
Date	August 31, 2016	

**THE CONTRACT IS CHANGED AS FOLLOWS:**

Item No.	Item	Description	Unit	Unit Price	Quantity Adjustment	Value Adjustment
4.1	4030-A-1324	PIPE CULVERT, TRENCHED, RCP, CLASS III, 24 IN	LF	\$110.00	32	\$3,520.00
4.2	4030-B-1324	PIPE APRON, CONCRETE, 24"	EA	\$2,750.00	2	\$5,500.00
9.7		TEMPORARY ROLLED EROSION CONTROL PRODUCT (RECP), TYPE 2C	SY	\$4.50	300	\$1,350.00
		Contract completion date will be extended to September 30, 2016 due to the weather delays.				\$0.00
						<b>\$10,370.00</b>

**CHANGE ORDER SUMMARY**

The Original Contract Sum was	\$208,058.00
Net Change by previously authorized Change Orders	\$0.00
The Contract Sum prior to This Change Order was	\$208,058.00
The Contract Sum will be increased by this Change Order in the amount of	\$10,370.00
The new Contract Sum including this Change Order will be	\$218,428.00
The Contract Time will be changed by	49 Days

**NOT VALID UNTIL SIGNED BY THE CONTRACTOR, OWNER'S REPRESENTATIVE (if applicable) AND OWNER**

<b>Prepared By:</b> Foth Infrastructure & Environment, LLC	<b>Recommended By:</b> TK Concrete, Inc.	<b>Checked By:</b> City of Johnston
Signature: _____	Signature:	Signature: _____
Name: Joshua C. DeBower, P.E.	Name: Quentin Kaufman	Name: Paula Dierenfeld
Title: Lead Civil Engineer	Title: Project Manager	Title: Mayor
Date: _____	Date: 9-1-2016	Date: _____

<b>Owner:</b>	City of Johnston	
<input type="checkbox"/> S	\$500 Department Director	X _____ Date _____
<input type="checkbox"/>	\$501 to \$2,500 City Administrator	X _____ Date _____
<input type="checkbox"/>		Date _____
<input type="checkbox"/> V	\$2,501 City Council approved or ratified at Council meeting on	Date _____



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016 Meeting

SUBJECT: Consider approval of professional services for the facilitation of public meetings related to construction of a road near NW 54th Avenue and Birchwood Court.	ACTION REQUIRED: <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
--	--

**SYNOPSIS:**

The Johnston City Council approved Resolution No. 16-133 on June 20, 2016 to form a working group to identify and discuss issues related to the construction of a road from NW 54th Avenue to Birchwood Court. Members of the working group have now been identified and staff would like to plan the first working group meeting for later this month. Staff reached out to several professional meeting facilitators and would like approval of Tamara Kenworthy of On Point Strategies, due to experience and competitive rate. Tamara will provide a brief, written recap of each meeting we can post on the project web page for residents to review.

**FISCAL IMPACT**

\$840-1,020 per public meeting. Two to five public meetings anticipated.

**RECOMMENDATION**

Approve professional services of Tamara Kenworthy for facilitation of meetings related to construction of road near NW 54th Avenue and Birchwood Court.

**TO:** Emily Price  
**FR:** Tamara Kenworthy  
**DT:** August 24, 2016  
**RE:** **City of Johnston – Project Estimate  
Meeting Facilitation**

Thank you for the opportunity to provide this estimate for meeting facilitation relative to the proposed roadwork in Johnston.

### **Project Scope**

The City of Johnston will be convening a work group to study proposed roadwork. There could be 2 - 5 meetings, depending on the road options identified. Work group meetings will be held in the evenings from 6:00 - 8:00 p.m. The City will have the sessions recorded to support meeting notes and recaps.

### **Deliverables**

- Initial start-up meeting with City Staff
- Each work group meeting – approx. 8-10 hours each
  - Preparation / establish agenda
  - Meeting facilitation, incl. set-up & debrief
  - Executive Summary / recap of meeting

### **Project Estimate:**

- Hourly rate: Facilitation – \$150/hour
- Hourly rate: All other deliverables – \$90/hour

I would be happy to answer any questions you have.  
Thank you!



ITEM NO. 64

OFFICES OF CITY ADMINISTRATION  
Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016

<p>SUBJECT:</p> <p><b><u>Motion</u></b> to approve <b>RESOLUTION NO. 16-191 RESOLUTION APPROVING THE ECONOMIC DEVELOPMENT MANAGERS PROJECT WORK IN THE CITY OF JOHNSTON'S URBAN RENEWAL AREAS AND PROVIDING FOR THE ADVANCE EXPENDITURE OF FUNDS</b></p>	<p>ACTION REQUIRED:</p> <p><input type="checkbox"/> Ordinance</p> <p><input checked="" type="checkbox"/> Resolution</p> <p><input type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p>
--	---

<p>SYNOPSIS:</p>	<p>The Economic Development Manager's Planning work will be located within all six Urban Renewal Areas. Expenditures related to Project work are eligible expenses to be reimbursed or expensed from the Tax Increment Financing Funds.</p> <p>Resolution 16-191 will allow for such expenditures and will authorize the certifying of expenses with the county.</p>
<p>FISCAL IMPACT</p>	<p>Funds expensed will be certified for tax increment funds to reimburse the City for such expenditure.</p>
<p>RECOMMENDATION</p>	<p>Approve Resolution No. 16-191</p>

RESOLUTION NO. 2016-191

RESOLUTION APPROVING THE ECONOMIC DEVELOPMENT  
MANAGER'S PROJECT WORK IN THE CITY OF JOHNSTON'S  
URBAN RENEWAL AREAS AND PROVIDING FOR THE ADVANCE  
EXPENDITURE OF FUNDS

WHEREAS, the City Council of the City of Johnston, Iowa has established the East Central Urban Renewal Area, the Beaver Creek West Urban Renewal Area, the NW 62nd Avenue Urban Renewal Area, the Windsor Office Park Urban Renewal Area, the NW 100th Street Urban Renewal Area, and the West Central Urban Renewal Area (the "Urban Renewal Areas") and has adopted Urban Renewal Plans for undertaking urban renewal projects within the Urban Renewal Areas; and

WHEREAS, the City of Johnston Urban Renewal Plans set forth above all contain language finding that planning, engineering, attorney, or similar administrative activities and costs to support urban renewal projects are valid projects or activities under said plans; and

WHEREAS, before approving an urban renewal project, it is necessary to make certain findings under Chapter 403; and

WHEREAS, the Economic Development Manager (EDM) is anticipated to engage in planning and administrative activities in support of urban renewal projects in the Urban Renewal Areas and it is the intention of the City of Johnston to certify the amount of funds advanced to pay (salary and benefits) the EDM for engaging in such planning and administrative activities for reimbursement under Iowa Code Section 403.19 at a future date to be determined by this City Council; and

WHEREAS, the amount of funds to be advanced to pay (salary and benefits) the EDM for engaging in the planning and administrative activities will not exceed \$150,000 annually.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Johnston of State of Iowa, as follows:

Section 1. Pursuant to the Ordinances which established the East Central Urban Renewal Area Tax Increment Revenue Fund, the Beaver Creek West Urban Renewal Area Tax Increment Revenue Fund, the NW 62nd Urban Renewal Area Tax Increment

Revenue Fund, the Windsor Office Park Urban Renewal Area Tax Increment Revenue Fund, the NW 100th Urban Renewal Area Tax Increment Revenue Fund, and the West Central Urban Renewal Area Tax Increment Revenue Fund (the "Tax Increment Funds"), incremental property tax revenues received from the Urban Renewal Areas, as amended, are to be collected and deposited into the Tax Increment Funds to reimburse the City for debts or obligations incurred in support of urban renewal projects or activities. . The City Council finds that the EDM planning and administrative activities in the above Urban Renewal Areas are an Urban Renewal Project as defined in Iowa Code Sections 403.6 (6) and (10), and 403.12 (1)(i), and further finds that said Project is included in the Plans, as amended, for the Urban Renewal Areas.

Section 2. It is hereby directed that an amount annually not to exceed \$150,000, be transferred from time to time from the General Fund or any other lawful available fund in order to pay the costs of the EDM Project work. The transfer shall be treated as Tax Increment Debt in the form of an advance from said fund ("the Loan").

Section 3. Project costs incurred up to a maximum annual transfer of \$150,000 are hereby approved.

Section 4. Certification for reimbursement under Iowa Code Section 403.19 for the Project shall be made annually so long as funds for the Project are so advanced.

ADOPTED AND PASSED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON OF THE STATE OF IOWA, this 6th day of SEPTEMBER, 2016.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

ITEM NO. *8u*



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016

<p><b>SUBJECT:</b> Consider approval of professional services agreement with Snyder and Associates to provide a third party review of alternatives and issues related to construction of a road near NW 54th Avenue and Birchwood Court.</p>	<p><b>ACTION REQUIRED:</b> <input checked="" type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review</p> <p><i>AW</i></p>
<p><b>SYNOPSIS:</b></p> <p><b>FISCAL IMPACT:</b></p> <p><b>RECOMMENDATION:</b></p>	<p>The Johnston City Council approved Resolution No. 16-133 on June 20, 2016 to form a working group to identify and discuss issues related to the construction of a road from NW 54th Avenue to Birchwood Court. Members of the working group have now been identified and staff would like to plan the first working group meeting for later this month. To date, traffic analysis of this proposed roadway has been completed by Foth Infrastructure and Environment. Thus, staff reached out to Mark Perrington with Snyder and Associates to provide a third party review of alternative and issues as detailed in the attached scope of work.</p> <p>Hourly rate estimated to be \$3,000-\$5,000 to complete initial review and assistance with the Working Group. Part 2 of the agreement details potential for additional study/analysis, which may result from the Working Group discussion, however, any additional work would require Council authorization.</p> <p>Approve professional services agreement with Snyder and Associates to provide a third party review of alternatives and issues related to construction of a road near NW 54th Avenue and Birchwood Court.</p>



## STANDARD PROFESSIONAL SERVICES AGREEMENT (Short Form)

NOW ON THIS \_\_\_\_ day of \_\_\_\_\_, 2016, **Snyder & Associates, Inc.**,  
2727 SW Snyder Boulevard., Ankeny, IA 50023 (hereinafter, Professional), and  
City of Johnston, 6221 Merle Hay Rd, Johnston, IA 50131  
(hereinafter, Client) do hereby agree as follows:

1. **PROJECT:** Professional agrees to provide Professional Services (Services) for Client's project known and identified as: Foxboro Rd/Birchwood Ct Extension Review
2. **SCOPE AND FEES:** The Scope of and the fees to be paid for said Services are set forth on Exhibit A attached hereto and by this reference made a part of this Agreement. Any Services not shown on Exhibit A shall be considered Additional Services. Additional Services may only be added by written change order, amendment or supplement to this agreement signed by both parties.
3. **TIMELINESS:** Professional will perform its services with reasonable diligence and expediency consistent with sound professional practices and within the time period(s), if any, set forth in Exhibit A.
4. **STANDARD OF CARE:** In providing Services under this Agreement, the Professional shall perform in a manner consistent with that degree of care and skill ordinarily exercised by members of the same professional discipline currently practicing under similar circumstances at the same time and in the same or similar locality. Professional makes no warranty, express or implied, as to its professional services rendered under this Agreement. Client shall promptly report to Professional any defects or suspected defects in the Professional's Services of which Client becomes aware. Withholdings, deductions or offsets shall not be made from the Professional's compensation for any reason unless the professional has been found to be legally liable for such amounts by a court of competent jurisdiction.
5. **INVOICE, PAYMENT, INTEREST, SUSPENSION:** Professional shall prepare invoices in accordance with its standard invoicing practices and submit the invoice(s) to Client on a monthly basis. Client agrees to timely pay each invoice within 30 days of the invoice date. Payments not paid within said 30 days shall accrue interest on unpaid balances at the rate of 1.5% per month (or the maximum rate of interest permitted by law, if less) from said 30th day. In addition, Professional may, after giving 7 days written notice to Client, suspend services under this Agreement until Professional has been paid in full for Services, interest, expenses and other related charges rendered, accrued, advanced and/or incurred by Professional to the date of suspension. ~~Client waives any and all claims against Professional arising out of or resulting from said suspension.~~ Payments will be credited first to interest, then to expenses, then to principal.
6. **RELIANCE:** The Client shall furnish, at its expense, all information, requirements, reports, data, surveys and instructions required by this Agreement and Professional may use such furnished information and material in performing its services and is entitled to rely upon the accuracy and completeness thereof. The Professional shall not be held responsible for any errors or omissions that may arise as a result of erroneous or incomplete information provided by the Client and/or the Client's consultants and contractors.
7. **ASSIGNMENT:** Client shall not transfer, sublet or assign any rights or duties under or interest in this Agreement, without the prior written consent of Professional.
8. **OWNERSHIP OF INSTRUMENTS OF SERVICE:** All reports, drawings, specifications, electronic and hard copy files, field data, notes and other documents and instruments prepared by Professional for the Project are acknowledged to be instruments of service and shall remain the property of the Professional. The Professional shall retain all common law, statutory and other reserved rights, including, without limitation, the copyrights thereto. If Professional agrees to allow transfer of its electronic media file(s), Client understands and agrees that as a condition precedent, it will sign the Professional's "Electronic Media Transfer Agreement" form prior to the transfer of an electronic media file.

**ADDITIONAL TERMS AND CONDITIONS**

- 9. **MUTUAL INDEMNIFICATION:** The Professional and the Client mutually agree, to the fullest extent permitted by law, to indemnify and hold each other harmless from any and all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, arising from their own negligent acts, errors or omissions, or willful misconduct in the performance of their services, duties and responsibilities under this Agreement, to the extent that each party is responsible for such damages, liabilities and costs on a comparative basis of fault.
- 10. **MUTUAL WAIVERS:** Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, neither the Client nor the Professional, their respective officers, directors, partners, employees, contractors or subconsultants shall be liable to the other or shall make any claim for any incidental, indirect or consequential damages arising out of or connected in any way to the Project or to this Agreement.
- 11. **LIMITATION:** In allocating the risks of this Project and notwithstanding any other provision of this Agreement, the Client agrees to limit, to the maximum extent permitted by law, the Professional's liability for the Client's damages to the aggregate sum of the Professional's fee for this Project. This limitation shall apply regardless of the cause of action or legal theory pled or asserted.
- 12. **DISPUTE RESOLUTION:** Any disputes that arise during the Project or following the completion of the Project will be resolved by representatives from each party who have authority to settle. Those issues not resolved shall be submitted to formal nonbinding mediation prior to submission to a court of competent jurisdiction. Each party shall endeavor to include a similar dispute resolution in all agreements with other consultants, contractors and subcontractors of any tier who are retained for the project so that formal mediation is required as the primary form of dispute resolution.
- 13. **SEVERABILITY:** If any term or provision of this Agreement is held to be invalid or unenforceable under any applicable statute or rule of law, such holding shall be applied only to the provision so held, and the remainder of this Agreement shall remain in full force and effect.
- 14. **SURVIVAL:** Notwithstanding completion or termination of this Agreement for any reason, all rights duties and obligations of the parties to this Agreement shall survive such completion or termination and remain in full force and effect until fulfilled.
- 15. **GOVERNING LAW AND JURISDICTION:** The Client and the Professional agree that this Agreement and any legal actions concerning its validity, interpretation and performance shall be governed by the laws of the State of Iowa, without regard to any conflict of laws provisions, which may apply the laws of other jurisdictions. It is further agreed that any legal action between the Client and the Professional arising out of this Agreement or the performance of the services shall be brought in a court of competent jurisdiction in the State of Iowa.
- 16. **ATTORNEYS FEES, COSTS:** In the event legal action is necessary to enforce the payment terms of this Agreement, Professional shall be entitled to collect from Client and Client agrees to pay to Professional any judgment or settlement sum(s) due, plus reasonable attorneys' fees, court costs and other expenses incurred by Professional for such collection action and, in addition, the reasonable value of the Professional's time and expenses spent for such collection action, computed according to the Professional's prevailing fee schedule and expense policy.
- 17. **INCORPORATION BY REFERENCE:** It is understood and agreed that the provisions of the following attached Exhibits are incorporated herein and by this reference made a part of this Agreement:

**Exhibit A Scope of Services**  
**Exhibit**  
 City of Johnston \_\_\_\_\_ (Client)  
 By: \_\_\_\_\_  
 (Authorized agent)  
 \_\_\_\_\_  
 (Printed or typed signature)

**Exhibit**  
**Exhibit**  
 SNYDER & ASSOCIATES, INC. (Professional)  
 By: Mark A. Land  
 (Authorized agent)  
 Mark A. Land  
 \_\_\_\_\_  
 (Printed or typed signature)

Route executed copy to: Mark Perington

## EXHIBIT A - SCOPE OF SERVICES

CLIENT: CITY OF JOHNSTON  
6221 MERLE HAY RD  
JOHNSTON, IA 50131

PROFESSIONAL: SNYDER & ASSOCIATES, INC.  
2727 SW SNYDER BLVD  
ANKENY, IOWA 50023

PROJECT: FOXBORO RD/BIRCHWOOD CT EXTENSION REVIEW

DATE: 8/23/2016

### GENERAL:

Provide assistance to City staff as a third party review of alternatives and issues associated with a potential roadway connection between Birchwood Ct and NW 54<sup>th</sup> Avenue or NW 72<sup>nd</sup> Street. Alignment connection may or may not extend from an alignment with the current intersection of Foxboro Rd at NW 54<sup>th</sup> Avenue.

### SCOPE OF SERVICES:

#### Part 1 – Initial Issue Identification/Working Group

1. Attend coordination meeting with City staff and meeting facilitator to understand background studies, issues, land use plans, development proposals, etc. to plan for Working Group meeting(s) with assembled group of City staff and neighborhood leaders.
2. Review background information as needed to prepare for and attend initial Working Group meeting to be conducted by meeting facilitator, City staff, and elected officials.
3. Per issues identified at initial Working Group meeting develop basic answers/comments to simple questions/issues raised by Working Group for use by City staff. Utilize background information, studies, land use plans as reference.
4. For more complex items provide list of possible data collection efforts, work review tasks, or alternatives analysis to address Working Group identified issues and concerns. Prepare estimate of labor effort/budget to complete work for feedback and reporting for Working Group at follow up meeting(s). Meet with City staff to review both items for planning additional work efforts.

#### Part 2- Issues & Alternatives Analysis (to be further defined)

5. Complete Analysis tasks as directed by City Staff and per Part 1 identification.
6. May incorporate the following:
  - a. detailed review of historic planning and studies,
  - b. field data collection,
  - c. alternatives analysis,
  - d. concept layouts on aerial mapping,
  - e. budget level cost opinions,
  - f. technical memorandum(s),
  - g. and further meeting participation with City staff, Working Group, and/or City Council





MB

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016 Meeting

<b>SUBJECT:</b> Consideration of Resolution No. 16-193—A Resolution approving Change Order No. 2 for the E of Merle Hay Road NW 55 <sup>th</sup> Ave Improvements Project-Phase 1B	<b>ACTION REQUIRED:</b> <input type="checkbox"/> Ordinance <input checked="" type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
--	--

**SYNOPSIS:**

H&W Contracting, LLC. has submitted a change order on the E of Merle Hay Road NW 55<sup>th</sup> Ave Improvements Project-Phase 1B.

Change order no. 2 is to reduce retainage from 5% to 1% on the project.

**FISCAL IMPACT**

Total of change order \$ 0  
The funds for this change order are located within the project fund.

**RECOMMENDATION:**

Approval

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Consideration of Resolution No. 16-193-A Resolution approving Change Order No. 2 for the E of Merle Hay Road NW 55<sup>th</sup> Ave Improvements Project-Phase 1B.

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Brown	_____	_____	_____	_____
Temple	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____

**RESOLUTION NO. 16-193**

A RESOLUTION APPROVING CHANGE ORDER NO. 2 FOR THE  
E OF MERLE HAY ROAD NW 55<sup>TH</sup> AVE IMPROVEMENTS PROJECT-PHASE 1B.

WHEREAS, Adam Schott, Resident Engineer, for Foth Infrastructure &  
Environment, LLC, has reviewed the quantities for the projects construction and  
recommends modifications, now therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA,  
that:

Change Order No. 2 is to reduce retainage from 5% to 1% on the project.

PASSED AND APPROVED this 6th day of September, 2016.

\_\_\_\_\_  
Mayor, Paula Dierenfeld

ATTEST:

\_\_\_\_\_  
Cyndee Rhames, City Clerk

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Brown	_____	_____	_____	_____
Temple	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____

# CHANGE ORDER 02



Department of Public Works  
 6400 Beaver Drive, PO Box 410  
 Johnston, IA 50131-0410  
 (515) 278-0822 Fax (515) 727-8092

Distribution:  
 Owner - Finance \_\_\_\_\_  
 Owner - Public Works \_\_\_\_\_  
 Engineer \_\_\_\_\_  
 Contractor \_\_\_\_\_

Contractor: **H&W Contracting LLC**  
**3416 W Hovland Dr**  
**Sioux Falls, SD 57107**

Project Title	<b>East Merle Hay Road NW 55th Avenue Improvements (Phase 1B)</b>	
Johnston Project File Number	<b>334.1B</b>	
Folh Project File Number	<b>13J021.01</b>	
Orig. Contract Amount & Date	<b>\$3,453,645.45</b>	<b>March 16, 2015</b>
Change Order Number	<b>2</b>	
Date	<b>August 26, 2016</b>	

**THE CONTRACT IS CHANGED AS FOLLOWS:**

Item No.	Item Code	Description	Unit	Unit Price	Quantity Adjustment	Value Adjustment
		REDUCE RETAINAGE FROM 5% TO 1%				\$0.00
						\$0.00
						<b>\$0.00</b>

CHANGE ORDER SUMMARY	
The Original Contract Sum was	<b>\$3,453,645.45</b>
Net Change by previously authorized Change Orders	<b>\$5,338.45</b>
The Contract Sum prior to This Change Order was	<b>\$3,458,983.90</b>
The Contract Sum will be <b>Increased</b> by this Change Order in the amount of	<b>\$0.00</b>
<b>The new Contract Sum including this Change Order will be</b>	<b>\$3,458,983.90</b>
The Contract Time will be <b>unchanged</b> by	<b>0 Days</b>

**NOT VALID UNTIL SIGNED BY THE CONTRACTOR, OWNER'S REPRESENTATIVE (if applicable) AND OWNER**

<b>Prepared By:</b> Folh Infrastructure & Environment, LLC	<b>Recommended By:</b> H&W Contracting LLC	<b>Checked By:</b> City of Johnston
Signature: <i>Adam Schott</i>	Signature: <i>Cody Rognes</i>	Signature:
Name: Adam Schott	Name: Cody Rognes	Name:
Title: Resident Engineer	Title: Project Manager	Title:
Date: <i>8-26-16</i>	Date: <i>8-31-16</i>	Date:

<b>Owner:</b>	<b>City of Johnston</b>
<input type="checkbox"/> ≤	\$500 Department Director X _____ C Date _____
<input type="checkbox"/>	\$501 to \$2,500 City Administrator X _____ C Date _____
<input type="checkbox"/>	_____ Date _____
<input type="checkbox"/> >	\$2,501 City Council approved or ratified at Council meeting on _____ Date _____

MG



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Pay Request No. 19 to H&amp;W Contracting, LLC in the amount of \$137,206.60 for work completed as of August 26, 2016 on E of Merle Hay Road NW 55<sup>th</sup> Ave Improvements project- Phase 1B.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
--	--

**SYNOPSIS:**

Attached is Pay Request No 19 in the amount of \$137,206.60 work completed as of September 26, 2016 on the E of Merle Hay Road NW 55<sup>th</sup> Ave Improvements project – phase 1B.

\$32,126.15 is the new retainage after the reduction.

Adam Schott, Resident Engineer, with Foth Infrastructure & Environment LLC has determined that work has been performed by the contractor in accordance with the approved plans and specifications, the quantities have been checked and he is recommending payment as provided by the projects contract.

A copy of Pay Estimate No. 19 is attached.

**FISCAL IMPACT**

The funds for this payment will come from account 334

**RECOMMENDATION:**

Staff is recommending approval of Pay Estimate No. 19

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Approval of Pay Request No.19 to H&W Contracting LLC for work completed as of September 26, 2016 on the E of Merle Hay Road NW 55<sup>th</sup> Ave Improvements Project – phase 1B.

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



Department of Public Works  
 6221 Merle Hay Road  
 Johnston, IA 50131  
 Phone: 515-278-2344  
 Fax: 515-278-2033

# PAY REQUEST 19

Contractor:

H&W Contracting LLC  
 3416 W Hovland Dr  
 Sioux Falls, SD 57107

Project Title	East Merle Hay Road NW 55th Ave Improvements (Phase 1B)		
Johnston Project File No.	334.1B	Project Number	13J021.01
Purchase Order Number			
Orig. Contract Amount & Date	\$3,453,645.45	3/16/2015	
Notice to Proceed Date	3/23/2015		
Estimated Completion Date	5/15/2016		
Pay Period	7/1/2016	to	8/26/2016
Pay Request Number	19		
Date	8/26/2016		
Contract ID			

BID ITEMS									
Item No.	Fund.Dept.Object No.	Item Code	Description	Unit	Est. Qty.	Unit Price	Extended Price	Quantity Completed	Value Completed
<b>DIVISION 2 - EARTHWORK, SUBGRADE AND SUBBASE</b>									
2.1	5.768.67670	2010-C-1000	CLEARING & GRUBBING	LS	1	\$325,000.00	\$325,000.00	1.00	\$325,000.00
2.2	5.768.67670	2010-D-1000	TOPSOIL, ON SITE	CY	2,300	\$6.00	\$13,800.00	2300.00	\$13,800.00
2.3	5.768.67670	2010-D-3000	TOPSOIL, FURNISH	CY	500	\$18.00	\$9,000.00	524.00	\$9,432.00
2.4	5.768.67670	2010-E-1000	EXCAVATION, CLASS 10, ROADWAY AND WASTE	CY	8,425	\$12.00	\$101,100.00	8425.00	\$101,100.00
2.5	5.768.67670	2010-G-1012	SUBGRADE PREPARATION, 12 IN.	SY	8,994	\$5.00	\$44,970.00	8994.00	\$44,970.00
2.6	5.768.67670	2010-I-1006	MODIFIED SUBBASE, 6 IN	SY	0	\$12.30	\$0.00	0.00	\$0.00
2.7	5.768.67670	2010-J-1000	REMOVALS, AS PER PLAN	LS	1	\$10,000.00	\$10,000.00	1.00	\$10,000.00
2.8	5.768.67670	2010-J-1100	REMOVAL OF STRUCTURES	EA	1	\$500.00	\$500.00	1.00	\$500.00
2.9	5.768.67670	2010-J-1200	REMOVAL AND RELOCATION OF MAILBOXES	EA	28	\$250.00	\$7,000.00	28.00	\$7,000.00
2.10	5.768.67670	2010-J-3000	REMOVAL OF WATER MAIN	LF	2,990	\$12.50	\$37,375.00	2990.00	\$37,375.00
2.11	5.768.67670	2010-K-1000	ABANDON CISTERN/SEPTIC TANK	EA	3	\$1,500.00	\$4,500.00	3.00	\$4,500.00
2.12	5.768.67670	2010-C-1003	FLY ASH, CLASS C	TON	90	\$50.00	\$4,500.00	90.00	\$4,500.00
2.13	5.768.67670	2010-H-1018	SUBGRADE TREATMENT, FLY ASH, 18 IN.	SY	865	\$10.00	\$8,650.00	865.00	\$8,650.00
2.14	5.768.67670	2010-I-1006A	MODIFIED SUBBASE, RECYCLED MATERIAL, 6 IN.	SY	9,859	\$11.85	\$116,829.15	9859.00	\$116,829.15
<b>DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION</b>									

3.1	5.768.67670	3010-E-1901	SEWER PIPE SUPPORT OVER EXISTING UTILITY	EA	8	\$2,000.00	\$16,000.00	0.00	\$0.00
3.2	5.768.67670	3010-E-2901	SEWER PIPE SUPPORT OVER EXISTING UTILITY, LARGE DIAMETER	EA	1	\$3,800.00	\$3,800.00	1.00	\$3,800.00

<b>DIVISION 4 - SEWERS AND DRAINS</b>									
4.1	5.768.67670	4010-A-1008	SANITARY SEWER GRAVITY MAIN, TRENCHED, 8" (INCLUDES DEWATERING)	LF	491	\$105.00	\$51,555.00	491.00	\$51,555.00
4.2	5.768.67670	4010-A-1010	SANITARY SEWER GRAVITY MAIN, TRENCHED, 10" (INCLUDES DEWATERING)	LF	2,407	\$110.00	\$264,770.00	2407.00	\$264,770.00
4.3	5.768.67670	4010-B-1010	SANITARY SEWER GRAVITY MAIN WITH CASING PIPE, TRENCHED, 10"	LF	16	\$215.00	\$3,440.00	16.00	\$3,440.00
4.4	5.768.67670	4010-E-1004	SANITARY SEWER SERVICE STUB	LF	976	\$85.00	\$82,960.00	976.00	\$82,960.00
4.5	5.768.67670	4060-B-1000	VIDEO INSPECTION OF SANITARY SEWER	LS	1	\$5,800.00	\$5,800.00	1.00	\$5,800.00
<b>DIVISION 5 - WATER MAIN AND APPURTENANCES</b>									
5.1	5.766.67800	5010-A-1006	WATER MAIN, TRENCHED, PVC C900, DR18, 6 IN.	LF	60	\$60.00	\$3,600.00	40.00	\$2,400.00
5.2	5.766.67800	5010-A-1008	WATER MAIN, TRENCHED, PVC C900, DR18, 8 IN.	LF	1,921	\$60.00	\$115,260.00	1921.00	\$115,260.00
5.3	5.766.67800	5010-A-2008	WATER MAIN, TRENCHED, PVC, C900, DR18, 8 IN., RESTRAINED JOINT	LF	1,047	\$80.00	\$83,760.00	1047.00	\$83,760.00
5.4	5.766.67800	5010-C-2000	WATER MAIN FITTINGS	LBS	1,826	\$12.25	\$22,368.50	1726.00	\$21,143.50
5.5	5.766.67800	5010-D-1001	WATER SERVICE STUB, 1 IN.	EA	27	\$2,300.00	\$62,100.00	27.00	\$62,100.00
5.6	5.766.67800	5010-D-1003	WATER SERVICE STUB, 3 IN.	EA	1	\$5,700.00	\$5,700.00	1.00	\$5,700.00
5.7	5.766.67800	5010-D-2001	TEMPORARY WATER SERVICE, 1 IN.	EA	16	\$500.00	\$8,000.00	14.00	\$7,000.00
5.8	5.766.67800	5010-D-2003	TEMPORARY WATER SERVICE, 3 IN.	EA	1	\$2,300.00	\$2,300.00	2.00	\$4,600.00
5.9	5.766.67800	5010-D-2006	TEMPORARY WATER SERVICE, 6 IN.	EA	1	\$5,000.00	\$5,000.00	0.00	\$0.00
5.10	5.766.67800	5020-A-1006	VALVE, GATE, 6 IN.	EA	1	\$975.00	\$975.00	1.00	\$975.00
5.11	5.766.67800	5020-A-1008	VALVE, GATE, 8 IN.	EA	9	\$1,300.00	\$11,700.00	8.00	\$10,400.00
5.12	5.766.67800	5020-C-1000	FIRE HYDRANT ASSEMBLY	EA	9	\$4,400.00	\$39,600.00	9.00	\$39,600.00
5.13	5.766.67800	5020-H-1000	FIRE HYDRANT ADJUSTMENT	EA	2	\$600.00	\$1,200.00	2.00	\$1,200.00
5.14	5.766.67800		REMOVAL OF FIRE HYDRANT ASSEMBLY	EA	6	\$900.00	\$5,400.00	6.00	\$5,400.00
5.15	5.766.67800	5020-D-2000	8 IN. WATER MAIN SLEEVE	EA	2	\$475.00	\$950.00	2.00	\$950.00
<b>DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWER</b>									
6.1	5.768.67670	6010-A-1048	MANHOLE, SANITARY SEWER, SW-301, 48 IN.	EA	9	\$4,000.00	\$36,000.00	9.00	\$36,000.00
6.2	5.768.67670	6010-E-1000	MANHOLE ADJUSTMENT, MINOR	EA	2	\$1,250.00	\$2,500.00	2.00	\$2,500.00
6.3	5.768.67670	6010-G-1000	CONNECTION TO EXISTING MANHOLE	EA	2	\$2,300.00	\$4,600.00	2.00	\$4,600.00

**DIVISION 7 - STREETS & RELATED WORK**

7.1	5.760.67612	7010-A-1007	PAVEMENT, PCC, CLASS C, 7 IN.	SY	8,549	\$62.00	\$530,038.00	8549.00	\$530,038.12
7.2	5.760.67612	7010-G-1000	CONCRETE MEDIAN	SY	30	\$60.00	\$1,800.00	6.90	\$414.00
7.3	5.760.67612	7030-A-1000	REMOVAL OF SIDEWALK AND SHARED USE PATH	SY	170	\$12.00	\$2,040.00	170.00	\$2,040.00
7.4	5.760.67612	7030-A-2000	REMOVAL OF DRIVEWAY	SY	1,102	\$12.00	\$13,224.00	1102.00	\$13,224.00
7.5	5.760.67612	7030-C-1006	SHARED USE PATH, PCC, 6 IN	SY	52	\$40.00	\$2,080.00	52.00	\$2,080.00
7.6	5.760.67612	7030-D-1000	SPECIAL SUBGRADE PREPARATION FOR SHARED USE PATHS	SY	97	\$12.50	\$1,212.50	97.00	\$1,212.50
7.7	5.760.67612	7030-E-1004	SIDEWALK, PCC, 4 IN	SY	1,429	\$32.00	\$45,728.00	1429.00	\$45,728.00
7.8	5.760.67612	7030-E-1006	SIDEWALK, PCC, 6 IN	SY	4	\$40.00	\$160.00	4.00	\$160.00
7.9	5.760.67612	7030-G-1000	DETECTABLE WARNINGS	SF	42	\$40.00	\$1,680.00	42.00	\$1,680.00
7.10	5.760.67612	7030-H-1006	DRIVEWAY, PCC, 6 IN	SY	1,532	\$40.00	\$61,280.00	1532.00	\$61,280.00
7.11	5.760.67612	7030-H-1007	DRIVEWAY, PCC, 7 IN	SY	507	\$43.00	\$21,801.00	507.00	\$21,801.00
7.12	5.760.67612	7030-H-2000	DRIVEWAY, GRANULAR	TON	106	\$26.00	\$2,756.00	0.00	\$0.00
7.13	5.760.67612	7040-H-1000	PAVEMENT REMOVAL	SY	195	\$25.00	\$4,875.00	195.00	\$4,875.00
7.14	5.760.67612		TEMPORARY GRANULAR ACCESS ROADWAY	TON	3,500	\$35.00	\$122,500.00	3236.41	\$113,274.35

**DIVISION 8 - TRAFFIC SIGNALS AND TRAFFIC CONTROL**

8.1	5.760.67615		PAINTED PAVEMENT MARKINGS, DURABLE	STA	27	\$265.00	\$7,075.50	21.00	\$5,565.00
8.2	5.760.67615		PAINTED SYMBOLS AND LEGENDS, DURABLE	EA	4	\$880.00	\$3,520.00	4.00	\$3,520.00
8.3	5.760.67615		REMOVAL OF PAVEMENT MARKINGS	STA	1	\$150.00	\$75.00	0.50	\$75.00
8.4	5.760.67615		TRAFFIC CONTROL	LS	1	\$9,000.00	\$9,000.00	1.00	\$9,000.00

**DIVISION 9 - SITEWORK AND LANDSCAPING**

9.1	5.760.67170	9010-B-1100	HYRAULIC SEEDING, FERTILIZING, AND MULCHING, TYPE 1 (PERM. LAWN MIX)	ACRE	2.38	\$3,950.00	\$9,401.00	2.38	\$9,401.00
9.2	5.760.67170	9010-B-1400	HYRAULIC SEEDING, FERTILIZING, AND MULCHING, TYPE 4 (URBAN TEMP. MIX)	ACRE	2.38	\$1,750.00	\$4,165.00	2.38	\$4,165.00
9.3	5.760.67170	9010-D-1000	WATERING	MGAL	208	\$50.00	\$10,400.00	92.00	\$4,600.00
9.4	5.760.67170	9010-E-1000	WARRANTY	LS	1	\$3,000.00	\$3,000.00	0.00	\$0.00
9.5	5.760.67170	9040-A-2000	STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MANAGEMENT	LS	1	\$4,000.00	\$4,000.00	0.95	\$3,800.00
9.6	5.760.67170	9040-D-1000	FILTER SOCKS, INSTALLATION	LF	2,800	\$2.00	\$5,600.00	40.00	\$80.00
9.7	5.760.67170	9040-D-2000	FILTER SOCKS, REMOVAL	LF	2,800	\$0.30	\$840.00	40.00	\$12.00
9.8	5.760.67170	9040-T-1000	INLET PROTECTION	EA	15	\$150.00	\$2,250.00	15.00	\$2,250.00
9.9	5.760.67170	9040-T-2000	INLET PROTECTION, MAINTENANCE	EA	15	\$20.00	\$300.00	15.00	\$300.00
9.10	5.760.67170	9060-A-2519	FIELD FENCE, 47 IN. WOVEN WIRE	LF	445	\$7.25	\$3,226.25	445.00	\$3,226.25
9.11	5.760.67170	9060-E-1000	REMOVAL OF FENCE	LF	328	\$3.50	\$1,148.00	328.00	\$1,148.00
9.12	5.760.67170	9060-F-1000	TEMPORARY CONSTRUCTION FENCE	LF	2,000	\$2.00	\$4,000.00	1245.00	\$2,490.00
9.13	5.760.67170		TREE PROTECTION	EA	25	\$160.00	\$4,000.00	0.00	\$0.00

**DIVISION 12 - STRUCTURES**

12.1	5.760.67650	4020-A-1015	STORM SEWER, TRENCHED, RCP, CLASS V, 15 IN. (GASKETED)	LF	2,825	\$80.00	\$226,000.00	2825.00	\$226,000.00
12.2	5.760.67650	4020-A-1018	STORM SEWER, TRENCHED, RCP, CLASS V, 18 IN. (GASKETED)	LF	13	\$90.00	\$1,170.00	13.00	\$1,170.00
12.3	5.760.67650	4020-A-2000	SPECIAL PIPE CONNECTION, STORM SEWER, SW-211	EA	1	\$4,000.00	\$4,000.00	1.00	\$4,000.00
12.4	5.760.67650	4040-E-1008	STORM SEWER SERVICE STUB, DUAL WALL PVC, PERFORATED, 8"	LF	23	\$50.00	\$1,150.00	23.00	\$1,150.00
12.5	5.760.67650		FIELD TILE AND FITTINGS, PVC, UNSPECIFIED DIA.	LF	300	\$12.00	\$3,600.00	0.00	\$0.00
12.6	5.760.67650	4060-B-2000	VIDEO INSPECTION OF STORM SEWER	LS	1	\$5,676.00	\$5,676.00	1.00	\$5,676.00

12.7	5.760.67650	6010-A-1048	MANHOLE, STORM SEWER, SW-401, 48 IN.	EA	1	\$3,800.00	\$3,800.00	2.00	\$7,600.00	
12.8	5.760.67650	6010-A-2048	MANHOLE, STORM SEWER, SW-401 MODIFIED, 48 IN	EA	10	\$4,000.00	\$40,000.00	10.00	\$40,000.00	
12.9	5.760.67650	6010-B-1504	INTAKE, SINGLE GRATE W/ FLUSH TOP MANHOLE, SW-504	EA	1	\$3,600.00	\$3,600.00	1.00	\$3,600.00	
12.10	5.760.67650	6010-B-1506	SPECIAL INTAKE, DOUBLE GRATE INTAKE W/ MANHOLE, SW-506 MODIFIED WQ	EA	12	\$13,500.00	\$162,000.00	12.00	\$162,000.00	
12.11	5.760.67650	6010-B-1512	INTAKE, CIRCULAR AREA, SW-512, 24 IN DIA	EA	2	\$2,100.00	\$4,200.00	2.00	\$4,200.00	
12.12	5.760.67650	4040-B-1006	INTAKE DRAIN AND FITTINGS, DUAL WALL PVC, PERFORATED, 6"	EA	12	\$1,050.00	\$12,600.00	12.00	\$12,600.00	
12.13	5.760.67650		TEMPORARY INTAKE GROUTING, INSTALL AND REMOVE	EA	12	\$800.00	\$9,600.00	12.00	\$9,600.00	
12.14	5.760.67650	3010-E-1000	POROUS BACKFILL, 1" CLEAN	TON	950	\$35.00	\$33,250.00	733.00	\$25,655.00	
12.15	5.760.67650	3010-E-3000	POROUS BACKFILL, 3" CLEAN	TON	40	\$35.00	\$1,400.00	40.00	\$1,400.00	
12.16	5.760.67650		STORMWATER CHAMBER AND FITTINGS	EA	12	\$9,000.00	\$108,000.00	12.00	\$108,000.00	
12.17	5.760.67650	9070-A-1000	MODULAR BLOCK RETAINING WALL - BIORETENTION BASIN	EA	12	\$6,000.00	\$72,000.00	12.00	\$72,000.00	
12.18	5.760.67650		CONCRETE WALL CAP AND LANDSCAPING APRON	EA	12	\$11,750.00	\$141,000.00	12.00	\$141,000.00	
12.19	5.760.67650		ORNAMENTAL METAL RAILING	EA	12	\$2,500.00	\$30,000.00	12.00	\$30,000.00	
12.20	5.760.67650	3010-E-1325	SEPERATION LAYER, POROUS, 3/8" CLEAN	TON	15	\$200.00	\$3,000.00	15.00	\$3,000.00	
12.21	5.760.67650		BIORETENTION BASIN PLANTING MEDIUM	CY	2,880	\$65.00	\$187,200.00	107.00	\$6,955.00	
							<b>TOTAL</b>	<b>\$3,458,983.90</b>		<b>\$3,212,614.87</b>

**MATERIALS STORED SUMMARY**

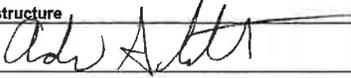
Description	# of Units	Unit Price	Extended Cost
Stormwater Chamber Materials (6 Total Remaining)	0	\$13,345.00	\$0.00
Cretex 15" x 8' CL 5 RCP (8' stick x 19 sticks = 152 LF)	0	\$17.43	\$0.00
Storm MH S-16	0	\$1,334.90	\$0.00
Storm Special Intakes, S-14, and base of S-15	0	\$6,000.00	\$0.00
<b>TOTAL</b>			<b>\$0.00</b>

**PAY REQUEST SUMMARY**

	Total Approved	Total Completed
Contract Price	\$3,453,645.45	\$3,212,614.87
Approved Change Order 1	\$5,338.45	\$0.00
Approved Change Order 2	\$0.00	\$0.00
Approved Change Order 3	\$0.00	\$0.00
Revised Contract Price	\$3,458,983.90	\$3,212,614.87
Materials Stored		\$0.00
Retainage 1%		\$32,126.15
Total Earned Less Retainage		\$3,180,488.73
Total Previously Approved (list each)	Pay Request 1	\$394,351.46
	Pay Request 2	\$144,414.54
	Pay Request 3	\$101,030.02
	Pay Request 4	\$35,613.12
	Pay Request 5	\$96,723.06
	Pay Request 6	\$0.00
	Pay Request 7	\$195,309.79
	Pay Request 8	\$513,395.77
	Pay Request 9	\$104,389.48
	Pay Request 10	\$56,853.78
	Pay Request 11	\$121,755.76
	Pay Request 12	\$437,118.08
	Pay Request 13	\$89,022.22
	Pay Request 14	\$267,430.44
	Pay Request 15	\$110,083.82
	Pay Request 16	\$293,877.04
	Pay Request 17	\$51,841.50
	Pay Request 18	\$30,072.25
Total Previously Approved		\$3,043,282.13
<b>Amount Due This Request</b>		<b>\$137,206.60</b>
Percent Complete		92.9%
Percent of Contract Period Utilized (In Calendar Days, Based on Notice to Proceed Date & Contract Completion Date)		124.6%

The amount **\$137,206.60** is recommended for approval for payment in accordance with the terms of the Contract.

Fund.Dept.Object	Item Description	TOTAL AMOUNT TO DATE
5.760.67400	ROW	\$0.00
5.760.67610	STREETS AND BRIDGES	\$0.00
5.760.67612	SIDEWALK	\$797,806.97
5.760.67615	TRAFFIC CONTROL	\$18,160.00
	TRAFFIC SIGNAL	\$0.00
5.760.67170	STREETSCAPE	\$31,472.25
5.760.67650	STORM DRAINAGE	\$865,606.00
5.766.67800	WATER MAIN, HYDRANT	\$360,488.50
5.768.67670	SANITARY SEWER	\$1,139,081.15
5.760.67616	UTILITY RELOCATION	\$0.00

<b>Contractor:</b> H&W Contracting LLC	<b>Recommended By:</b> Foth Infrastructure	<b>Checked By:</b> City of Johnston
Signature: 	Signature: 	Signature:
Name: Cody Rognes	Name: Adam Schott	Name:
Title: Project Manager	Title: Resident Engineer	Title:
Date: 8-24-16	Date: 8-26-16	Date:



ML

OFFICE OF THE CITY ADMINISTRATOR  
Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Pay Request No. 12 to Alliance Construction Group in the amount of \$499,107.98 for work completed as of August 19, 2016 on the NW 70<sup>th</sup> Avenue Improvements 98<sup>th</sup> Street to West City limits.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
---	--

**SYNOPSIS:**

Attached is Pay Request No 12 in the amount of \$499,107.98 for work completed as of August 19, 2016 on the NW 70<sup>th</sup> Avenue Improvements 98<sup>th</sup> Street to West City limits.

\$207,052.57 of the value of completed work has been retained so far.

The Project Engineer, Patrick Kueter with Foth, has determined that work has been performed by the contractor in accordance with the approved plans and specifications, the quantities have been checked and he is recommending payment as provided by the projects contract.

A copy of Pay Estimate No. 12 is attached.

**FISCAL IMPACT**

The funds for this payment will come from account 346

**RECOMMENDATION:**

Staff is recommending approval of Pay Estimate No. 12

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Approval of Pay Request No.12 to Alliance Construction Group for work completed as of August 19, 2016 on the NW 70<sup>th</sup> Avenue Improvements 98<sup>th</sup> Street to West City limits.

<b>ROLL CALL VOTE:</b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Clabaugh	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cope	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lindeman	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Temple	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



Department of Public Works  
 6221 Merle Hay Road  
 Johnston, IA 50131  
 Phone (515) 278-2344  
 Fax (515) 278-2033

**PAY REQUEST 12**

**Contractor:** Alliance Construction Group  
 3000 SE Grimes Blvd, #800  
 Grimes, IA 50111

**Division 1** City of Johnston  
**Division 2** City of Grimes

<b>Project Title:</b> NW 70th Avenue Improvements 98th Street to West City Limits	
<b>Project File Number:</b>	<b>Project Number:</b> 13J020.02
<b>Purchase Order Number:</b>	
<b>Original Contract Amount &amp; Date</b>	\$7,361,434.50 12/21/2015
<b>Notice to Proceed Date</b> 2/29/2016	
<b>Estimated Completion Date</b> 10/14/2016	
<b>Pay Period</b>	7/31/2016 to 8/13/2016
<b>Pay Request Number</b> 12	
<b>Date</b> 8/19/2016	
<b>Contract ID</b>	

BID ITEMS														
Item No.	Fund.Dept.Object No.	Item Code	Description	Unit	Div. 1 Qty.	Div. 2 Qty.	Unit Price	Div. 1 Cost	Div. 2 Cost	Div. 1 Qty. Completed	Div. 2 Qty. Completed	Div. 1 Val. Completed	Div. 2 Val. Completed	Total Value Completed
<b>DIVISION 2 - EARTHWORK, SUBGRADE AND SUBBASE</b>														
2.1	5.760.67170	2010-C-1000	CLEARING & GRUBBING	LS	0.586	0.414	\$20,000.00	\$11,720.00	\$8,280.00	0.44	0.31	\$8,800.00	\$6,200.00	\$15,000.00
2.2	5.760.67170	2010-D-1000	TOPSOIL, ON SITE	CY	10,284	965	\$18.00	\$164,544.00	\$15,440.00	4501.00	0.00	\$72,016.00	\$0.00	\$72,016.00
2.3	5.760.67610	2010-E-1010	EXCAVATION, CLASS 10, ROADWAY & BORROW	CY	47,492	2,331	\$8.00	\$379,936.00	\$18,648.00	34492.00	2331.00	\$275,936.00	\$18,648.00	\$294,584.00
2.4	5.760.67610	2010-G-1012	SUBGRADE PREPARATION, 12 IN.	SY	9,853	3,244	\$5.00	\$49,265.00	\$16,220.00	8490.48	3244.00	\$42,452.39	\$16,219.98	\$58,672.37
2.5	5.760.67610	2010-G-1018	SUBGRADE PREPARATION, 18 IN.	SY	26,182	0	\$3.50	\$91,637.00	\$0.00	9483.08	0.00	\$33,190.71	\$0.00	\$33,190.71
2.6	5.760.67610	2010-I-1000	MODIFIED SUBBASE	CY	7,264	1,081	\$54.00	\$392,256.00	\$58,374.00	4408.00	1081.00	\$238,032.00	\$58,374.00	\$296,406.00
2.7	5.760.67616	2010-J-1100	REMOVALS, AS PER PLAN	LS	1	0	\$3,200.00	\$3,200.00	\$0.00	1.00	0.00	\$3,200.00	\$0.00	\$3,200.00
2.8	5.760.67170	2010-J-1120	RELOCATION OF MAILBOXES	EA	5	0	\$200.00	\$1,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
2.9	5.760.67650	2010-J-2200	REMOVAL OF CULVERT LESS THAN OR EQUAL TO 36 IN.	LF	35	0	\$30.00	\$1,050.00	\$0.00	35.00	0.00	\$1,050.00	\$0.00	\$1,050.00
2.10	5.766.67800	2010-J-3000	REMOVAL OF WATER MAIN	LF	119	0	\$57.00	\$6,783.00	\$0.00	272.00	0.00	\$15,504.00	\$0.00	\$15,504.00
2.11	5.766.67800	2010-K-1008	FILLING & CAPPING OF PIPE, WATER MAIN, 8 IN.	LF	84	0	\$31.00	\$2,604.00	\$0.00	84.00	0.00	\$2,604.00	\$0.00	\$2,604.00
2.12	5.766.67800	2010-K-1012	FILLING & CAPPING OF PIPE, WATER MAIN, 12 IN.	LF	1,274	0	\$25.00	\$31,850.00	\$0.00	1274.00	0.00	\$31,850.00	\$0.00	\$31,850.00
2.13	5.766.67800	2010-K-1016	FILLING & CAPPING OF PIPE, WATER MAIN, 16 IN.	LF	178	0	\$35.00	\$6,230.00	\$0.00	178.00	0.00	\$6,230.00	\$0.00	\$6,230.00
<b>DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION</b>														
3.1	5.760.67616	3010-C-1000	TRENCH FOUNDATION	TON	500	500	\$32.00	\$16,000.00	\$16,000.00	0.00	0.00	\$0.00	\$0.00	\$0.00

DIVISION 4 - SEWERS AND DRAINS														
4.1	5.768.67670	4010-A-1008	SANITARY SEWER GRAVITY MAIN, TRENCHED, 8 IN.	LF	568	0	\$110.00	\$62,480.00	\$0.00	474.00	0.00	\$52,140.00	\$0.00	\$52,140.00
4.2	5.768.67670	4010-E-1004	SANITARY SEWER SERVICE STUB, TRENCHED, 4 IN.	LF	129	0	\$175.00	\$22,575.00	\$0.00	163.00	0.00	\$28,525.00	\$0.00	\$28,525.00
4.3	5.760.67650	4020-A-1324	STORM SEWER, TRENCHED, RCP, CLASS III, 24 IN.	LF	374	175	\$125.00	\$46,750.00	\$21,875.00	338.75	164.25	\$42,343.75	\$20,531.25	\$62,875.00
4.4	5.760.67650	4020-A-1330	STORM SEWER, TRENCHED, RCP, CLASS III, 30 IN.	LF	166	128	\$250.00	\$41,500.00	\$32,000.00	168.50	130.50	\$42,125.00	\$32,625.00	\$74,750.00
4.5	5.760.67650	4020-A-1336	STORM SEWER, TRENCHED, RCP, CLASS III, 30 IN.	LF	382	208	\$220.00	\$84,040.00	\$45,760.00	267.50	192.50	\$58,850.00	\$42,350.00	\$101,200.00
4.6	5.760.67650	4020-A-1342	STORM SEWER, TRENCHED, RCP, CLASS III, 42 IN.	LF	809	0	\$360.00	\$291,240.00	\$0.00	809.00	0.00	\$291,240.00	\$0.00	\$291,240.00
4.7	5.760.67650	4020-A-1348	STORM SEWER, TRENCHED, RCP, CLASS III, 48 IN.	LF	968	0	\$340.00	\$329,120.00	\$0.00	968.00	0.00	\$329,120.00	\$0.00	\$329,120.00
4.8	5.760.67650	4020-A-1354	STORM SEWER, TRENCHED, RCP, CLASS IV, 54 IN.	LF	623	0	\$285.00	\$177,555.00	\$0.00	623.00	0.00	\$177,555.00	\$0.00	\$177,555.00
4.9	5.760.67650	4020-A-1515	STORM SEWER, TRENCHED, RCP, CLASS V, 15 IN.	LF	2,126	149	\$105.00	\$223,230.00	\$15,845.00	1623.25	200.75	\$170,441.25	\$21,078.75	\$191,520.00
4.10	5.760.67650	4020-A-1518	STORM SEWER, TRENCHED, RCP, CLASS V, 18 IN.	LF	38	22	\$125.00	\$4,750.00	\$2,750.00	92.00	22.00	\$11,500.00	\$2,750.00	\$14,250.00
4.11	5.760.67650	SPECIAL	STORM SEWER, TRENCHED, DIP, 24 IN.	LF	12	0	\$700.00	\$8,400.00	\$0.00	12.00	0.00	\$8,400.00	\$0.00	\$8,400.00
4.12	5.760.67650	4020-C-1000	REMOVAL OF STORM SEWER LESS THAN OR EQUAL TO 36 IN.	LF	552	0	\$50.00	\$27,600.00	\$0.00	751.00	0.00	\$37,550.00	\$0.00	\$37,550.00
4.13	5.760.67650	4020-C-2000	REMOVAL OF STORM SEWER GREATER THAN 36 IN.	LF	517	0	\$75.00	\$38,775.00	\$0.00	547.00	0.00	\$41,025.00	\$0.00	\$41,025.00
4.14	5.760.67650	4030-A-1000	PIPE CULVERT, TRENCHED, CMP, 42 IN.	LF	10	0	\$400.00	\$4,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
4.15	5.760.67650	4030-B-1315	PIPE APRON, CONCRETE, 15 IN.	EA	4	1	\$1,500.00	\$5,250.00	\$750.00	3.50	0.50	\$5,250.00	\$750.00	\$6,000.00
4.16	5.760.67650	4030-B-1354	PIPE APRON, CONCRETE, 54 IN.	EA	2	0	\$5,000.00	\$10,000.00	\$0.00	2.00	0.00	\$10,000.00	\$0.00	\$10,000.00
4.17	5.760.67650	4040-A-1006	SUBDRAIN, PVC, CASE A, 6 IN.	LF	5,539	508	\$13.00	\$72,007.00	\$6,804.00	22.50	7.50	\$292.50	\$97.50	\$390.00
4.18	5.760.67650	4040-A-2006	SUBDRAIN, HDPE, CASE A, 6 IN.	LF	431	65	\$13.00	\$6,603.00	\$845.00	416.00	0.00	\$5,408.00	\$0.00	\$5,408.00
4.19	5.760.67650	4040-A-3006	SUBDRAIN, PVC, BACKSLOPE, 6 IN.	LF	1,000	0	\$22.00	\$22,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
4.20	5.760.67650	4040-C-1000	SUBDRAIN CLEANOUT, TYPE A-1	EA	14.50	2.50	\$500.00	\$7,250.00	\$1,250.00	3.00	0.00	\$1,500.00	\$0.00	\$1,500.00
4.21	5.760.67650	4040-C-1020	SUBDRAIN CLEANOUT, TYPE B	EA	1.75	0.25	\$900.00	\$1,575.00	\$225.00	0.00	0.00	\$0.00	\$0.00	\$0.00
4.22	5.760.67650	4040-D-1010	SUBDRAIN, CONNECTION TO INTAKE OR STORM SEWER	EA	52.25	4.75	\$350.00	\$18,287.50	\$1,662.50	2.75	0.25	\$962.50	\$87.50	\$1,050.00
4.23	5.760.67650	SPECIAL	FIELD TILE, PVC, UNSPECIFIED DIA.	LF	250	250	\$20.00	\$5,000.00	\$5,000.00	98.50	0.00	\$1,970.00	\$0.00	\$1,970.00
4.24	5.760.67650	4060-B-1000	VIDEO INSPECTION OF STORM SEWER	LS	0.586	0.414	\$16,000.00	\$9,376.00	\$6,624.00	0.48	0.34	\$7,680.00	\$5,440.00	\$13,120.00
DIVISION 5 - WATER MAIN AND APPURTENANCES														
5.1	5.766.67800	5010-A-1012	WATER MAIN, TRENCHED, PVC C900, DR18, 12 IN.	LF	663	0	\$45.00	\$29,835.00	\$0.00	663.00	0.00	\$29,835.00	\$0.00	\$29,835.00
5.2	5.766.67800	5010-A-1016	WATER MAIN, TRENCHED, PVC C905, DR18, 16 IN.	LF	214	0	\$70.00	\$14,980.00	\$0.00	214.00	0.00	\$14,980.00	\$0.00	\$14,980.00
5.3	5.766.67800	5010-A-1108	WATER MAIN, TRENCHED, RESTRAINED JOINT, PVC C905, DR18, 8 IN.	LF	40	0	\$85.00	\$3,400.00	\$0.00	40.00	0.00	\$3,400.00	\$0.00	\$3,400.00
5.4	5.766.67800	5010-A-1112	WATER MAIN, TRENCHED, RESTRAINED JOINT, PVC C905, DR18, 12 IN.	LF	337	0	\$80.00	\$26,960.00	\$0.00	337.00	0.00	\$26,960.00	\$0.00	\$26,960.00
5.5	5.766.67800	5010-A-1116	WATER MAIN, TRENCHED, RESTRAINED JOINT, PVC C905, DR18, 16 IN.	LF	257	0	\$150.00	\$38,550.00	\$0.00	257.00	0.00	\$38,550.00	\$0.00	\$38,550.00
5.6	5.766.67800	5010-B-1016	WATER MAIN WITH CASING PIPE, TRENCHED, RESTRAINED JOINT, PVC C905, DR18, 16 IN.	LF	288	0	\$300.00	\$86,400.00	\$0.00	288.00	0.00	\$86,400.00	\$0.00	\$86,400.00
5.7	5.766.67800	5010-C-2000	WATER MAIN FITTINGS	LB	4,314	0	\$7.00	\$30,198.00	\$0.00	4974.00	0.00	\$34,818.00	\$0.00	\$34,818.00
5.8	5.766.67800	5010-D-1002	WATER SERVICE STUB, COPPER, 1 IN.	EA	4	0	\$4,600.00	\$18,400.00	\$0.00	3.00	0.00	\$13,800.00	\$0.00	\$13,800.00
5.9	5.766.67800	SPECIAL	YARD HYDRANT ASSEMBLY	EA	2	0	\$2,000.00	\$4,000.00	\$0.00	2.00	0.00	\$4,000.00	\$0.00	\$4,000.00
5.10	5.766.67800	5020-A-1008	VALVE, GATE, 8 IN.	EA	1	0	\$1,500.00	\$1,500.00	\$0.00	1.00	0.00	\$1,500.00	\$0.00	\$1,500.00
5.11	5.766.67800	5020-A-1012	VALVE, GATE, 12 IN.	EA	5	0	\$2,500.00	\$12,500.00	\$0.00	6.00	0.00	\$15,000.00	\$0.00	\$15,000.00
5.12	5.766.67800	5020-A-1016	VALVE, GATE, 16 IN.	EA	2	0	\$6,500.00	\$13,000.00	\$0.00	2.00	0.00	\$13,000.00	\$0.00	\$13,000.00
5.13	5.766.67800	SPECIAL	REMOVAL OF FIRE HYDRANT ASSEMBLY	EA	5	0	\$2,500.00	\$12,500.00	\$0.00	5.00	0.00	\$12,500.00	\$0.00	\$12,500.00
5.14	5.766.67800	5020-C-1000	FIRE HYDRANT ASSEMBLY	EA	7	0	\$5,000.00	\$35,000.00	\$0.00	7.00	0.00	\$35,000.00	\$0.00	\$35,000.00
5.15	5.766.67800	5020-C-1050	RELOCATE OF FIRE HYDRANT ASSEMBLY	EA	5	1	\$3,500.00	\$17,500.00	\$3,500.00	5.00	1.00	\$17,500.00	\$3,500.00	\$21,000.00
5.16	5.766.67800	5020-F-1000	VALVE BOX EXTENSION	EA	1	0	\$300.00	\$300.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
5.17	5.766.67800	5020-H-1000	FIRE HYDRANT ADJUSTMENT	EA	1	0	\$1,000.00	\$1,000.00	\$0.00	1.00	0.00	\$1,000.00	\$0.00	\$1,000.00
5.18	5.766.67800	SPECIAL	RELOCATION OF WATER MAIN	EA	5	1	\$11,000.00	\$55,000.00	\$11,000.00	1.00	0.00	\$11,000.00	\$0.00	\$11,000.00

**DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWER**

6.1	5.768.67670	6010-A-1048	MANHOLE, SANITARY SEWER, SW-301, 48 IN.	EA	3	0	\$5,500.00	\$16,500.00	\$0.00	3.00	0.00	\$16,500.00	\$0.00	\$16,500.00
6.2	5.760.67650	6010-A-1548	MANHOLE, STORM SEWER, SW-401, 48 IN.	EA	2.75	0.25	\$3,500.00	\$9,825.00	\$875.00	2.00	0.25	\$7,000.00	\$875.00	\$7,875.00
6.3	5.760.67650	6010-A-1580	MANHOLE, STORM SEWER, SW-401, 60 IN.	EA	1.25	0.75	\$5,000.00	\$6,250.00	\$3,750.00	1.25	0.75	\$6,250.00	\$1,750.00	\$10,000.00
6.4	5.760.67650	6010-A-1572	MANHOLE, STORM SEWER, SW-401, 72 IN.	EA	0.75	0.25	\$7,000.00	\$5,250.00	\$1,750.00	0.75	0.25	\$5,250.00	\$1,750.00	\$7,000.00
6.5	5.760.67650	6010-A-1596	MANHOLE, STORM SEWER, SW-401, 96 IN.	EA	2	0	\$30,000.00	\$60,000.00	\$0.00	2.00	0.00	\$60,000.00	\$0.00	\$60,000.00
6.6	5.760.67650	6010-B-1501	INTAKE, SINGLE GRATE, SW-501	EA	9.5	0.5	\$2,500.00	\$23,750.00	\$1,250.00	8.00	1.00	\$20,000.00	\$2,500.00	\$22,500.00
6.7	5.760.67650	6010-B-1501	INTAKE, SINGLE GRATE, SW-501, MOD. 1	EA	1	0	\$3,500.00	\$3,500.00	\$0.00	1.00	0.00	\$3,500.00	\$0.00	\$3,500.00
6.8	5.760.67650	6010-B-1502	INTAKE, SW-502, 48 IN.	EA	3.75	0.25	\$3,500.00	\$13,125.00	\$875.00	3.75	0.25	\$13,125.00	\$875.00	\$14,000.00
6.9	5.760.67650	6010-B-1503	INTAKE, SINGLE GRATE WITH MANHOLE, SW-503	EA	4.50	1.50	\$3,800.00	\$17,100.00	\$5,700.00	5.00	1.00	\$19,000.00	\$3,800.00	\$22,800.00
6.10	5.760.67650	6010-B-1503	INTAKE, SINGLE GRATE WITH MANHOLE, SW-503, MOD. 1	EA	4	0	\$8,000.00	\$32,000.00	\$0.00	1.75	0.00	\$14,000.00	\$0.00	\$14,000.00
6.11	5.760.67650	6010-B-1503	INTAKE, SINGLE GRATE WITH MANHOLE, SW-503, MOD. 2	EA	5	0	\$8,000.00	\$40,000.00	\$0.00	5.00	0.00	\$40,000.00	\$0.00	\$40,000.00
6.12	5.760.67650	6010-B-1505	INTAKE, DOUBLE GRATE, SW-505	EA	3	0	\$3,500.00	\$10,500.00	\$0.00	1.50	0.50	\$5,250.00	\$1,750.00	\$7,000.00
6.13	5.760.67650	6010-B-1506	INTAKE, DOUBLE GRATE WITH MANHOLE, SW-506	EA	5	2	\$6,000.00	\$30,000.00	\$12,000.00	2.00	1.00	\$12,000.00	\$6,000.00	\$18,000.00
6.14	5.760.67650	6010-B-1506	INTAKE, DOUBLE GRATE WITH MANHOLE, SW-506, MOD. 1	EA	1	0	\$13,000.00	\$13,000.00	\$0.00	1.00	0.00	\$13,000.00	\$0.00	\$13,000.00
6.15	5.760.67650	6010-B-1506	INTAKE, DOUBLE GRATE WITH MANHOLE, SW-506, MOD. 2	EA	3	0	\$13,000.00	\$39,000.00	\$0.00	3.00	0.00	\$39,000.00	\$0.00	\$39,000.00
6.16	5.760.67650	6010-B-1513	INTAKE, OPEN-SIDED AREA, SW-513, 4' x 4'	EA	2.50	1.50	\$4,000.00	\$10,000.00	\$6,000.00	2.50	1.50	\$10,000.00	\$6,000.00	\$16,000.00
6.17	5.760.67650	6010-B-1513	INTAKE, OPEN-SIDED AREA, SW-513, 4' x 4', MOD. 1	EA	1	0	\$5,000.00	\$5,000.00	\$0.00	1.00	0.00	\$5,000.00	\$0.00	\$5,000.00
6.18	5.760.67650	6010-B-1513	INTAKE, OPEN-SIDED AREA, SW-513, 6' x 6', MOD. 1	EA	1	0	\$7,500.00	\$7,500.00	\$0.00	1.00	0.00	\$7,500.00	\$0.00	\$7,500.00
6.19	5.760.67650	6010-F-1000	MANHOLE ADJUSTMENT, MAJOR	EA	6	0	\$3,000.00	\$18,000.00	\$0.00	1.00	0.00	\$3,000.00	\$0.00	\$3,000.00
6.20	5.760.67650	6010-G-2000	CONNECTION TO EXISTING SANITARY MANHOLE	EA	3	0	\$4,000.00	\$12,000.00	\$0.00	3.00	0.00	\$12,000.00	\$0.00	\$12,000.00
6.21	5.760.67650	6010-H-1000	REMOVE MANHOLE OR INTAKE	EA	15.50	1.50	\$700.00	\$10,850.00	\$1,050.00	14.50	1.50	\$10,150.00	\$1,050.00	\$11,200.00

**DIVISION 7 - STREETS & RELATED WORK**

7.1	5.760.67610	7010-A-1090	PAVEMENT, PCC, CLASS C-QMC, 9 IN.	SY	27,782	2,567	\$64.20	\$1,782,320.40	\$164,801.40	3261.58	2287.48	\$209,382.15	\$148,856.22	\$358,248.37
7.2	5.760.67610	SPECIAL	COLOR PAVEMENT, PCC, CLASS C, 9 IN.	SY	755	38	\$135.00	\$101,925.00	\$5,130.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.3	5.760.67610	7010-G-1000	CONCRETE MEDIAN, PAVED, 6 IN.	SY	258.9	0.0	\$85.00	\$22,006.50	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.4	5.760.67610	7010-G-2000	CONCRETE MEDIAN, DOWELLED	SY	29.1	2.4	\$135.00	\$3,928.50	\$324.00	4.30	1.80	\$580.50	\$243.00	\$823.50
7.5	5.760.67610	7010-G-1000	PCC PAVEMENT SAMPLES AND TESTING	LS	0.586	0.414	\$15,000.00	\$8,790.00	\$6,210.00	0.07	0.37	\$1,050.00	\$5,550.00	\$6,600.00
7.6	5.760.67610	7010-J-1000	GRANULAR SURFACING	TON	65	0	\$40.00	\$2,600.00	\$0.00	107.27	0.00	\$4,290.80	\$0.00	\$4,290.80
7.7	5.760.67612	7030-A-1000	REMOVAL OF SIDEWALK	SY	15	35	\$30.00	\$450.00	\$1,050.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.8	5.760.67610	7030-A-3000	REMOVAL OF PAVED DRIVEWAY	SY	176	0	\$25.00	\$4,400.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.9	5.760.67612	7030-C-1005	SHARED USE PATH, PCC, 5 IN.	SY	4,209	379	\$32.00	\$134,688.00	\$12,128.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.10	5.760.67612	7030-E-1004	SIDEWALK, PCC, 4 IN.	SY	352	14	\$32.00	\$11,264.00	\$448.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.11	5.760.67612	7030-E-1006	SIDEWALK, PCC, 6 IN.	SY	367	75	\$45.00	\$16,515.00	\$3,375.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.12	5.760.67612	7030-G-1000	DETECTABLE WARNINGS	SF	400	80	\$45.00	\$18,000.00	\$3,600.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.13	5.760.67610	7030-H-1060	DRIVEWAY, PAVED, PCC, 6 IN.	SY	415	0	\$60.00	\$24,900.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
7.14	5.760.67610	7030-H-2000	GRANULAR SURFACING FOR DRIVEWAYS	TON	517	0	\$35.00	\$18,095.00	\$0.00	31.51	0.00	\$1,102.85	\$0.00	\$1,102.85
7.15	5.760.67610	7040-H-1000	PAVEMENT REMOVAL	SY	23,124	1,455	\$10.00	\$231,240.00	\$14,550.00	21800.85	1455.00	\$218,006.50	\$14,550.00	\$232,556.50
7.16	5.760.67610	SPECIAL	TEMPORARY PAVEMENT, 6 IN.	SY	4,020	0	\$42.00	\$168,840.00	\$0.00	2191.10	0.00	\$92,026.20	\$0.00	\$92,026.20
7.17	5.760.67610	SPECIAL	TRANSITION PAVEMENT	SY	1,069	0	\$50.00	\$53,450.00	\$0.00	398.52	0.00	\$19,926.00	\$0.00	\$19,926.00

DIVISION 8 - TRAFFIC SIGNALS AND TRAFFIC CONTROL														
8.1	5.760.67611	8010-B-2000	POSTS FOR SIGNS, STEEL	LF	883	82	\$10.00	\$8,830.00	\$820.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.2	5.760.67611	8010-B-4000	TYPE A SIGNS	SF	380.70	31.80	\$25.00	\$9,517.50	\$765.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.3	5.760.67611	8010-C-1000	PAINTED PAVEMENT MARKINGS, WATERBORNE/SOLVENT	STA	108.71	1.89	\$80.00	\$8,696.80	\$151.20	40.58	0.00	\$3,246.40	\$0.00	\$3,246.40
8.4	5.760.67611	8010-C-1010	PAINTED PAVEMENT MARKINGS, DURABLE	STA	96.56	13.83	\$125.00	\$12,070.00	\$1,728.75	0.00	0.00	\$0.00	\$0.00	\$0.00
8.5	5.760.67611	8010-C-1080	REMOVABLE TAPE MARKINGS	STA	26.14	0	\$125.00	\$3,267.50	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.6	5.760.67611	8010-C-1070	GROOVES CUT FOR PAVEMENT MARKINGS	STA	96.56	13.83	\$75.00	\$7,242.00	\$1,037.25	0.00	0.00	\$0.00	\$0.00	\$0.00
8.7	5.760.67611	8010-C-1080	PAVEMENT MARKINGS REMOVED	STA	20.12	4.25	\$80.00	\$1,207.20	\$255.00	9.55	0.00	\$573.00	\$0.00	\$573.00
8.8	5.760.67611	8010-C-2010	PAINTED SYMBOLS & LEGENDS, DURABLE	EA	30	3	\$200.00	\$6,000.00	\$600.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.9	5.760.67611	8010-C-2070	GROOVES CUT FOR SYMBOLS & LEGENDS	EA	30	3	\$125.00	\$3,750.00	\$375.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.10	5.760.67611	8010-C-2080	SYMBOLS & LEGENDS REMOVED	EA	3	0	\$125.00	\$375.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.11	5.760.67615	8010-D-1000	TRAFFIC CONTROL	LS	0.586	0.414	\$310,000.00	\$181,660.00	\$128,340.00	0.44	0.31	\$136,400.00	\$96,100.00	\$232,500.00
8.12	5.760.67615	SPECIAL	PORTABLE DYNAMIC MESSAGE SIGN	CDAY	30	10	\$75.00	\$2,250.00	\$750.00	25.00	8.00	\$1,875.00	\$600.00	\$2,475.00
8.13	5.760.67611	SPECIAL	CONDUIT, HDPE, 2 IN.	LF	9,855	0	\$8.00	\$78,840.00	\$0.00	8980.00	0.00	\$71,840.00	\$0.00	\$71,840.00
8.14	5.760.67611	SPECIAL	HANDHOLE, TYPE I, FURNISH AND INSTALL	EA	5	0	\$1,000.00	\$5,000.00	\$0.00	4.00	0.00	\$4,000.00	\$0.00	\$4,000.00
8.15	5.760.67611	SPECIAL	HANDHOLE, TYPE III, FURNISH AND INSTALL	EA	13	0	\$1,700.00	\$22,100.00	\$0.00	5.00	0.00	\$8,500.00	\$0.00	\$8,500.00
8.16	5.760.67611	SPECIAL	POWER CABLE WIRE - 1C #4	LF	20	0	\$6.00	\$120.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.17	5.760.67611	SPECIAL	STREET LIGHT CABLE - 1C #10	LF	360	0	\$1.50	\$540.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.18	5.760.67611	SPECIAL	NEUTRAL WIRE - 1C #4	LF	20	0	\$6.00	\$120.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.19	5.760.67611	SPECIAL	GROUND WIRE	LF	180	0	\$2.00	\$360.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.20	5.760.67611	SPECIAL	TRACER WIRE - 1C #10	LF	10,350	0	\$0.75	\$7,762.50	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.21	5.760.67611	SPECIAL	PULL ROPE	LF	10,350	0	\$0.50	\$5,175.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.22	5.760.67611	SPECIAL	POLE FOOTING	EA	1	0	\$1,500.00	\$1,500.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.23	5.760.67611	SPECIAL	LIGHT POLE, INSTALL ONLY	EA	1	0	\$700.00	\$700.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.24	5.760.67611	SPECIAL	POLE MOUNTED CABINET, INSTALL ONLY	EA	1	0	\$500.00	\$500.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
8.25	5.760.67611	SPECIAL	MONUMENT SIGN LIGHTING	LS	1	0	\$2,000.00	\$2,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
DIVISION 9 - SITEWORK AND LANDSCAPING														
9.1	5.760.67170	9010-B-1100	HYDRAULIC SEED, FERT. & MULCH, TYPE 1 (PERMANENT LAWN MIX)	AC	10	1	\$2,750.00	\$27,500.00	\$2,750.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.2	5.760.67170	9010-B-1200	HYDRAULIC SEED, FERT. & MULCH, TYPE 2 (PERMANENT COOL-SEASON MIX FOR SLOPES AND	AC	2	0.5	\$2,000.00	\$4,000.00	\$1,000.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.3	5.760.67170	9010-B-1400	HYDRAULIC SEED, FERT. & MULCH, TYPE 4 (URBAN TEMPORARY EROSION CONTROL MIX	AC	12	1.5	\$1,500.00	\$18,000.00	\$2,250.00	0.49	0.00	\$735.00	\$0.00	\$735.00
9.4	5.760.67170	9010-D-1000	WATERING	MGAL	1,046	131	\$40.00	\$41,840.00	\$5,240.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.5	5.760.67170	9010-E-1000	WARRANTY	LS	0.586	0.414	\$6,500.00	\$3,809.00	\$2,691.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.6	5.760.67170	9040-A-2000	STORMWATER POLLUTION PREVENTION PLAN (SWPPP), MANAGEMENT	LS	0.586	0.414	\$4,000.00	\$2,344.00	\$1,656.00	0.41	0.29	\$1,640.00	\$1,160.00	\$2,800.00
9.7	5.760.67170	9040-D-1012	FILTER SOCKS, 12 IN., INSTALLATION	LF	600	0	\$3.00	\$1,800.00	\$0.00	1130.00	0.00	\$3,390.00	\$0.00	\$3,390.00
9.8	5.760.67170	9040-D-2012	FILTER SOCKS, 12 IN., MAINTENANCE AND REMOVAL	LF	600	0	\$1.00	\$600.00	\$0.00	50.00	0.00	\$50.00	\$0.00	\$50.00
9.9	5.760.67170	9040-J-5000	RIP RAP, CLASS E	TON	50	0	\$70.00	\$3,500.00	\$0.00	64.97	0.00	\$4,547.90	\$0.00	\$4,547.90
9.10	5.760.67170	9040-N-1000	SILT FENCE, INSTALLATION	LF	6,992	1,029	\$2.00	\$13,984.00	\$2,058.00	1351.00	0.00	\$2,702.00	\$0.00	\$2,702.00
9.11	5.760.67170	9040-N-3000	SILT FENCE, REMOVAL	LF	5,127	761	\$0.50	\$2,563.50	\$380.50	0.00	0.00	\$0.00	\$0.00	\$0.00
9.12	5.760.67170	9040-Q-1000	EROSION CONTROL MULCHING, CONVENTIONAL MULCHING	AC	12.0	1.5	\$400.00	\$4,800.00	\$600.00	0.30	0.00	\$120.00	\$0.00	\$120.00
9.13	5.760.67170	9040-T-1000	INLET PROTECTION DEVICE, INSTALLATION	EA	45	7	\$150.00	\$6,750.00	\$1,050.00	2.00	0.00	\$300.00	\$0.00	\$300.00
9.14	5.760.67170	9060-A-1000	CHAIN LINK FENCE, 60 IN.	LF	494	0	\$20.00	\$9,880.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.15	5.760.67170	SPECIAL	FIELD FENCE	LF	354	0	\$15.00	\$5,310.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.16	5.760.67170	SPECIAL	MONUMENT SIGN	LS	1	0	\$48,000.00	\$48,000.00	\$0.00	0.00	0.00	\$0.00	\$0.00	\$0.00
9.17	5.760.67170	SPECIAL	GRANULAR BACKFILL	TON	1,700	0	\$25.00	\$42,500.00	\$0.00	611.58	0.00	\$15,289.00	\$0.00	\$15,289.00

PAY REQUEST SUMMARY			Total Approved	Total Completed
	Contract Price		\$7,361,434.50	
	Approved Change Order 1		\$9,830.70	
	Approved Change Order 2		\$70,947.80	
	Approved Change Order 3		\$810.00	
	Revised Contract Price		\$7,443,023.00	\$4,141,051.30
		Materials Stored		\$0.00
		Retainage (5%)		\$207,052.57
		Total Earned Less Retainage		\$3,933,998.74
Total Previously Approved (list each)	Pay Request 1		\$81,719.07	
	Pay Request 2		\$85,689.81	
	Pay Request 3		\$201,447.59	
	Pay Request 4		\$375,816.99	
	Pay Request 5		\$349,530.17	
	Pay Request 6		\$399,866.63	
	Pay Request 7		\$790,914.00	
	Pay Request 8		\$381,697.46	
	Pay Request 9		\$129,476.31	
	Pay Request 10		\$330,467.04	
	Pay Request 11		\$308,464.19	
	Pay Request 12			
	Pay Request 13			
	Pay Request 14			
		Total Previously Approved		\$3,434,890.76
		Amount Due This Request		<b>\$499,107.98</b>
		Percent Complete		55.6%
		Percent of Contract Period Utilized (In Calendar Days, Based on Notice to Proceed Date & Contract Completion Date)		72.8%

The amount **\$499,107.98** is recommended for approval for payment in accordance with the terms of the Contract.

Fund.Dept.Object	Item Description	TOTAL AMOUNT TO DATE
5.760.67400	ROW	\$0.00
5.760.67610	STREETS AND BRIDGES	\$1,464,882.30
5.760.67612	SIDEWALK	\$0.00
5.760.67615	TRAFFIC CONTROL	\$236,885.00
5.760.67611	TRAFFIC SIGNAL	\$88,159.40
5.760.67170	STREETSCAPE	\$116,949.90
5.760.67650	STORM DRAINAGE	\$1,703,348.00
5.766.67800	WATER MAIN, HYDRANT	\$418,931.00
5.768.67670	SANITARY SEWER	\$103,035.70
5.760.67616	UTILITY RELOCATION	\$9,060.00

\$4,141,051.30

<b>Contractor:</b> Alliance Construction Group <b>Signature:</b> <i>J DeGraff</i> <b>Name:</b> Jason DeGraff <b>Title:</b> Project Manager <b>Date:</b> 8/22/16	<b>Recommended By:</b> Foth Infrastructure & Environment <b>Signature:</b> <i>P.M.P.I.A</i> <b>Name:</b> Patrick Kuster <b>Title:</b> Senior Project Manager <b>Date:</b> 8/22/16	<b>Checked By:</b> City of Johnston <b>Signature:</b> <b>Name:</b> <b>Title:</b> <b>Date:</b>
--	--	--



ITEM NO. 84

*ML*

OFFICE OF THE CITY ADMINISTRATOR  
Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016 Meeting

<b>SUBJECT:</b> Consider Resolution No. 16-189 —A Resolution approving the acquisition of real estate interests and authorizing payments to acquire real property for the NW 57 <sup>th</sup> Avenue Improvements	<b>ACTION REQUIRED:</b> <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
--	---

**SYNOPSIS:** Staff is requesting approval of Resolution No. 16-189 to acquire real estate interests and authorizing payments for Right of Way and Easements for the NW 57<sup>th</sup> Ave Improvements project.

**RECOMMENDATION:** Approval of Resolution No. 16-189 A Resolution approving the acquisition of real estate interests and authorizing payments to acquire real property for the NW 57<sup>th</sup> Ave Improvements project.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, A Resolution approving the acquisition of real estate interests and authorizing payments to acquire real property for the NW 57<sup>th</sup> Ave Improvements project.

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____

RESOLUTION NO. 16-189

**ACCEPTING THE ACQUISITION OF REAL ESTATE INTERESTS AND  
AUTHORIZING PAYMENTS TO ACQUIRE SUCH REAL PROPERTY  
FOR THE NW 57<sup>TH</sup> AVENUE IMPROVEMENTS PROJECT**

**WHEREAS**, the plans and specifications for the said project have been prepared by the project's Engineer, Foth Infrastructure & Environment, LLC., of Johnston, Iowa, in accordance with the City's Design Standards and Specifications, and

**WHEREAS**, the plans and specifications call for certain acquisitions of real estate interests and the use of temporary construction easements to accommodate the additional right of way needed for the new road design, and

**WHEREAS**, appraisal valuations for the permanent and temporary real estate interests needed for the project were prepared and accepted by the City to determine the compensation to be paid to property owners, and

**WHEREAS**, the property owners listed on the attached acquisition summary have executed the appropriate documents to convey necessary property to the City for the Project, in accordance with the values previously approved by the City.

**BE IT RESOLVED BY THE CITY COUNCIL OF JOHNSTON, IOWA**, that the real estate interests needed for the project as listed in the attached schedule are accepted and the City authorizes payment to the property owners in accordance with the executed agreements.

PASSED AND APPROVED, this 6<sup>th</sup> day of September, 2016.

\_\_\_\_\_  
Paula Dierenfeld, Mayor

ATTEST:

\_\_\_\_\_  
Cyndee Rhames, City Clerk

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____





uk

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016 Meeting

SUBJECT: Approve PO to Iowa DOT to purchase traffic paint.	<b>ACTION REQUIRED:</b> <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
--	---

**SYNOPSIS:**

We have contacted the Iowa DOT To purchase traffic paint.

**FISCAL IMPACT**

Total price \$10,924.80

Funds are budgeted in the road use fund for this purchase.

**RECOMMENDATION:**

Approval.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to approve PO to Iowa DOT to purchase traffic paint

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



OFFICE OF THE CITY ADMINISTRATOR  
Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016 Meeting

<b>SUBJECT:</b> Consider proposal from MidAmerican Energy for the installation of street lights on the NW 100 <sup>th</sup> Street project.	<b>ACTION REQUIRED:</b> <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
---	---

<b>SYNOPSIS:</b>	Staff has received a proposal from MidAmerican Energy to install new street lights on the NW 100 <sup>th</sup> Street project.
	The charge is for the installation of 49 street lights on black poles with 6' arms, 11 dual mast street lights on black poles with 8' arms, and 1 street light on black pole with 6' arm. The cost is included in the project bid costs.
<b>FISCAL IMPACT</b>	Total of proposal <span style="float: right;">\$356,406.45</span>
	Funds are available in project account.
<b>RECOMMENDATION:</b>	Approve proposal from MidAmerican Energy

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Consider proposal from MidAmerican Energy for the installation of new street lights on the NW 100<sup>th</sup> Street project.

<u>ROLL CALL VOTE:</u>	AYE	NAY	ABSENT	ABSTAIN
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



MidAmerican Energy  
10510 Douglas Ave,  
Urbandale, IA 50322

6/29/2016

City of Johnston  
Attention: Mr. David Cubit  
6400 Beaver Dr.  
P.O. Box 410  
Johnston, IA 50131

Dear Mr. Cubit:

Enclosed are two (2) sets of our streetlight proposal for NW 100<sup>th</sup> St. This proposal includes the installation of streetlights on: **NW 100<sup>th</sup> Street in Johnston**

We Propose To:

Install:	49	150 Watt EQ LED	Streetlights on black poles with 6' arms
	11	250 Watt EQ LED	Dual Mast streetlights on black poles with 8' arm
	1	250 Watt EQ LED	Streetlights on black poles with 6' arms

There will be a one-time installation charge for labor and materials in the amount of \$356,406.45. Since this project is over \$100,000 you are required by tariff to pay actual costs upon completion of the work. If the project is less than the original estimate you will be refunded the difference and conversely you will be charged any amount above the estimated cost stated in this agreement.

MidAmerican Energy Company's street light proposal is based on the approved street light analysis provided by the City. MidAmerican Energy Company will install the lights based on the staked locations provided in the field by the customer.

If this proposal meets with your approval, please sign and return one (1) copy of this letter and one (1) copy of the print. The other copy is for your file.

Upon receipt of your approval, we will prepare work instructions and schedule the installation of these lights. This proposal is valid for 90 days and if MidAmerican Energy Company construction has not commenced within 12 months it may be voided.

If you have any questions, please contact me at (515) 252-6565.

Sincerely,  
MidAmerican Energy Company

Michael Younts  
Customer Technician

Enclosures

Accepted \_\_\_\_\_ Date: \_\_\_\_\_

Date Service Required: \_\_\_\_\_



OFFICE OF THE CITY ADMINISTRATOR  
Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016 Meeting

<b>SUBJECT:</b> Consider proposal from MidAmerican Energy for the installation of street lights on the NW 70 <sup>th</sup> Street project.	<b>ACTION REQUIRED:</b> <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
--	---

**SYNOPSIS:**

Staff has received a proposal from MidAmerican Energy to install new street lights on the NW 70<sup>th</sup> Street project.

The charge is for the installation of 34 street lights on black poles with 6' arms, 14 street lights on black poles with twin 8' arms. The cost is included in the project bid costs.

**FISCAL IMPACT**

Total of proposal \$254,597.63

Funds are available in project account.

**RECOMMENDATION:**

Approve proposal from MidAmerican Energy

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Consider proposal from MidAmerican Energy for the installation of new street lights on the NW 70<sup>th</sup> Street project.

ROLL CALL VOTE:      AYE                  NAY                  ABSENT                  ABSTAIN

Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



MidAmerican Energy  
10510 Douglas Ave,  
Urbandale, IA 50322

8/30/2016

City of Johnston  
Attention: Dave Cubit  
6400 NW Beaver Dr  
Johnston, IA 50131

Dear Mr. Cubit:

Enclosed is a set of our streetlight proposal for NW 70th.

We Propose To:

Install:	34	250W Equiv.	LED streetlights on 34' black steel street light poles with 6' mast arms
	14	250W Equiv.	LED streetlights on 34' black steel street light pole with twin 8' mast arms

These lights will be installed on steel poles and served by underground conductors, but will be billed to the city at the wood pole, overhead rate. The application charge for this will be \$254,597.63. Since this project is over \$100,000 you are required by tariff to pay actual costs upon completion of the work. If the project is less than the original estimate you will be refunded the difference and conversely you will be charged any amount above the estimated cost stated in this agreement. If MidAmerican Energy Company is caused by Applicant to work during the winter construction season, Applicant agrees to pay additional cost associated with winter construction.

MidAmerican Energy Company's street light proposal is based on the approved street light analysis provided by the City. MidAmerican Energy Company will install the lights based on the staked locations provided in the field by the customer.

If this proposal meets with your approval, please sign and return one (1) copy of this letter and one (1) copy of the print. The other copy is for your file.

Upon receipt of your approval, we will prepare work instructions and schedule the installation of these lights. This proposal is valid for 90 days and if MidAmerican Energy Company construction has not commenced within 12 months it may be voided.

If you have any questions, please contact me at (515) 252-6565.

Sincerely,  
MidAmerican Energy Company

Michael Younts  
Customer Technician

Enclosures

Accepted By: \_\_\_\_\_

Date: \_\_\_\_\_ Date Service Required: \_\_\_\_\_



116

**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016 Meeting

<p><b>SUBJECT:</b> Approval of Pay Request No. 8 to Rogness Corporation in the amount of \$148,320.77 for work completed as of August 24, 2016 on E of Merle Hay Road NW 60<sup>th</sup> Ave Improvements project- Phase 4A.</p>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input type="checkbox"/> Resolution</p> <p><input checked="" type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Review</p>
--	--

**SYNOPSIS:**

Attached is Pay Request No 8 in the amount of \$148,320.77 work completed as of August 24, 2016 on the E of Merle Hay Road NW 60<sup>th</sup> Ave Improvements project – phase 4A.

\$42,855.47 of the value of completed work has been retained so far.

Nathan Whipple, Construction Administrator, with Foth Infrastructure & Environment LLC has determined that work has been performed by the contractor in accordance with the approved plans and specifications, the quantities have been checked and he is recommending payment as provided by the projects contract.

A copy of Pay Estimate No. 8 is attached.

**FISCAL IMPACT**

The funds for this payment will come from account 334

**RECOMMENDATION:**

Staff is recommending approval of Pay Estimate No. 8

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, Approval of Pay Request No.8 to Rogness Corporation for work completed as of August 24, 2016 on the E of Merle Hay Road NW 60<sup>th</sup> Ave Improvements Project – phase 4A.

<b><u>ROLL CALL VOTE:</u></b>	<b>AYE</b>	<b>NAY</b>	<b>ABSENT</b>	<b>ABSTAIN</b>
Brown	_____	_____	_____	_____
Clabaugh	_____	_____	_____	_____
Cope	_____	_____	_____	_____
Lindeman	_____	_____	_____	_____
Temple	_____	_____	_____	_____



Department of Public Works  
 6221 Merle Hay Road  
 Johnston, IA 50131  
 Phone (515) 278-2344  
 Fax (515) 278-2033

# PAY REQUEST 8

**Contractor:**

**Rognes Corp.**  
 720 SW Goodwin Street  
 Ankeny, IA 50023

<b>Project Title</b>	NW 60TH AVENUE IMPROVEMENTS (PHASE 4A) From Merle Hay Rd to 667 ft East of Merle Hay Rd		
<b>City of Johnston Project File No.</b>		<b>Project Number</b>	15J005.01
<b>Purchase Order Number</b>			
<b>Orig. Contract Amount &amp; Date</b>	\$1,159,402.45	1/28/2016	
<b>Notice to Proceed Date</b>	5/2/2016		
<b>Estimated Completion Date</b>	9/30/2016		
<b>Pay Period</b>	8/4/2016	to	8/26/2016
<b>Pay Request Number</b>	8		
<b>Date</b>	8/24/2016		
<b>Contract ID</b>			

## BID ITEMS

Item No.	Fund.Dept.Object No.	Item Code	Description	Unit	Est. Qty.	Unit Price	Extended Price	Quantity Completed	Value Completed
<b>DIVISION 2 - EARTHWORK, SUBGRADE AND SUBBASE</b>									
2.1	5.760.67170	2010-C-1000	CLEARING AND GRUBBING	LS	1	\$100,000.00	\$100,000.00	1.00	\$100,000.00
2.2	5.760.67170	2010-D-1000	TOPSOIL, ON-SITE	CY	519	\$12.00	\$6,228.00	0.00	\$0.00
2.3	5.760.67170	2010-D-3000	TOPSOIL, FURNISH	CY	250	\$35.00	\$8,750.00	0.00	\$0.00
2.4	5.760.67610	2010-E-1000	EXCAVATION, CLASS 10	CY	1,743	\$18.00	\$31,374.00	0.00	\$0.00
2.5	5.760.67610	2010-F-1012	REMOVAL OF UNSUITABLE MATERIAL, CORE OUT	CY	275	\$35.00	\$9,625.00	0.00	\$0.00
2.6	5.760.67610	2010-G-1012	SUBGRADE PREPARATION, 12 IN.	SY	2,708	\$5.95	\$16,112.60	2708.00	\$16,112.60
2.7	5.760.67610	2010-H-1018	SUBGRADE TREATMENT, FLY ASH	SY	800	\$5.95	\$4,760.00	0.00	\$0.00
2.8	5.760.67610	2010-H-2018	FLY ASH	TON	81	\$45.00	\$3,645.00	0.00	\$0.00
2.9	5.760.67610	2010-I-1006	MODIFIED SUBBASE, 6 IN.	SY	2,708	\$12.95	\$35,068.60	2485.71	\$32,189.94
2.10	5.760.67616	2010-J-1000	REMOVALS, AS PER PLAN	LS	1	\$5,500.00	\$5,500.00	1.00	\$5,500.00
2.11	5.760.67170	2010-J-1200	REMOVAL AND RELOCATION OF MAILBOX	EA	8	\$350.00	\$2,800.00	8.00	\$2,800.00
2.12	5.766.67800	2010-J-3000	REMOVAL OF WATER MAIN	LF	705	\$12.50	\$8,812.50	645.00	\$8,062.50
2.13	5.760.67170	2010-J-5000	PARK BENCH, REMOVE AND SALVAGE	LS	1	\$500.00	\$500.00	0.00	\$0.00

2.14	5.766.67800	2010-K-1000	ABANDONMENT OF WATER MAIN	LF	72	\$25.00	\$1,800.00	0.00	\$0.00
2.15	5.760.67170		RED BRICK DRIVEWAY STONE, REMOVE AND SALVAGE	TON	75	\$30.00	\$2,250.00	37.50	\$1,125.00
<b>DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION</b>									
3.1	5.760.67650	3010-E-1000	POROUS BACKFILL, 1" CLEAN	TON	160	\$38.00	\$6,080.00	0.00	\$0.00
3.2	5.760.67650	3010-E-3000	POROUS BACKFILL, 3" CLEAN	TON	12	\$38.00	\$456.00	0.00	\$0.00
3.3	5.760.67650	3010-E-1325	SEPERATION LAYER, POROUS, 3/8" CLEAN	TON	2	\$400.00	\$800.00	0.00	\$0.00
3.4	5.760.67650		BIORETENTION BASIN PLANTING MEDIUM	CY	15	\$350.00	\$5,250.00	0.00	\$0.00
<b>DIVISION 4 - SEWERS AND DRAINS</b>									
4.1	5.768.67670	4010-A-1006	SANITARY SEWER GRAVITY MAIN, TRENCHED, 6" (INCLUDES DEWATERING)	LF	43	\$128.00	\$5,504.00	0.00	\$0.00
4.2	5.768.67670	4010-A-1008	SANITARY SEWER GRAVITY MAIN, TRENCHED, 8" (INCLUDES DEWATERING)	LF	617	\$130.00	\$80,210.00	673.00	\$87,490.00
4.3	5.768.67670	4010-E-1004	SANITARY SEWER SERVICE STUB, 4"	LF	174	\$90.00	\$15,660.00	174.00	\$15,660.00
4.4	5.760.67650	4020-A-1012	STORM SEWER, TRENCHED, PVC, CORRUGATED, SMOOTH INTERIOR, 12 IN.	LF	29	\$120.00	\$3,480.00	29.00	\$3,480.00
4.5	5.760.67650	4020-A-1015	STORM SEWER, TRENCHED, RCP, CL V, 15 IN. (GASKETED)	LF	134	\$130.00	\$17,420.00	129.00	\$16,770.00
4.6	5.760.67650	4020-A-1018	STORM SEWER, TRENCHED, RCP, CL V, 18 IN. (GASKETED)	LF	9	\$160.00	\$1,440.00	18.00	\$2,880.00
4.7	5.760.67650	4020-A-1024	STORM SEWER, TRENCHED, RCP, CL III, 24 IN. (GASKETED)	LF	83	\$150.00	\$12,450.00	86.00	\$12,900.00
4.8	5.760.67650	4020-A-1036	STORM SEWER, TRENCHED, RCP, CL III, 36 IN. (GASKETED)	LF	585	\$205.00	\$119,925.00	577.00	\$118,285.00
4.9	5.760.67650	4020-A-2110	SPECIAL PIPE CONNECTION, STORM SEWER, SW-211	EA	2	\$4,000.00	\$8,000.00	2.00	\$8,000.00
4.10	5.760.67650	4040-E-1012	SPECIAL PIPE CONNECTION, STORM SEWER SERVICE STUB	EA	1	\$2,500.00	\$2,500.00	1.00	\$2,500.00
4.11	5.760.67650		FIELD TILE AND FITTINGS, PVC UNSPECIFIED DIA.	LF	150	\$12.00	\$1,800.00	22.00	\$264.00
4.12	5.760.67650	4060-B-1000	VIDEO INSPECTION OF SEWERS	LS	1	\$5,000.00	\$5,000.00	1.00	\$5,000.00
<b>DIVISION 5 - WATER MAIN AND APPURTENANCES</b>									
5.1	5.766.67800	5010-A-1006	WATER MAIN, TRENCHED, PVC C900 DR18, 6 IN.	LF	116	\$60.00	\$6,960.00	135.50	\$8,130.00
5.2	5.766.67800	5010-A-1008	WATER MAIN, TRENCHED, PVC C900 DR18, 8 IN.	LF	647	\$65.00	\$42,055.00	636.00	\$41,340.00
5.3	5.766.67800	5010-A-1108	WATER MAIN, TRENCHED, PVC C900 DR18, 8 IN., RESTRAINED JOINT	LF	80	\$90.00	\$7,200.00	40.00	\$3,600.00
5.4	5.766.67800	5010-B-2008	WATER MAIN, BORED WITH CASING PIPE, 8 IN.	LF	80	\$525.00	\$42,000.00	97.00	\$50,925.00
5.5	5.766.67800	5010-C-1000	WATER MAIN FITTINGS	LB	897	\$9.00	\$8,073.00	969.00	\$8,721.00
5.6	5.766.67800		LIVE TAP W/ 16"x8" TAPPING SLEEVE	EA	1	\$7,800.00	\$7,800.00	1.00	\$7,800.00
5.7	5.766.67800	5010-D-1001	WATER SERVICE, 1 IN.	EA	7	\$1,500.00	\$10,500.00	7.00	\$10,500.00
5.8	5.766.67800	5020-A-1006	VALVE, GATE, 6 IN.	EA	1	\$875.00	\$875.00	2.00	\$1,750.00
5.9	5.766.67800	5020-A-1008	VALVE, GATE, 8 IN.	EA	5	\$1,200.00	\$6,000.00	5.00	\$6,000.00
5.10	5.766.67800	5020-C-1000	FIRE HYDRANT ASSEMBLY	EA	3	\$4,100.00	\$12,300.00	3.00	\$12,300.00
5.11	5.766.67800		REMOVAL OF HYDRANT ASSEMBLY	EA	1	\$900.00	\$900.00	1.00	\$900.00
<b>DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWER</b>									
6.1	5.760.67650	6010-A-1301	MANHOLE, SANITARY SEWER, SW-301, 48"	EA	3	\$4,100.00	\$12,300.00	3.00	\$12,300.00
6.2	5.760.67650	6010-A-1401	MANHOLE, STORM SEWER, SW-401, 60 IN.	EA	1	\$6,000.00	\$6,000.00	1.00	\$6,000.00
6.3	5.760.67650	6010-A-2401	MANHOLE, STORM SEWER, SW-401 MODIFIED, 60 IN.	EA	3	\$9,500.00	\$28,500.00	3.00	\$28,500.00
6.4	5.760.67650	6010-B-1505	INTAKE, DOUBLE GRATE, SW-505	EA	2	\$3,850.00	\$7,700.00	2.00	\$7,700.00
6.5	5.760.67650	6010-B-1506	INTAKE, DOUBLE GRATE W/ MANHOLE, SW-506	EA	1	\$6,000.00	\$6,000.00	1.00	\$6,000.00

6.6	5.760.67650	6010-B-2506	SPECIAL INTAKE, DOUBLE GRATE, SW-506 MODIFIED WQ	EA	2	\$16,250.00	\$32,500.00	1.00	\$16,250.00
6.7	5.760.67650		TEMPORARY INTAKE GROUTING, INSTALL AND REMOVE	EA	2	\$2,500.00	\$5,000.00	0.00	\$0.00
6.8	5.760.67650	6010-E-1000	MANHOLE ADJUSTMENT, MINOR	EA	1	\$1,050.00	\$1,050.00	0.00	\$0.00
6.9	5.760.67650	6010-G-1000	CONNECTION TO EXISTING MANHOLE, SANITARY	EA	1	\$4,000.00	\$4,000.00	1.00	\$4,000.00
6.10	5.760.67650	6010-G-2000	CONNECTION TO EXISTING MANHOLE, STORM	EA	1	\$4,800.00	\$4,800.00	1.00	\$4,800.00
6.11	5.760.67650	6010-H-1000	REMOVE MANHOLE OR INTAKE	EA	3	\$800.00	\$2,400.00	3.00	\$2,400.00
6.12	5.760.67650		STORMWATER CHAMBERS AND FITTINGS	EA	2	\$9,000.00	\$18,000.00	2.00	\$18,000.00

**DIVISION 7 - STREETS & RELATED WORK**

7.1	5.760.67610	7010-A-1007	PAVEMENT, PCC, CLASS C, 7 IN.	SY	2,191	\$48.75	\$106,811.25	2000.00	\$97,500.00
7.2	5.760.67610	7010-G-1000	CONCRETE MEDIAN	SY	17	\$80.25	\$1,364.25	0.00	\$0.00
7.3	5.760.67610	7020-A-1007	PAVEMENT, HMA, 6 IN.	SY	330	\$50.25	\$16,582.50	0.00	\$0.00
7.4	5.760.67612	7030-A-1000	REMOVAL OF SIDEWALK AND SHARED USE PATH	SY	779	\$9.00	\$7,011.00	779.00	\$7,011.00
7.5	5.760.67610	7030-A-2000	REMOVAL OF DRIVEWAY	SY	89	\$8.50	\$756.50	89.00	\$756.50
7.6	5.760.67612	7030-C-1006	SHARED USE PATH, PCC, 6 IN.	SY	698	\$40.50	\$28,269.00	0.00	\$0.00
7.7	5.760.67612	7030-D-1006	SPECIAL SUBGRADE PREP FOR SHARED USE PATH	SY	1,042	\$12.00	\$12,504.00	0.00	\$0.00
7.8	5.760.67612	7030-E-1004	SIDEWALK, PCC, 4 IN.	SY	31	\$38.50	\$1,193.50	14.22	\$547.47
7.9	5.760.67612	7030-E-1006	SIDEWALK, PCC, 6 IN.	SY	123	\$45.50	\$5,596.50	0.00	\$0.00
7.10	5.760.67612	7030-G-1000	DETECTABLE WARNINGS	SF	144	\$42.25	\$6,084.00	0.00	\$0.00
7.11	5.760.67610	7030-H-1006	DRIVEWAY, PAVED, 6 IN.	SY	372	\$42.25	\$15,717.00	0.00	\$0.00
7.12	5.760.67610	7030-H-1007	DRIVEWAY, PAVED, 7 IN.	SY	341	\$45.25	\$15,430.25	0.00	\$0.00
7.13	5.760.67610	7030-H-2006	DRIVEWAY, GRANULAR (CLASS A)	TON	41	\$28.00	\$1,148.00	0.00	\$0.00
7.14	5.760.67610	7030-H-2009	DRIVEWAY, GRANULAR (RED BRICK STONE)	TON	60	\$65.00	\$3,900.00	0.00	\$0.00
7.15	5.760.67610	7040-A-1000	FULL DEPTH PATCH, PCC	SY	134	\$78.50	\$10,519.00	61.67	\$4,841.10
7.16	5.760.67610	7040-H-1000	PAVEMENT REMOVAL	SY	2,100	\$10.00	\$21,000.00	2100.00	\$21,000.00
7.17	5.760.67610		TEMPORARY GRANULAR SURFACING	TON	800	\$38.00	\$30,400.00	293.45	\$11,151.10

**DIVISION 8 - TRAFFIC SIGNALS AND TRAFFIC CONTROL**

8.1	5.760.67615		TRAFFIC CONTROL	LS	1	\$10,000.00	\$10,000.00	0.75	\$7,500.00
8.2	5.760.67615		PAINTED PAVEMENT MARKINGS, DURABLE	STA	10	\$240.00	\$2,352.00	0.00	\$0.00
8.3	5.760.67615		PAINTED SYMBOLS AND LEGENDS, DURABLE	EA	4	\$210.00	\$840.00	0.00	\$0.00

**DIVISION 9 - SITEWORK AND LANDSCAPING**

9.1	5.760.67170	9010-B-1100	HYDRAULIC SEEDING, FERTILIZING, AND MULCHING, TYPE 1 (PERM. LAWN MIX)	ACRE	1	\$4,250.00	\$3,400.00	0.00	\$0.00
9.2	5.760.67170	9010-B-1400	HYDRAULIC SEEDING, FERTILIZING, AND MULCHING, TYPE 4 (URBAN TEMP. MIX)	ACRE	1	\$2,000.00	\$1,600.00	0.00	\$0.00
9.3	5.760.67170	9010-D-1000	WATERING	MGAL	70	\$10.00	\$700.00	0.00	\$0.00
9.4	5.760.67170	9010-E-1000	WARRANTY	LS	1	\$1,000.00	\$1,000.00	0.00	\$0.00
9.5	5.760.67170	9040-A-2000	STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MANAGEMENT	LS	1	\$3,000.00	\$3,000.00	0.50	\$1,500.00
9.6	5.760.67170	9040-D-1000	FILTER SOCKS, INSTALLATION	LF	1,500	\$2.00	\$3,000.00	0.00	\$0.00
9.7	5.760.67170	9040-D-2000	FILTER SOCKS, REMOVAL	LF	1,500	\$0.30	\$450.00	0.00	\$0.00
9.8	5.760.67170	9040-T-1000	INLET PROTECTION	EA	6	\$100.00	\$600.00	0.00	\$0.00

9.9	5.760.67170	9040-T-2000	INLET PROTECTION, MAINTENANCE	EA	6	\$10.00	\$60.00	0.00	\$0.00	
9.10	5.760.67170	9060-D-1000	WOOD FENCE, REMOVE AND REINSTALL	LF	15	\$90.00	\$1,350.00	0.00	\$0.00	
9.11	5.760.67170	9060-E-1000	REMOVAL OF FENCE	LF	35	\$10.00	\$350.00	0.00	\$0.00	
9.12	5.760.67170	9060-F-1000	TEMPORARY CONSTRUCTION FENCE	LF	1,500	\$2.50	\$3,750.00	750.00	\$1,875.00	
9.13	5.760.67170		TREE PROTECTION	EA	3	\$250.00	\$750.00	0.00	\$0.00	
9.14	5.760.67170	9070-A-1000	MODULAR BLOCK RETAINING WALL - BIORETENTION BASIN	EA	2	\$6,400.00	\$12,800.00	0.00	\$0.00	
9.15	5.760.67170		CONCRETE WALL CAP AND LANDSCAPING APRON	EA	2	\$13,000.00	\$26,000.00	0.00	\$0.00	
9.16	5.760.67170		ORNAMENTAL METAL RAILING	EA	2	\$3,500.00	\$7,000.00	0.00	\$0.00	
<b>CHANGE ORDER #1</b>										
CO4.13	5.760.67650	4020-E-2018	STORM SEWER, ABANDON AND FILL, 18"	LF	33	\$23.00	\$759.00	33.00	\$759.00	
CO4.14	5.760.67650	4020-E-2024	STORM SEWER, ABANDON AND FILL, 24"	LF	131	\$25.00	\$3,275.00	131.00	\$3,275.00	
<b>CHANGE ORDER #2</b>										
CO6.13	5.760.67670	6010-C-1000	SANITARY SEWER DROP CONNECTION, INTERNAL, 6"	EA	1	\$2,458.15	\$2,458.15	1.00	\$2,458.15	
							<b>TOTAL</b>	<b>\$1,165,894.60</b>		<b>\$857,109.36</b>

<b>MATERIALS STORED SUMMARY</b>			
Description	# of Units	Unit Price	Extended Cost
			<b>TOTAL</b>
			<b>\$0.00</b>

<b>PAY REQUEST SUMMARY</b>		
	Total Approved	Total Completed
Contract Price	\$1,159,402.45	\$857,109.36
Approved Change Order 1	\$4,034.00	
Approved Change Order 2	\$2,458.15	
Approved Change Order 3	\$0.00	
Revised Contract Price	\$1,165,894.60	\$857,109.36
Materials Stored		\$0.00
Retainage 5.0%		\$42,855.47
Total Earned Less Retainage		\$814,253.89
Pay Request 1	\$265,605.98	

Total Previously Approved (list each)	Pay Request 2	\$61,416.65	
	Pay Request 3	\$147,437.69	
	Pay Request 4	\$60,492.83	
	Pay Request 5	\$50,435.50	
	Pay Request 6	\$35,249.75	
	Pay Request 7	\$45,294.72	
	Pay Request 8		
	Pay Request 9		
	Pay Request 10		
			Total Previously Approved
		<b>Amount Due This Request</b>	<b>\$148,320.77</b>
		Percent Complete	73.5%
Percent of Contract Period Utilized (In Calendar Days, Based on Notice to Proceed Date & Contract Completion Date)			75.5%

The amount \$148,320.77 is recommended for approval for payment in accordance with the terms of the Contract.

Fund.Dept.Object	Item Description	TOTAL AMOUNT TO DATE
5.760.67400	ROW	\$0.00
5.760.67610	STREETS AND BRIDGES	\$183,551.24
5.760.67612	SIDEWALK	\$7,558.47
5.760.67615	TRAFFIC CONTROL	\$7,500.00
	TRAFFIC SIGNAL	\$0.00
5.760.67170	STREETSCAPE	\$107,300.00
5.760.67650	STORM DRAINAGE	\$280,063.00
5.766.67800	WATER MAIN, HYDRANT	\$160,028.50
5.768.67670	SANITARY SEWER	\$103,150.00
5.760.67616	UTILITY RELOCATION	\$5,500.00

<b>Contractor:</b> Rognes Corp.	<b>Recommended By:</b> Foth Infrastructure	<b>Checked By:</b> City of Johnston
<b>Signature:</b> <i>Warren Rognes</i>	<b>Signature:</b> <i>Nathan Whipple</i>	<b>Signature:</b>
<b>Name:</b> Warren Rognes	<b>Name:</b> Nathan Whipple	<b>Name:</b>
<b>Title:</b> President	<b>Title:</b> Construction Administrator	<b>Title:</b>
<b>Date:</b> 8-26-16	<b>Date:</b> 8/25/2016	<b>Date:</b>



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa

AGENDA COMMUNICATION

September 6, 2016 Meeting

**SUBJECT:** Approve maintenance agreement with Baker Group for Fire Station #40's HVAC and accompanying components.

**ACTION REQUIRED:**

- Ordinance
- Resolution
- Approval
- Receive/File
- Attorney Review

**SYNOPSIS:**

The City recently signed an agreement with Baker Group to provide maintenance and a repair of the Public Safety Building's operating components. Baker Group was charged with auditing Station #40 and developing a preventative maintenance program for that facility as well.

Station #40 operates from a residential-type HVAC and accompanying component system. Preventive maintenance is much less invasive and costs for repairs are minimal compared to the PSB's system. For that reason, this agreement only covers preventive maintenance.

**FISCAL IMPACT**

\$5635.00 annually, to be paid in quarterly installments. This amount will be split with Grimes at the Formula as set forth in the Johnston-Grimes Metropolitan Fire Department 28E.

Johnston = \$3591.20 annually  
Grimes = \$2043.80 annually

**RECOMMENDATION**

Staff recommends approval of the Baker Group Sustainable Workplace Solutions Agreement for Johnston Public Safety for Fire Station #40.

# SUSTAINABLE WORKPLACE SOLUTIONS SERVICES AGREEMENT FOR Johnston Public Safety



August 15, 2016

# Sustainable Workplace Solutions For Johnston Public Safety

## Table of Contents

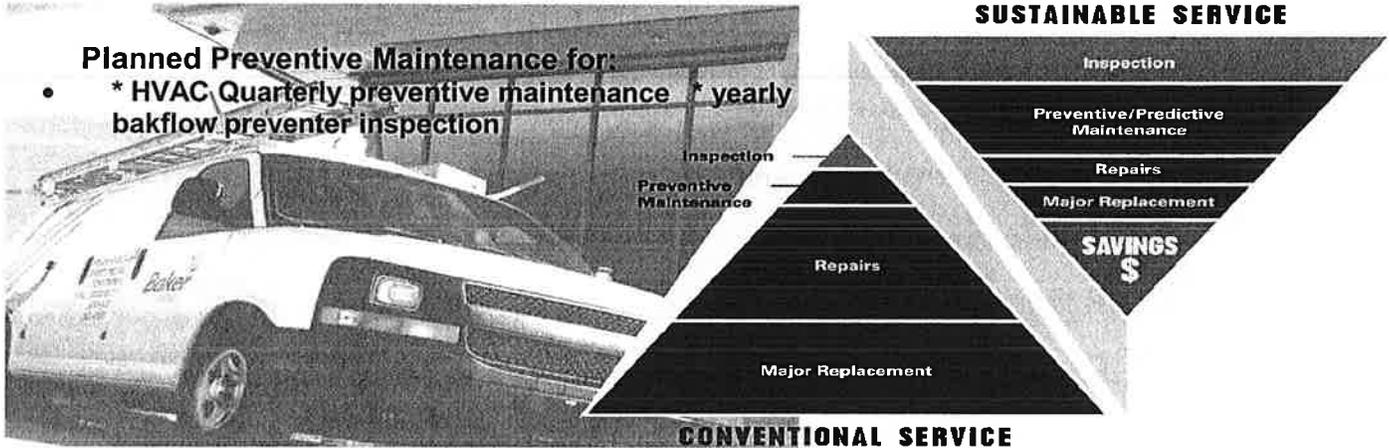
### Systems and Services

Systems and services checked below are included in the scope of this agreement. For each checked box you will find additional scope and coverage details attached.

- Heating, Ventilating, and Air Conditioning**
- Chilled Water System**
- Heating Water System**
- Chemical Water Treatment**
- Domestic Water and Plumbing Systems**
- Building Automation System**
- Industrial Automation**
- Variable Frequency Drives**
- Fire Alarm System**
- Security Access Control System**
- CCTV and Video Management**
- Parking and Revenue Control System**
- Lighting Control System**
- Data Center Services**
- Predictive Maintenance**
- Infrared Imaging**
- Indoor Environmental Improvements**
- Utility Benchmarking**
- Special Services Requests**

# Sustainable Workplace Solutions For Johnston Public Safety

## Services



Date: August 15, 2016

Baker Group is pleased to offer professional services at your Johnston Public Safety West facility at 10225 nw 62nd ave, Johnston, Iowa. Our team offers unique sustainable solutions designed to extend the life of your equipment and serve your needs.

This agreement will be in effect from \_\_\_\_\_ through \_\_\_\_\_ (2 years). The annual agreement price is \$5,635.00, to be paid quarterly, in advance. Pricing is valid for 60 days from above date. Add tax at applicable rate.

This agreement shall continue in effect from year to year after the initial term. Client will receive an automatic renewal notice 45 days prior to anniversary date. If no notice to decline the extension is received 60 days prior to the anniversary date, this agreement shall continue an additional year. Cost of renewal shall not exceed CPI as discussed in July, 2016 meeting.

### ACCEPTANCE OF AGREEMENT

Client

**Johnston Public Safety**

**BAKER GROUP**

By \_\_\_\_\_  
Authorized Client Representative

By \_\_\_\_\_  
Baker Group Representative

\_\_\_\_\_  
Name (Print)

\_\_\_\_\_  
Title

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

# Sustainable Workplace Solutions For Johnston Public Safety

Baker Group will provide maintenance for the systems described below:

- **Schedule 1 & 2**

## **Sustainable Workplace Solutions**

This service program is designed to provide Johnston Public Safety with a long-term maintenance solution. The program will be planned, scheduled, managed, monitored and enhanced by Baker Group to extend the life of your equipment.

## **Preventive Maintenance**

Baker Group will provide specially qualified trained technicians, engineers, and mechanics to perform the preventive maintenance tasks recommended by the equipment manufacturer via a computer prepared work order system which details exact tasks, skill levels required, special tools and special conditions as required to maintain the systems at optimum efficiency levels. Preventive Maintenance (PM) will ensure that all specified equipment is operating efficiently and will have a longer than average life expectancy. This reduces your long-term cost of equipment operation.

## **Administration and Reporting**

Completed service visits are documented by a detailed Baker Group Service Report to assure Johnston Public Safety that maintenance has been performed and the tasks are complete. Completed Service Orders will be filed in an on-site Service Log Book for future reference.

## **Preferred Client Rates**

This agreement includes normal consumable materials such as lubricants, grease, cleaners and clean-up materials. See individual scope pages to determine if repair labor and materials are included in this agreement. If not included in this agreement, they will be billed separately at preferred client rates.

## **Emergency Service**

Emergency service is available from Baker Group -- 24 hours a day -- 7 days a week to reduce the impact of down time and inconvenience for Johnston Public Safety. If an emergency arises, skilled Baker Group technicians will be dispatched to your site with our highest service priority. Our familiarity with your systems will allow us to quickly solve the problem and return your facility to full, efficient operation. By providing quick response, disruptions will be kept to an absolute minimum. Should emergency service be required, but not covered by this agreement, it will be billed separately at preferred client rates.

## **Commitment to Service Excellence**

In partnership with Johnston Public Safety, we promise to deliver high quality Sustainable Workplace Solutions by both understanding and exceeding your expectations. A quarterly periodic review of Baker Group's performance will be scheduled. Discussions will include, but not be limited to, quality of work, facility concerns, ways to improve, changes needed, and a request for a report card on our work. Any improvements identified will be addressed in an action plan.

# Sustainable Workplace Solutions For Johnston Public Safety

## Heating, Ventilating, and Air Conditioning Scope

If your business could be done outdoors every day, you could eliminate your investment in your building. Your business is done beneath a roof and within the comfort of four walls to improve the productivity of the people and machines you count on in your business. This maintenance program is designed to provide Johnston Public Safety with a complete maintenance program to minimize equipment downtime and extend the life of your HVAC equipment. Baker Group will plan, schedule, manage, and enhance the process to deliver the comfort and productivity you expect.

### HVAC Support Services

**Baker Group has expertise at designing, installing, and maintaining HVAC Systems. The Support Services marked below are an integral part of this service offering:**

**Air Filter Replacement**

Regular, timely, air filter replacement assures that your ventilation air is appropriately filtered. If not replaced regularly, dirty filters will degrade your system efficiency by restricting air flow. Dirty filters also provide a rich media for mold or bacteria growth that could be harmful to your building occupants. Air filters will be provided for all fan systems on the Covered Equipment Schedule.

**System Improvement Recommendations**

Baker Group is one of the largest Design/Build Contractors in Iowa. Our engineers and technicians are experienced at providing recommendations to ensure optimal performance. These recommendations are targeted towards energy savings, more efficient operation, and improved comfort for you and your building occupants.

**Pneumatic Control Systems**

Annual inspection and calibration of pneumatic controls will keep systems operating as designed. This includes reviewing control sequences and maintenance of the associated air compressor.

**Electric/Electronic Control Systems**

Annual inspection and calibration of thermostats and sensors will be performed. Electrical contacts will be cleaned and sequences will be verified to keep systems operating as designed.

**Additional HVAC Scope**

1. All HVAC Filters Changed Quarterly unless specified above under "Other."
2. April, May, June, visit to clean cottonwoods from condensers

### Service Coverage Type

- Preventive Maintenance Labor
- Preventive Maintenance Material
- Repair Labor
- Repair Material
- Client Training
- Systems Operation
- 24 / 7 / 365
- Other:

# Sustainable Workplace Solutions For Johnston Public Safety

## Services Available from Baker Group:

### **Mechanical Capabilities:**

Boiler Installation & Service  
Chiller / Cooling Tower Installation & Service  
Autoclave Installation & Repairs  
Pressure Vessel Welding Repair  
Power House Piping  
Process Piping  
Stainless Steel Piping  
Medical Gas Piping  
Underground Piping and Utility  
Hydraulic Systems  
Water Conditioning  
Plumbing Systems  
HVAC Systems  
Refrigeration  
Compressed Air Systems  
Computerized Plasma Pipe Cutter

### **Sheet Metal Capabilities:**

Specialty Metal Fabrication  
Heating, Cooling & Ventilation  
Architectural Sheet Metal  
Dust Collection / Filtration Systems  
Kitchen & Food Prep Surfaces  
Product Conveying  
Custom Machine Guards  
Smoke Stacks and Boiler Stacks  
Combustion Air Systems  
Generator Exhaust  
Damper Installation & Repair  
AutoCAD Connected 20' Plasma Table  
AutoCAD Connected Duct Machine

### **Temperature & Process Controls:**

Specialized Turnkey Systems Integration:  
- Industrial PLC/HVAC/Security/Fire/Energy  
Digital Temperature Control System Installation  
PLC Installation & Programming  
SCADA (System Control and Data Acquisition)  
Variable Speed Drives  
Temperature & Pressure Transmitter Installation  
Pneumatic Control Systems  
Boiler Sequencing & Control Wiring  
Lighting Upgrade & Control  
Real-time Energy Monitoring & Control  
Refrigerant Monitoring – Leak Reporting  
Internet Based Monitoring & Control Systems

### **Security and Fire Alarm Systems:**

Closed Circuit TV  
Digital Video Recording  
Card Access / Biometric Systems  
Network IP Addressable Hardware  
Photo ID Badging Systems  
Vendor / Visitor Activity Tracking  
Perimeter Monitoring & Control  
Parking Lot Gate Controls  
Parking Revenue Equipment  
Burglary Systems with Wireless Options  
Fire Alarm System Design and Install  
Fire Alarm Service and Inspections

### **Engineering Services:**

Design / Build Mechanical Engineering  
AutoCAD 3-D Design & Documentation  
Building Information Modeling (BIM)  
USGBC LEED® – Accredited Professionals  
Specialized Regulatory Commissioning  
Energy Use Analysis – Performance Contracting  
Indoor Air Quality Analysis  
Air Balancing – Active Pressurization Control  
Hydronic Balancing / Flow Calibrations  
Refrigerant Management & Replacement  
Thermal Process Troubleshooting  
Custom Environmental Chamber Design  
Facility Improvement Master Planning

### **Predictive Maintenance & Repair Services:**

Vibration Analysis  
Laser Shaft Alignment  
Dynamic Machine Balancing  
Meg-Ohm Motor Winding Testing  
Microlog Motor Condition Analysis  
Compressor Maintenance & Repair  
Equipment Start Up / Baseline Establishment  
for Pumps, AHU's, Chillers, Conveyors  
Electrical Power Monitoring Systems  
Infrared Thermography Analysis  
Ultra-sonic Gas Leak Detection  
Combustion Efficiency Analysis  
Back Flow Testing and Certification  
Water Treatment  
Chiller Maintenance & Rebuilding  
Scheduled Preventive Maintenance  
Building Operations Staffing  
Computerized Maintenance Management

# Sustainable Workplace Solutions For Johnston Public Safety

<b>SCHEDULE ONE</b>	AGREEMENT DATE	8/15/2016
<b>COVERED EQUIPMENT</b>	AGREEMENT NO:	32.16112

**Coverage Types:** PL = Preventive Maintenance (PM) Labor Only  
 PLM = PL + Preventive Maintenance Material  
 RL = PLM + Repair Labor  
 RLM = RL + Repair Material  
 SPECL = Special Training or Coverage  
 OPNS = On-Site Facility Operations  
 TI = Test and Inspect Only

EQUIPMENT ID#	COVERAGE TYPE	MAKE	DESCRIPTION	LOCATION
		Lennox	residential furnace m=cx34-36b-6f-2 s/n = 6012k14948	
		Lennox	residential furnace m=cx34-50/60-6f-2 s/n 6012j19767	
		Lennox	residential furnace m=cx34-31b-6f-2 s/n 6012j27125	
		lennox	res ac unit m = 13acx-036-230-17 s/n 1912k00614	
		lennox	res ac unit m 13acx-018-230-12 1912h17426	
		lennox	res ac unit m 13acx-048-230-17 s/n 1912e8494	
		Mitsubishi	Mini-split puy-a12nha4 s/n 12u05025b	
			backflow	



# Sustainable Workplace Solutions For Johnston Public Safety

## TERMS AND CONDITIONS

### GENERAL

1. Baker Group agrees to perform all work in a workman-like manner and to furnish quality materials.
2. Client will provide reasonable access to all areas, systems, and equipment, and Baker Group may inspect, stop and start systems and equipment as may be necessary to perform its services under this Agreement.
3. All preventive maintenance and non-emergency repair or replacement services will be performed during normal working hours, 8:00 AM to 4:30 PM, Monday through Friday, excluding holidays or days recognized as holidays.
4. Client will notify Baker Group of any defect in any system or equipment promptly when it becomes known to them or reasonably should have become known to them.
5. If an emergency call is made at Client's request and no defect is found to be present, Baker Group may charge Client at the preferred client rate for such services if equipment is not covered by the contract.
6. In addition to any price specified in this Agreement, Client shall be responsible for any and all applicable local, state, or federal permit or registration fees or taxes, including sales, use, excise, or other similar taxes, applicable to this Agreement, including but not limited to taxes on the recovery, recycling, reclamation, handling and disposal of all refrigerants.
7. Payments due under this Agreement shall be made within thirty (30) days from the date of the invoice. Any balance unpaid after thirty (30) days from the date of the invoice shall bear a finance charge of 1.50% per month from the date of the invoice. In the event Baker Group must commence collection or legal action in order to recover any amount due under this Agreement, Client shall pay Baker Group all costs and expenses, including but not limited to attorney's fees, incurred by Baker Group.
8. After the initial term, Baker Group may adjust the price charged under this Agreement annually on the anniversary date to reflect changes in conditions and prevailing labor and material costs.
9. ~~Client represents that all systems and equipment covered under this Agreement are in maintainable condition and meet current codes. If repairs are found necessary during the new agreement start-up inspection or the initial seasonal start-up, a repair proposal will be submitted for approval. If the repair proposal is declined, the non-maintainable items will be eliminated from the Agreement and the Agreement price adjusted accordingly. If during the term of the Agreement, covered equipment becomes non-repairable due to unavailability of replacement parts, Baker Group, at its option, may remove it from the Agreement and the Agreement price will be adjusted accordingly.~~
10. **Repair, replacement and emergency service provisions apply only to the equipment and system(s) covered by this Agreement.** The client is responsible for the replacement or repair of non-moving, non-maintainable parts, such as structural supports, stations, device mounts, ductwork, boiler shell and tubes, boiler refractory, insulating materials, equipment cabinets, fixtures, boxes, water supply lines, plumbing, oil storage tanks, oil and/or gas lines, water lines, refrigerant piping, pneumatic tubing, converter shell and tubes, heating or cooling coils, electrical wiring and conduit. (Does not cover or include equipment Baker Group did not install and cannot maintain.
11. Client is responsible for the addition of any equipment or performance of any tests or changes in design required by insurance companies, local, state or federal authorities.
12. If the system(s) or equipment covered is altered, modified, changed or moved, this Agreement may be adjusted accordingly.
13. As part of this Agreement, Baker Group may provide capital goods or services in advance of payment. If this Agreement is canceled before the end of the initial term, Baker Group reserves the right to invoice Client for any costs incurred in excess of the revenue received by Baker Group over the period of the initial term and any extensions thereof.
14. In the event that during the term or within one (1) year after termination or non-renewal of this Agreement, Client hires a Baker Group employee to perform any or all services provided by this Agreement, Baker Group reserves the right to invoice and collect from Client an amount equal to the expected first year income of the individual.
15. The coverage included in this Agreement, including terms, conditions and schedules attached hereto and incorporated herein, will constitute the entire agreement between us. This Agreement is the confidential property of Baker Group and is provided for Client's use only. No waiver, change or modification of any terms or conditions of this Agreement shall be binding on Baker Group unless made in writing and signed by authorized management of Baker Group.
16. If the Client defaults under this Agreement, Baker Group may terminate this Agreement upon thirty (30) days written notice to Client.
17. The provisions set forth herein in the Terms and Conditions shall be controlling over any other provisions in this Agreement.
18. If any term or provision of this Agreement is held invalid or unenforceable to any extent, the remaining terms and provisions of this Agreement shall not be affected thereby, but each term and provision of this Agreement shall be valid and enforced to the fullest extent permitted by law.
19. This Agreement shall be construed and enforced in accordance with the laws of the State of Iowa.
20. Baker Group does accept MasterCard and VISA credit card payments. However, the vendor charges us a 4% processing fee. These charges will be passed on to the customer for invoice amounts exceeding \$2000.

### LIMITATIONS OF LIABILITY, INDEMNIFICATION, AND WARRANTY DISCLAIMER

1. Baker Group shall not be liable for damage or loss due to fire, flood, lightning strikes, electrical spikes, brown outs, phase loss/reversal, corrosive substance in the air, strike lockout, dispute with workmen, inability to obtain material or services, computer virus, commotion, attack, war, terrorism, act of God, or any other cause beyond Baker Group's reasonable control.
2. In no event, whether as a result of a claim of breach of contract, breach of warranty, negligence, or otherwise, shall Baker Group or its suppliers, employees or agents be liable for any special, consequential, incidental, or penal damages arising out of or relating to this Agreement, including but not limited to, loss of profit or revenues, loss of use of any products, machinery, systems or equipment, damage to associated products, machinery, systems, or equipment, cost of capital, cost of substitute products, machinery, systems, equipment, facilities, services or replacement power, down time costs, PCI DSS compliance fines, lost profits, or claims of Client's clients for such damages. ~~In no event shall Baker Group's liability, whether sounding in warranty, contract, tort, or otherwise, exceed the price paid under this Agreement.~~
3. If Client does not operate machinery, equipment or system(s) per initial design, code or manufacturer's requirements, Baker Group shall not be liable for any malfunctioning components or non-function of system or for any related damages.
4. Client acknowledges that signals which are transmitted over telephone lines, air waves, and/or other modes of communication pass through communication networks wholly beyond the control of Baker Group and therefore Baker Group shall not be held responsible for any failure which prevents transmission signals from reaching the third party monitoring company or for any related damages.
5. Baker Group assumes no responsibility and therefore shall not be liable to Client for any loss or damage suffered by Client as a result of burglary, hold-up, fire, smoke, water damage, vehicle damage, machinery, equipment, or system failure, failure of central station, or failure of municipal authority to respond to signals, or any other cause whatsoever, regardless of whether such loss or damage or personal injury or death was caused or contributed to by Baker Group's or the third party monitoring company's negligent performance or failure to perform any obligations.
6. Client agrees that false alarm assessments or like charges may be imposed by local government bodies or other organizations who Baker Group or the third party monitoring company is directed to report alarm activity. Client agrees to promptly pay any or all of such false alarm fees.
7. Client agrees that Baker Group is not an insurer and that no insurance coverage is offered herein.
8. Each party is responsible and liable to the other parties only for its own acts and omissions, and the acts and omissions of its trustees, directors, officers, employees, and agents, relating to the Johnston Public Safety Building. The City agrees to indemnify, defend with counsel, and hold Baker Group and their respective trustees, directors, officers, employees, and agents harmless from, and Baker Group agrees to indemnify, defend with counsel, and hold the City and its directors, officers, employees, and agents harmless from, any claim, liability, cost, expense, damage, deficiency, loss or obligation, of any kind or nature (including without limitation, reasonable attorneys' fees and other costs and expenses of defense) (collectively, "Claims") resulting from the indemnitor's acts or omissions, or those of its trustees, directors, officers, employees, or agents, under, arising out of or otherwise related to this Agreement, except to the extent such Claim arises out of the gross negligence or intentional wrongdoing of the party seeking indemnification or that of its trustees, directors, officers, employees, or agents.
9. ~~In the event the Baker Group should prevail in any legal action arising out of the performance or non-performance of this Agreement, Client shall pay, in addition to any damages, all expenses of such action, including but not limited to reasonable attorneys' fees and costs.~~
10. Baker Group warrants materials to the extent and for the time period said materials are warranted to Baker Group by the manufacturer(s); and Baker Group's liability, if any, under this Agreement shall be limited to replacement of defective materials covered by such manufacturer(s) warranty. **NOTWITHSTANDING ANYTHING CONTAINED IN THIS AGREEMENT TO THE CONTRARY, BAKER GROUP MAKES NO OTHER REPRESENTATIONS OR WARRANTIES EXPRESSED OR IMPLIED OR ARISING BY OPERATION OF LAW AS TO THE SERVICES OR THE CONDITION OF ANY MATERIALS PROVIDED UNDER THE**



**PLANNING & ZONING COMMISSION**

City of Johnston  
6221 Merle Hay Road, Johnston, IA 50131

*See 1*

Minutes  
Regular Meeting: Monday, August 29, 2016

**AGENDA**

**1. Call to Order**

Chairman Petersma called the meeting to order at 7:02 p.m.

**2. Roll Call**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Present</b>			X	X	X	X	X
<b>Absent</b>							

Severino entered the meeting at 7:04 p.m.

City Staff Present: David Wilwerding, Clayton Ender, Rebekah Davis

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**3. Approval of Agenda**

Petersma called for a vote to approve the agenda.

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**4. Approval of Meeting Minutes:** Regular Meeting of July 25, 2016.

Roll Call Vote:

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**5. PZ Case No. 16-22; Simpson Property Zoning Map Amendment:** The applicant, Simpson Enterprises, Inc. has requested an amendment to the Johnston 2030 Future Land Use Map

and a rezoning of their property from A-R, Agricultural Reserve District to R-1(75) Single-Family Residential District, C-2 Community Retail Commercial District, PC Professional Commerce Park District, and R-3 Medium Density Multiple Family Residential District.

Ender presented the staff report.

Johnson requested that the developer address the timeline of the project, assuming the approval of the rezoning.

Petersma inquired as to why there is a subdivision between the C-2 districts. Ender stated that the subdivision indicates the future division of land ownership.

Petersma noted that the C-2 West zoning district would be bound by the restrictions of the development agreement. Ender stated that C-2 West district would have the restrictions of the development agreement because the area is adjacent to the R-3 and R-1(75) zoning districts.

Rick Baumhover, Bishop Engineering, stated that the current comprehensive plan identified professional commerce and medium density residential in the subject property. In consideration of residential neighbors, zoning transitions have been proposed to gradually move to the commercial and professional commerce zoning districts. He reiterated that the subdivision of the C-2 zoning districts indicates the future ownership. In the future C-2 West will be transferred property.

Johnson inquired as to how the zoning district divisions were determined. Baumhover stated the zoning district divisions were determined by WesleyLife's site proposals for the amount of land required for each zoning district.

Petersma inquired if they had considered C-1 zoning as opposed to C-2. Baumhover responded that they were seeking restaurants that could accommodate a drive-thru. This amenity is permissible in C-2 zoning districts. He noted that WesleyLife is seeking restaurants for their residents.

Petersma opened for public comment at 7:23 p.m.

Karen Jeske, 6827 NW 88<sup>th</sup> Court, she believes that the WesleyLife project looks admirable however, she would like more explanation about their intention for the C-2 West zoning. She inquired about the status of the development agreement with respect to the condition of the pond, trail development and the proposed timeframe for completion.

James Hoyt, 6831 NW 88<sup>th</sup> Court, inquired about the timing, process and ownership for the proposed open space along the southern boundary of the subject property and tree removal.

Steve Kelting, 6814 Peckham Street, is concerned with the potential increase in traffic on Peckham Street. He believes that the proposed development may cause significant traffic increase on his street. He is concerned about how the R-3 zoning district will transition to the R-1(75) zoning to the south. He inquired as to the intention for the entire R-3 zoning district.

Greg Baldner, 9107 Wooded Point Drive, he is concerned with the type of buildings that will be built adjacent to his property. He does not desire a 3 story building behind his house.

Petersma closed for public hearing at 7:30 p.m.

Ender responded that the development agreement proposed is tied to the area defined as C-2 West. There is an easement for a bike trail along the southern boundary of the subject property; north of the creek. Trail development would occur with development of each individual parcel.

There would also be a trail that will extend along Peckham Street and connect with the trail system north of NW 70<sup>th</sup> Ave.

Petersma inquired as to what portions of land will be immediately affected. Matt McNeal, WesleyLife, responded that the portion of the transferred property that will be immediately affected is primarily in the proposed R-3 district. In the zoning transition, there will be 2 single story 18 unit cottages, which progress to a story and a half building, that then transition to a three story structure. They have attempted to give the project rise gradually to the commercial and professional commerce development. They hope that this will limit the traffic and noise from NW 70<sup>th</sup> Ave and provide the best experience for their residents. The C-2 West portion has been reserved for WesleyLife uses to be determined later; potentially an office location for WesleyLife, a community hub for home and commune based services or a café that ties to the program and product. The single family home development will be done through a partnership with another developer. WesleyLife will create the infrastructure and run utilities for the single family development. They would like to use the creek to create an amenity feature for residents of the neighborhood. They look forward to connecting to the trail system and adding to it around their development. Regarding the traffic concerns, they have proposed a 118 -120 unit project, 50 percent of the units will be parked 1:1 and of that only about 75% of those residents will be driving. Therefore, the total traffic generated from this development will be limited.

Baumhover stated that the applicant currently has no plans for the eastern portion of the subject property. C-2 represents the best flexibility for the property. They would prefer to see an office park to the south. The existing pond will stay and be cleaned up to provide stormwater detention for the property. The roundabout at NW 70<sup>th</sup> Ave will provide better traffic movement for the development. This property may only have another right-in-right out access point at the northern property boundary. The development agreement will restrict the uses allowable in the C-2 West district. The professional commerce district to the southeast is shown on the current land use map. There will be a 40 foot trail easement to the south however, the trail would not be constructed until the property is developed. The timing of the eastern development is uncertain. The WesleyLife timeline is as soon as possible but they are restricted by the improvements to NW 70<sup>th</sup> Ave.

Smith questioned why the restrictions are not consistent through-out the C-2 zoning district. Baumhover stated that the applicant would like to keep their options open with respect to the potential uses for the property being zoned C-2 with the standard restrictions of the zoning district. The C-2 West has additional restrictions of the development agreement because it is adjacent to residential properties.

Petersma questioned if the WesleyLife project will occupy the entire R-3 zoned district. McNeal stated that the R-3 zoning district would not be completely occupied by the Wesley Acres project and that they are seeking to mass the project as close to NW 70<sup>th</sup> Ave as possible.

Petersma inquired as to how many feet would not be used on the southern portion of the R-3 district. McNeal indicated on the map a portion along the tree line in the southern portion of the district would remain green space. Ender added that there is a 50 foot stream buffer requirement starting from the center of the stream. The stream buffer and the buffer requirement between the zoning districts will occupy much of the available space.

Petersma questioned what could potentially occupy the residual southern portion of the R-3 district. Ender stated that anything that would be permitted in the R3 zoning district would be allowed however, this ability is limited to the area available. Johnson questioned if there were a significant residual amount of space available, could an additional 3 story apartment building be built in the southern portion of the property. Ender stated that if WesleyLife subdivided their lot and the bulk requirements were met there could be an additional 3 story structure. Additionally, the R-3 zoning district is restricted to 8 units per acre.

Petersma inquired if the WesleyLife project could conform to a less dense zoning district. Ender stated that nursing, convalescent and assisted living uses are restricted to an R-3 zoning district.

Johnson is concerned about what we may open ourselves up to with the potential to subdivide the R-3 zoning district. Anderson believes that the WesleyLife design and project layout seems well thought out. She understands the concerns with the residual space along the southern portion of the R-3 district however; she believes that the use could also be single family homes. Petersma stated that WesleyLife has a vested interest in having good neighbors. He does not think that it would be likely that WesleyLife would sell the remaining portion of their property to a developer that would create a large imposing structure, with noisy neighbors.

Motion by Severino, second by Anderson to approve PZ Case No. 16-22; Simpson Property Zoning Map Amendment and the rezoning proposal.

**Roll Call Vote:**

	<b>Spencer</b>	<b>Severino</b>	<b>Johnson</b>	<b>Smith</b>	<b>Pavlovec</b>	<b>Petersma</b>	<b>Anderson</b>
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**6. PZ Case No. 16-25; Northwoods Crossing Preliminary & Final Plat:** The applicant, Simpson Enterprises, Inc. has requested a minor subdivision of the subject property to allow for property transfer of Outlot 'A'. As a minor subdivision, no extension of streets or utilities is proposed.

Ender presented the staff report.

Johnson inquired if the outlot subdivision line on the plat was the same as the proposed rezoning subdivision discussed in the Simpson Property Zoning Map Amendment. Ender affirmed.

Petersma clarified that the entire parcel would be divided in to two outlots. Ender responded that the property transfer is dependent on the platting of the parcel into outlots. Petersma inquired as to why the property is being subdivided into outlots. Ender stated this would allow for the property transfer to occur.

Motion by Smith, second by Anderson to approve PZ Case No. 16-25; Northwoods Crossing Preliminary & Final Plat subject to the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. Address comments from Foth's review letter dated 8/9/16.
3. The Preliminary and Final Plats must be revised to provide street lots for additional right-of-way adjacent to NW 70<sup>th</sup> Avenue.
4. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.
5. The following documents must be recorded with the final plat:
  - Attorney's Title Opinion
  - Polk County Treasurer's Tax Certificate
  - Consent to Plat (Owner)
  - Consent to Plat [Lender (If Applicable)]
  - Trail easement as necessary

- Stream buffer easements
  - Petition and Waiver for NW 70<sup>th</sup> Avenue.
  - Warranty Deed Street Lots
  - Ground water hazard statement
  - Lender's partial release of Mortgage
6. Revise the preliminary and final plats to include the existing easement for bike path filed at book 11988 and page 570-572 on 12/12/2006.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**7. PZ Case No. 16-04; Wilkie Place Preliminary Plat:** The applicant, Capital City Development, LLC has submitted an amended preliminary plat that updates the original Wilkie Place Preliminary Plat to identify tree removal along the north, east, and south property boundaries.

Ender presented the staff report.

6.

Smith inquired if all the trees would be removed. Ender stated there will be 158 trees greater than 6 inch caliper that will be removed.

Anderson requested that staff explain why the deemed the tree removal to be “necessary” and why “the original preliminary plat did not identify this tree removal was because it did not get properly updated prior to approval.”

Chris Thompson, Cooper Crawford & Associates, when the initial survey was done there was an oversight on where the tree trip line was and where the tree trunks were in relation to the property line. The applicant would like to save the trees however, based on the stormwater requirements the detention basin is required were the tree line is.

Smith inquired if all the trees on the property would be removed. Thompson clarified that the trees in the southeast corner would be saved and 2 trees in the northeast corner would be saved. Additionally, there are trees just outside of the property line that will remain.

Johnson stated that based on the proposed location of the detention basin the tree removal conflict is self-explanatory. Thompson affirmed.

Petersma inquired as to why the trees in zone 4 (the outlot) would be removed. Thompson stated that there will be a significant amount of cut in the area and those trees would not survive. He expounded that the cut required to tie into existing contours and existing grade would cause the trees in zone 4 to die. Petersma noted that the property is at grade. Thompson clarified that the grade and infrastructure requirements for 64<sup>th</sup> Place would adversely affect the health of the trees in zone 4 causing them to die.

Pavlovec inquired as to what percentage of total count of trees in the tree line both in and outside of the subject property would be removed. Timothy Schutte, the applicant, stated that the majority of the tree line near the southern boundary is on the subject property. On the northern property boundary, there is a fence and the majority of the trees on the fence line were volunteer trees and have overgrown. He noted that they are required to plant trees. He estimated that about 40% of the trees are ash trees which may have issues in the future. Initially he desired to save the trees however, due to a miscommunication the trees have to be removed.

Petersma opened for public comment at 8:13 p.m.

No comment received.

Motion by Smith, second by Johnson to approve PZ Case No. 16-04; Wilkie Place Preliminary Plat subject to the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. All other conditions of Resolution 16-69; A Resolution Approving the Preliminary Plat for Wilkie Place, shall remain in full force and effect.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	
<b>Nay</b>							X
<b>Abstain</b>							

**8. PZ Case No. 16-23; Advantage Homes Warehouse Site Plan:** The applicant, Advantage Homes has submitted site plans for the development of a 4,000 square foot building, a 5,880 square foot building, and an 11,023 square foot outdoor storage area. The property is located on the northeast corner of NW 59th Avenue and NW 49th Street. The site is zoned M-1, Light Industrial, and is legally described as Lot 112 NW Beaver Business Park.

Ender presented the staff report.

Petersma clarified the fact that no employees will be regularly employed on the premises and that this warehouse will be exclusively used for storage. Ender affirmed based on the proposal, there will be no employees regularly employed on the premises.

Smith requested that the applicant address the concerns identified in the packet.

Kirk Hesse, Advantage Homes, the applicant, addressed the questions posed by Karen Bryson. He stated that the existing trees will remain on the south side of the property. A fence will be constructed; probably an 8 foot fence, the type and style will be determined later. Basic construction materials and equipment will be stored in the warehouse. He stated that there may be glue and various other chemicals stored in the warehouse however, there will not be a large amount of flammable, corrosive or dangerous materials stored. Equipment will be stored in the warehouse. Occasionally, they will receive a delivery from a semi truck but the majority of the trucks on site will be his. At this time he does not intend to have a sign. Typically, the hours of operation are from 7 a.m. to 5 p.m. or 6 p.m. but on occasion they may operate later than that.

Jim Bryson, 6005 Pinewood Court, he inquired about the material used in the construction of the fence. He requested that the fence provide somewhat of a sound barrier. He is concerned with the potential for noise from the trucks on the property. He inquired about the size of the trees that will be planted. He believes that mature trees would provide a protection for his property. He inquired if semi trucks would frequent the property. Hesse responded that they don't regularly receive deliveries from semi trucks.

Bryson believes that it would be important that semi trucks not frequent the neighborhood for the safety of the children in the area. He confirmed that the entire area will be asphalted. Ender affirmed. He inquired as to how high the outdoor storage would be. Hesse stated that there may

be some items stored outside that would be higher than the 8 foot fence. He questioned if there were any noise restrictions for the industrial property near residential homes. Petersma stated that City has a noise ordinance but, the buffer requirements are established to reduce the intrusion of the dissimilar zoning districts.

Bryson inquired as to the amount of noise expected from the property. Hesse stated desires to be a good neighbor. Hesse noted that the developers of the townhomes adjacent to his property were granted a waiver from the buffer requirements to change the located of the tree line. He stated that it does not appear that the majority of the trees that were proposed to create a buffer from the different zoning districts were ever planted in the adjacent townhome development. Hesse stated that he would be willing to plant more mature trees as a buffer. He does not believe that a fence would provide the best buffer for noise. He believes that the evergreen trees would provide the best sound and visual buffer.

Larry Rodgers, 6013 Pinewood Court, he is concerned with noise from semi tractor trailers and the outside storage. He inquired about parking and what would occur if in the future the number of regular employees were to increase.

Vic Piagentini, Associated Engineering Company of Iowa, stated that there is plenty parking for an increase of employees. He estimated that there will be 15 parking stalls but they were only required to have 4.

Rodgers confirmed that there will not be an office in the warehouse. Hesse affirmed, currently there will be no employees regularly employed on site however; he stated that he cannot definitively say that there will never be an office there in the future.

Gerald Schnepf, 6011 NW 49<sup>th</sup>, he would like to examine in detail the buffer requirements and believes that a berm would aid in creating a buffer. He is concerned with how the use of the property would be controlled. Johnson does not believe that a berm will be appropriate to accommodate the stormwater detention and retention requirements. Ender stated that the storm water quality and quantity is required to be addressed on the property. He expounded that placing a berm as a buffer may limit the functionality of the storm water quantity and quality receptacles on site. The overland flowage easement on the northern boundary of the property will restrict the use of a berm. Rodgers was concerned with the permeability of the asphalt. Ender clarified that the material is semi-permeable recycled asphalt millings. Rodgers exclaimed that even with the storm water constraint a berm could still be created.

Piagentini stated that the applicant is attempting to work within the constraints of the lot and has allowed for all the buffering requirements and will not remove any of the existing trees. He stated that the applicant is attempting to leave the southern portion of the property as is however, they do need to include swale meet the storm water detention requirements for the lot. Petersma believes that there is a substantial amount of trees on the applicant's property and adjacent properties. Additionally, he stated that no one can predict future use of the property.

Wilwerding noted that verification of the proposed of the use of the property will be completed before the issuance of the certificate of occupancy. He clarified that if the use of the building would change or alterations to the building were proposed to accommodate office use they would need to reconsider the site plan to determine if additional parking would be required.

Anderson added that she appreciated that the developer has agreed to add more mature trees to accommodate his neighbors.

Motion by Smith, second by Severino to approve PZ Case 16-23, the Site Plans for 4845 NW 59th Avenue with the following conditions:

The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.

1. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
2. No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
3. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
4. City Council acceptance of recycled asphalt millings as an acceptable dustless hard surface material on the subject site in satisfaction of chapter 166.33.3.F.(2) of the City of Johnston Code of Ordinances. Said material shall only be used in the fenced in outdoor storage area and practices put in place to insure the material does not flow onto adjacent properties or into the overland flowage easement.
5. **Prior to issuance of a grading permit the following items must be provided:**
  - a. Evidence that an overland flowage easement along the west property boundary of Lot 113 NW Beaver Business Park is being provided for the benefit of Lot 112 NW Beaver Business Park.
6. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Indicate the 150' fire hydrant coverage on the site plans.
  - b. The outdoor storage area must be screened from public right-of-way and adjacent properties, including the adjacent M-1 Light Industrial Zoned property and the townhomes to the north.
  - c. Include an engineer seal that will cover sheets 1 – 3.
  - d. Address Foth's review letter dated August 24, 2016.
7. **The architectural elevations must be amended and the following items shall be completed prior to issuance of a building permit:**
  - a. Include the square footage and percentage of the total area for each building material to be used on each side of both buildings.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>		X	X	X	X	X	
<b>Nay</b>							
<b>Abstain</b>							

**9. Other Business**

**10. Adjournment**

Meeting adjourned at 8:52 PM.

\_\_\_\_\_ **Chair**

\_\_\_\_\_ **Secretary**



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 September 8, 2015

**SUBJECT:** Consider Resolution #16-183 establishing deer management zones on private properties for the 2016/17 urban bow hunt program

**ACTION REQUIRED:**

Ordinance  
 Resolution  
 Approval  
 Receive/File  
 Attorney Review

**SYNOPSIS:**

This is the 19<sup>th</sup> year Johnston will participate in the urban bow hunt for deer. The initiative began in 1998 due to a recommendation by the Polk County Deer Task Force as a way to manage the deer population to reduce the number of deer/vehicle and deer/property conflicts. Pleasant Hill, Urbandale, Clive, West Des Moines, Des Moines, Polk County, the state of Iowa and the U.S. Army Corps of Engineers participate in the program.

The goal of the Task Force is to maintain the deer population below 30 deer per square mile. Based on the annual aerial survey, the deer per square mile in various locations in Johnston are:

Year	Beaver Creek	Camp Dodge	Westside of Saylorville
2008	169	66	59
2009	125	49	45
2010	136	42	71
2011	103	48	44
2012	46	22	60
2013	125	41	49
2014	115	45	19

The City Council approves, by resolution, the areas that will be open for hunting. Any hunting that takes place outside of an approved area is illegal. On August 1st the council approved the public areas that will be allowed to

be hunted during the 2016/17 season

In order for hunters to be eligible to hunt they must pass an archery proficiency test with the weapon they will hunt with, a bow hunting safety education course and purchase a license from the Iowa Department of Natural Resources. Hunters must also obtain permission from the property owner before they hunt. This year the hunt is scheduled from September 17, 2016 through January 29, 2017.

This action approves several private properties to be allowed to be hunted. On the smaller parcels the adjoining property owners are requested to sign a form indicating that they have been notified of possible hunting on the property. All adjoining property owners were sent notice of the council meeting in the event they would like to address the council regarding the hunting program.

Attached are maps and supporting documents for each of the requests. Resolution 16-183 approves hunting on the following properties:

1. Gwinn, 7385 NW 54th Court
2. \*Hall, 8040 NW Beaver Drive
3. Hoffschneider property, 5600 NW 72nd Place
4. Hyperion Field Club, 7390 NW Beaver Drive, designated wooded area adjacent to the driving range on the east side of NW Beaver Drive. Hyperion only approves hunting for a limited number of club members
5. \*Klipec, 8004 & 8022 NW Beaver Drive
6. Merritt property, 5280 W 58<sup>th</sup> Street
7. Nichol Property, 7365 & 7375 NW 54th Court
8. Young property, 5413 NW 72nd Place

\*denotes new property for 2016

FISCAL IMPACT:

Staff's time to issue the permits, monitor the program and verify the deer taken.

RECOMMENDATION:

Approve Resolution #16-183.

---

## **RESOLUTION NO. 16-183**

### **A RESOLUTION ESTABLISHING PRIVATE PROPERTIES TO BE DESIGNATED FOR THE 2016/17 URBAN BOW HUNT PROGRAM**

WHEREAS, it has been determined by the Polk County Deer Task Force that a deer management program in Polk County is needed to reduce the number of deer/property and deer/vehicle conflicts,

WHEREAS, The Polk County Deer Task Force recommends that the City of Johnston participate with other metropolitan area communities in the annual bow hunt for deer,

WHEREAS, Johnston has participated with other communities in the urban bow hunt for deer since the beginning of the program in 1998,

WHEREAS, Chapter 41.13 of the Johnston Municipal Code allows hunting by bow and arrow within the Johnston City limits and establishes the conditions for the program,

WHEREAS, Chapter 41.13 (D) of the Johnston Municipal Code requires that the City Council designate the areas, by resolution, where the deer hunt may take place,

WHEREAS, city staff has reviewed the properties proposed to be hunted and has determined they meet the criteria for the hunt, now therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that:**

Resolution No. 16-183 is adopted designating private properties approved for bow hunting for deer within the Johnston city limits for the 2016/17 hunting season. The properties included in the resolution are:

1. Gwinn, 7385 NW 54th Court
2. Hall, 8040 NW Beaver Drive
3. Hoffschneider property, 5600 NW 72nd Place
4. Hyperion Field Club, 7390 NW Beaver Drive, designated wooded area adjacent to the driving range on the east side of NW Beaver Drive. Hyperion only approves hunting for a limited number of club members
5. Klipec, 8004 & 8022 NW Beaver Drive
6. Merritt property, 5280 W 58<sup>th</sup> Street
7. Nichol Property, 7365 & 7375 NW 54th Court
8. Young property, 5413 NW 72nd Place

CITY OF JOHNSTON

Property owner request to have their property included in the Urban Bow  
Hunting program  
August 2016

Note: This form/process may be completed by the property owner or by an interested person on behalf of the property owner (i.e. a hunter that is interested in hunting the property).

Name of the property owner: KENNETH "PET" GWINN

Street Address: 7385 NW 54TH CT JOHNSTON IA

Daytime Phone: 515-525-7774 Evening/Weekend Phone: \_\_\_\_\_

E-mail address: TREXINIA@MSN.COM.

Contact person for the hunt (if different from the property owner):

Name: SAME

Daytime phone: \_\_\_\_\_ Evening/Weekend Phone: \_\_\_\_\_

E-mail address: \_\_\_\_\_

Description of the property to be hunted including size and any unique characteristics:

\_\_\_\_\_  
\_\_\_\_\_

Reason(s) why you are requesting your property to be hunted (check all that apply):

- Too many deer
- Property damage caused by deer
- Vehicle accident concerns
- Sanitary issues
- Concerned with personal safety
- Other \_\_\_\_\_

Hunters are required to hunt from an elevated stand. Does the property contain trees that would enable hunters to hunt from an elevated stand?  yes  no

Chapter 41.13 of the city code defines where hunting is allowed and the requirements for hunting. Hunting is not allowed within 200 feet of a home or building UNLESS the property owner or authorized property manager waives the separation requirement in writing to the City. In making the request to have your property hunted are you also waiving the 200 foot separation requirement for your property?

Yes , No . If no, explain \_\_\_\_\_

Are there any homes or buildings on neighboring properties that are within 200 feet of the area to be hunted on your property that may require a 'Waiver of Separation?'

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Are there any schools or day cares licensed and/or registered with the state of Iowa within 300 feet of your property?

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Are there any recreation trails, streets or roads within 100 feet of the area on your property that is to be hunted?

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Hunting rules as established by the Iowa Department of Natural Resources must be followed. For example hunting must occur between ½ hour before sunrise and ½ hour after sundown. Are there any additional restrictions regarding the times and/or days that will be placed on hunters that hunt your property?

\_\_\_\_\_  
\_\_\_\_\_

Adjoining property owners may request to have their properties included in the bow hunting program. Do you support hunting on adjoining properties?

Yes , No \_\_\_\_\_. If no, explain \_\_\_\_\_

If the city receives inquiries from hunters looking for properties to hunt, do you want the city to provide your contact information to interested hunters?

Yes \_\_\_\_\_, No .

By signing this form, I acknowledge that I am familiar with the rules and regulations of the urban bow hunt program (including distance requirements and the hunter approval process). I agree to abide by the rules and regulations as established by the City of Johnston, the Polk County Deer Task Force and the Iowa Department of Natural Resources and I agree to save and hold the city and its officials, employees and agents harmless from any and all liability for personal injuries, death, property damage, and other claims arising out of or associated with deer hunting, and entry upon land, whether caused solely by my negligence or actions or contributed to by the City, its officials, employees or agents.

Property owner(s) signature: X [Signature]

Date: \_\_\_\_\_

CITY OF JOHNSTON

Acknowledgement of a request to allow bow hunting for deer on an adjoining property

August 1, 2016

The purpose of this document is to provide a method to assure neighbors are informed of a request to allow bow hunting for deer on an adjoining property.

The urban bow hunting program was established in an effort to control the deer population in Polk County. Controlling the population will reduce property damage caused by deer and the number of deer/vehicle accidents. Hunters must follow the hunting rules as established by the Iowa Department of Natural Resources, the Polk County Deer Task Force and the city of Johnston. Hunters are only allowed to hunt on properties approved by resolution of the Johnston City Council. Iowa law allows hunters to enter private property to retrieve an animal. In retrieving an animal the hunter must leave their weapon on the property on which they were approved to hunt or store the weapon in their vehicle. The dates established for the 2016/17 hunt are September 17, 2016 through January 29, 2017.

Participating hunters must meet the following criteria:

- Possess a valid deer hunting license for Deer Management Zone (DMZ) Zone 48 issued by the Iowa Department of Natural Resources (DNR)
- Pass an approved International Bowhunters Education Foundation (IBEF) bowhunter safety education course
- Pass a National Field Archery Association (NFAA) archery proficiency test using your hunting weapon (to be completed annually)
- Obtain written permission from the owner of the property to be hunted.
- Hunters must take all shots from an elevated stand at least six feet in height.

Kenneth "Rex" Gwin (property owners name) has requested that their property located at 7385 NW 54th Ct Johnston IA (address) be included

in the Polk County Urban Bow Hunting program. The reason for the request is To Many Deer.

By state law hunting may not occur prior to ½ hour before sunrise and ½ hour after sundown. The property owner has requested the following additional time and day restrictions are placed on the hunters - \_\_\_\_\_ . By signing below the adjoining property

owner acknowledges that they are aware of the request to hunt the property.

Name (print)	Address	Signature	Support and/or concerns regarding the proposed hunt
Steven Nichol	7365 NW 54th	<i>St Nichol</i>	



GWINN PROPERTY  
7385 N.W. 54<sup>TH</sup> COURT

**CITY OF JOHNSTON**  
**Property owner request to have their property included in the Urban Bow**  
**Hunting program**  
August 2016

Note: This form/process may be completed by the property owner or by an interested person on behalf of the property owner (i.e. a hunter that is interested in hunting the property).

Name of the property owner: Doug and Lynette Hall

Street Address: 8040 NW Beaver Dr

Daytime Phone: 651-308-8090 Evening/Weekend Phone: \_\_\_\_\_

E-mail address: ldzshall123@gmail.com

Contact person for the hunt (if different from the property owner):

Name: \_\_\_\_\_

Daytime phone: \_\_\_\_\_ Evening/Weekend Phone: \_\_\_\_\_

E-mail address: \_\_\_\_\_

Description of the property to be hunted including size and any unique characteristics:

almost 2 acres

Reason(s) why you are requesting your property to be hunted (check all that apply):

- Too many deer
- Property damage caused by deer
- Vehicle accident concerns
- Sanitary issues
- Concerned with personal safety
- Other \_\_\_\_\_

Hunters are required to hunt from an elevated stand. Does the property contain trees that would enable hunters to hunt from an elevated stand?  yes  no

Chapter 41.13 of the city code defines where hunting is allowed and the requirements for hunting. Hunting is not allowed within 200 feet of a home or building UNLESS the property owner or authorized property manager waives the separation requirement in writing to the City. In making the request to have your property hunted are you also waiving the 200 foot separation requirement for your property?

Yes , No . If no, explain \_\_\_\_\_

Are there any homes or buildings on neighboring properties that are within 200 feet of the area to be hunted on your property that may require a 'Waiver of Separation?'

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Are there any schools or day cares licensed and/or registered with the state of Iowa within 300 feet of your property?

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Are there any recreation trails, streets or roads within 100 feet of the area on your property that is to be hunted?

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Hunting rules as established by the Iowa Department of Natural Resources must be followed. For example hunting must occur between ½ hour before sunrise and ½ hour after sundown. Are there any additional restrictions regarding the times and/or days that will be placed on hunters that hunt your property?

No

Adjoining property owners may request to have their properties included in the bow hunting program. Do you support hunting on adjoining properties?

Yes , No \_\_\_\_\_. If no, explain \_\_\_\_\_

If the city receives inquiries from hunters looking for properties to hunt, do you want the city to provide your contact information to interested hunters?

Yes \_\_\_\_\_, No .

By signing this form, I acknowledge that I am familiar with the rules and regulations of the urban bow hunt program (including distance requirements and the hunter approval process). I agree to abide by the rules and regulations as established by the City of Johnston, the Polk County Deer Task Force and the Iowa Department of Natural Resources and I agree to save and hold the city and its officials, employees and agents harmless from any and all liability for personal injuries, death, property damage, and other claims arising out of or associated with deer hunting, and entry upon land, whether caused solely by my negligence or actions or contributed to by the City, its officials, employees or agents.

Property owner(s) signature: Genevieve Hall

Date: 8-19-16

CITY OF JOHNSTON

Acknowledgement of a request to allow bow hunting for deer on an adjoining property

August 1, 2016

The purpose of this document is to provide a method to assure neighbors are informed of a request to allow bow hunting for deer on an adjoining property.

The urban bow hunting program was established in an effort to control the deer population in Polk County. Controlling the population will reduce property damage caused by deer and the number of deer/vehicle accidents. Hunters must follow the hunting rules as established by the Iowa Department of Natural Resources, the Polk County Deer Task Force and the city of Johnston. Hunters are only allowed to hunt on properties approved by resolution of the Johnston City Council. Iowa law allows hunters to enter private property to retrieve an animal. In retrieving an animal the hunter must leave their weapon on the property on which they were approved to hunt or store the weapon in their vehicle. The dates established for the 2016/17 hunt are September 17, 2016 through January 29, 2017.

Participating hunters must meet the following criteria:

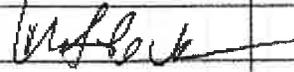
- Possess a valid deer hunting license for Deer Management Zone (DMZ) Zone 48 issued by the Iowa Department of Natural Resources (DNR)
- Pass an approved International Bowhunters Education Foundation (IBEF) bowhunter safety education course
- Pass a National Field Archery Association (NFAA) archery proficiency test using your hunting weapon (to be completed annually)
- Obtain written permission from the owner of the property to be hunted.
- Hunters must take all shots from an elevated stand at least six feet in height.

Doug + Lynette Hall (property owners name) has requested that their property located at 8040 NW BEAVER DR. (address) be included

in the Polk County Urban Bow Hunting program. The reason for the request is TOO MANY DEER

By state law hunting may not occur prior to 1/2 hour before sunrise and 1/2 hour after sundown. The property owner has requested the following additional time and day restrictions are placed on the hunters - NONE. By signing below the adjoining property

owner acknowledges that they are aware of the request to hunt the property.

Name (print)	Address	Signature	Support and/or concerns regarding the proposed hunt
CHRISTINE PECKUMN	8056 NW BEAVER DR JOHNSTON, IA 50131		

# Polk County Assessor

111 Court Avenue #195  
Des Moines, IA 50309-0904

(515) 286-3014 Fax (515) 286-3386  
[polkweb@assess.co.polk.ia.us](mailto:polkweb@assess.co.polk.ia.us)

Click to center and select a parcel.



**Zoom to**    
**Map Size**   
**Aerial**   
**Layers**

Feature	Legend	Up to
<input checked="" type="checkbox"/> Parcel Line	red	32 mi
<input checked="" type="checkbox"/> Selection	yellow	32 mi
<input type="checkbox"/> Lot Line	blue	4 mi
<input type="checkbox"/> Condo	red circle	1 mi
<input type="checkbox"/> Parcel Size	red	1/2 mi
<input type="checkbox"/> Lot Size	blue	1/2 mi
<input type="checkbox"/> Misc Size	green	1/2 mi
<input checked="" type="checkbox"/> Street Name	black	4 mi
<input type="checkbox"/> Address	brown	1 mi
<input checked="" type="checkbox"/> Building#	black	1 mi
<input checked="" type="checkbox"/> Lot#	blue	1/2 mi

**Measure**   
 Hit Esc to 0  
[Get Listing](#)  
[Printable Map](#)

HALL PROPERTY, 8040 NW BEAVER DRIVE

CITY OF JOHNSTON  
Property owner request to have their property included in the Urban Bow  
Hunting program  
August 2016

Note: This form/process may be completed by the property owner or by an interested person on behalf of the property owner (i.e. a hunter that is interested in hunting the property).

Name of the property owner: Mila Hoffschneider

Street Address: 5600 NW 72<sup>nd</sup> Pl

Daytime Phone: 515 238-2450 Evening/Weekend Phone: \_\_\_\_\_

E-mail address: mark.Hoffschneider@hope.wdm.org

Contact person for the hunt (if different from the property owner):

Name: \_\_\_\_\_

Daytime phone: \_\_\_\_\_ Evening/Weekend Phone: \_\_\_\_\_

E-mail address: \_\_\_\_\_

Description of the property to be hunted including size and any unique characteristics:

3.079 acres - main property 8024-31-301-070  
.839 acres - west side lot 8024-31-301-016

Reason(s) why you are requesting your property to be hunted (check all that apply):

- Too many deer
- Property damage caused by deer
- Vehicle accident concerns
- Sanitary issues
- Concerned with personal safety
- Other \_\_\_\_\_

Hunters are required to hunt from an elevated stand. Does the property contain trees that would enable hunters to hunt from an elevated stand?  yes  no

Chapter 41.13 of the city code defines where hunting is allowed and the requirements for hunting. Hunting is not allowed within 200 feet of a home or building UNLESS the property owner or authorized property manager waives the separation requirement in writing to the City. In making the request to have your property hunted are you also waiving the 200 foot separation requirement for your property?

Yes , No . If no, explain \_\_\_\_\_

**CITY OF JOHNSTON**  
**Acknowledgement of a request to allow bow hunting for deer on an adjoining property**  
 August 1, 2016

The purpose of this document is to provide a method to assure neighbors are informed of a request to allow bow hunting for deer on an adjoining property.

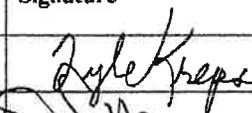
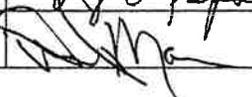
The urban bow hunting program was established in an effort to control the deer population in Polk County. Controlling the population will reduce property damage caused by deer and the number of deer/vehicle accidents. Hunters must follow the hunting rules as established by the Iowa Department of Natural Resources, the Polk County Deer Task Force and the city of Johnston. Hunters are only allowed to hunt on properties approved by resolution of the Johnston City Council. Iowa law allows hunters to enter private property to retrieve an animal. In retrieving an animal the hunter must leave their weapon on the property on which they were approved to hunt or store the weapon in their vehicle. The dates established for the 2016/17 hunt are September 17, 2016 through January 29, 2017.

Participating hunters must meet the following criteria:

- Possess a valid deer hunting license for Deer Management Zone (DMZ) Zone 48 issued by the Iowa Department of Natural Resources (DNR)
- Pass an approved International Bowhunters Education Foundation (IBEF) bowhunter safety education course
- Pass a National Field Archery Association (NFAA) archery proficiency test using your hunting weapon (to be completed annually)
- Obtain written permission from the owner of the property to be hunted.
- Hunters must take all shots from an elevated stand at least six feet in height.

MILA HOFFSCHNEIDER (property owners name) has requested that their property located at 5600 NW 72<sup>nd</sup> PLACE (address) be included in the Polk County Urban Bow Hunting program. The reason for the request is TOO MANY DEER, PROPERTY DAMAGE CAUSED BY DEER.

By state law hunting may not occur prior to ½ hour before sunrise and ½ hour after sundown. The property owner has requested the following additional time and day restrictions are placed on the hunters - NONE. By signing below the adjoining property owner acknowledges that they are aware of the request to hunt the property.

Name (print)	Address	Signature	Support and/or concerns regarding the proposed hunt
LYLE KREPS	7320 NW 54 <sup>th</sup> CT JOHNSTON, IA 50131		
DONNA S MAASEN	5447 NW 72 <sup>nd</sup> PL JOHNSTON, IA 50131		Support

Name (print)	Address	Signature	Support and/or concerns regarding the proposed hunt
WILLIAM A STOWMAN, JR	5715 NW 72nd Pl JOHNSTON, IA 50131	<i>William Stowman</i>	APPROVE
DAVE MERRITT	7280 NW 58th St JOHNSTON, IA 50131	N/A	Approved on enrollment application for own property
PHILLIP E. YOUNG	5413 NW 72nd Pl JOHNSTON, IA 50131	N/A	Approved on enrollment application for own property

Additional Johnston Hunting Requirements

- Hunters must be at least 18 years old
- All shots must be taken from an elevated stand at least six feet in height and shots must not be longer than 25 yards
- Hunters must position themselves so all shots are taken in the opposite direction of a street, road, home, building, recreation trail or bicycle path
- Not shoot an arrow within 300 feet of the property line of a school or a day care licensed and/or registered in the state of Iowa
- Not take shots within 100 feet (33.3 yards) of any recreational trail, bicycle path, street or road
- Not take shots within 200 feet (66.6 yards) of a home or building except when a property owner waives the distance requirement in a written statement filed with the city
- Recover and remove all deer carcasses shot
- Report all deer taken to the Johnston Police Department and the Iowa Department of Natural Resources

Hoffschneider Property 5600 NW 72nd Pl.



CITY OF JOHNSTON

Property owner request to have their property included in the Urban Bow  
Hunting program  
August 2015

Note: This form/process may be completed by the property owner or by an interested person on behalf of the property owner (i.e. a hunter that is interested in hunting the property).

Name of the property owner: Hyperion Field Club

Street Address: 7390 NW Beaver Drive

Daytime Phone: 278-4711 ext 113 Evening/Weekend Phone: \_\_\_\_\_

E-mail address: rdardis@hyperionfc.com

Contact person for the hunt (if different from the property owner):

Name: Lt Gen Ron Dardis (General Manager)

Daytime phone: 278-4711 ext 113 Evening/Weekend Phone: \_\_\_\_\_

E-mail address: rdardis@hyperionfc.com

Description of the property to be hunted including size and any unique characteristics:

30 acres east of driving range, wooded area

Reason(s) why you are requesting your property to be hunted (check all that apply):

- Too many deer
- Property damage caused by deer
- Vehicle accident concerns
- Sanitary issues
- Concerned with personal safety
- Other Interested hunters

Hunters are required to hunt from an elevated stand. Does the property contain trees that would enable hunters to hunt from an elevated stand?  yes  no

Chapter 41.13 of the city code defines where hunting is allowed and the requirements for hunting. Hunting is not allowed within 200 feet of a home or building UNLESS the property owner or authorized property manager waives the separation requirement in writing to the City. In making the request to have your property hunted are you also waiving the 200 foot separation requirement for your property?

Yes , No . If no, explain \_\_\_\_\_

Are there any homes or buildings on neighboring properties that are within 200 feet of the area to be hunted on your property that may require a 'Waiver of Separation?'

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Are there any schools or day cares licensed and/or registered with the state of Iowa within 300 feet of your property?

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Are there any recreation trails, streets or roads within 100 feet of the area on your property that is to be hunted?

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Hunting rules as established by the Iowa Department of Natural Resources must be followed. For example hunting must occur between ½ hour before sunrise and ½ hour after sundown. Are there any additional restrictions regarding the times and/or days that will be placed on hunters that hunt your property?

No

Adjoining property owners may request to have their properties included in the bow hunting program. Do you support hunting on adjoining properties?

Yes , No \_\_\_\_\_. If no, explain \_\_\_\_\_

If the city receives inquiries from hunters looking for properties to hunt, do you want the city to provide your contact information to interested hunters?

Yes \_\_\_\_\_, No .

By signing this form, I acknowledge that I am familiar with the rules and regulations of the urban bow hunt program (including distance requirements and the hunter approval process). I agree to abide by the rules and regulations as established by the City of Johnston, the Polk County Deer Task Force and the Iowa Department of Natural Resources and I agree to save and hold the city and its officials, employees and agents harmless from any and all liability for personal injuries, death, property damage, and other claims arising out of or associated with deer hunting, and entry upon land, whether caused solely by my negligence or actions or contributed to by the City, its officials, employees or agents.

Property owner(s) signature:  \_\_\_\_\_

Date: 7/26/16



CITY OF JOHNSTON  
Property owner request to have their property included in the Urban Bow  
Hunting program  
August 2016

Note: This form/process may be completed by the property owner or by an interested person on behalf of the property owner (i.e. a hunter that is interested in hunting the property).

Name of the property owner: W.D. KLIPPEL

Street Address: 822 & 8004 NW BEAVER

Daytime Phone: 273 929 Evening/Weekend Phone: 200 2965

E-mail address: Bill@KLIPPEL.com

Contact person for the hunt (if different from the property owner):

Name: ADOLE

Daytime phone: \_\_\_\_\_ Evening/Weekend Phone: \_\_\_\_\_

E-mail address: \_\_\_\_\_

Description of the property to be hunted including size and any unique characteristics:

3.9 ACRES

Reason(s) why you are requesting your property to be hunted (check all that apply):

- Too many deer
- Property damage caused by deer
- Vehicle accident concerns
- Sanitary issues
- Concerned with personal safety
- Other \_\_\_\_\_

Hunters are required to hunt from an elevated stand. Does the property contain trees that would enable hunters to hunt from an elevated stand?  yes  no

Chapter 41.13 of the city code defines where hunting is allowed and the requirements for hunting. Hunting is not allowed within 200 feet of a home or building UNLESS the property owner or authorized property manager waives the separation requirement in writing to the City. In making the request to have your property hunted are you also waiving the 200 foot separation requirement for your property?

Yes , No . If no, explain no

Are there any homes or buildings on neighboring properties that are within 200 feet of the area to be hunted on your property that may require a 'Waiver of Separation?'

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Are there any schools or day cares licensed and/or registered with the state of Iowa within 300 feet of your property?

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Are there any recreation trails, streets or roads within 100 feet of the area on your property that is to be hunted?

Yes \_\_\_\_\_, No . If yes, explain \_\_\_\_\_

Hunting rules as established by the Iowa Department of Natural Resources must be followed. For example hunting must occur between ½ hour before sunrise and ½ hour after sundown. Are there any additional restrictions regarding the times and/or days that will be placed on hunters that hunt your property?

\_\_\_\_\_

\_\_\_\_\_

Adjoining property owners may request to have their properties included in the bow hunting program. Do you support hunting on adjoining properties?

Yes , No \_\_\_\_\_. If no, explain \_\_\_\_\_

If the city receives inquiries from hunters looking for properties to hunt, do you want the city to provide your contact information to interested hunters?

Yes \_\_\_\_\_, No .

By signing this form, I acknowledge that I am familiar with the rules and regulations of the urban bow hunt program (including distance requirements and the hunter approval process). I agree to abide by the rules and regulations as established by the City of Johnston, the Polk County Deer Task Force and the Iowa Department of Natural Resources and I agree to save and hold the city and its officials, employees and agents harmless from any and all liability for personal injuries, death, property damage, and other claims arising out of or associated with deer hunting, and entry upon land, whether caused solely by my negligence or actions or contributed to by the City, its officials, employees or agents.

Property owner(s) signature: \_\_\_\_\_ 

Date: 7-7-16

# Polk County Assessor

111 Court Avenue #195  
Des Moines, IA 50309-0904

(515) 286-3014 Fax (515) 286-3386  
[polkweb@assess.co.polk.ia.us](mailto:polkweb@assess.co.polk.ia.us)

Click to center and select a parcel.



Zoom to

Map Size

Aerial

Layers

Feature	Legend	Up to
<input checked="" type="checkbox"/> Parcel Line	red	32 mi
<input checked="" type="checkbox"/> Selection	yellow	32 mi
<input type="checkbox"/> Lot Line	blue	4 mi
<input type="checkbox"/> Condo	red circle	1 mi
<input type="checkbox"/> Parcel Size	red	1/2 mi
<input type="checkbox"/> Lot Size	blue	1/2 mi
<input type="checkbox"/> Misc Size	green	1/2 mi
<input checked="" type="checkbox"/> Street Name	black	4 mi
<input type="checkbox"/> Address	brown	1 mi
<input checked="" type="checkbox"/> Building#	black	1 mi
<input checked="" type="checkbox"/> Lot#	blue	1/2 mi

Measure   
Hit Esc to 0

[Get Listing](#)  
[Printable Map](#)

KLIPEC PROPERTY, 8004 NW BEAVER DRIVE.

# Polk County Assessor

111 Court Avenue #195  
Des Moines, IA 50309-0904

(515) 286-3014 Fax (515) 286-3386  
[polkweb@assess.co.polk.ia.us](mailto:polkweb@assess.co.polk.ia.us)

Click to center and select a parcel.



Zoom to

Map Size

Aerial

Layers

Feature	Legend	Up to
<input checked="" type="checkbox"/> Parcel Line	red	32 mi
<input checked="" type="checkbox"/> Selection	yellow	32 mi
<input type="checkbox"/> Lot Line	blue	4 mi
<input type="checkbox"/> Condo	red circle	1 mi
<input type="checkbox"/> Parcel Size	red	1/2 mi
<input type="checkbox"/> Lot Size	blue	1/2 mi
<input type="checkbox"/> Misc Size	green	1/2 mi
<input checked="" type="checkbox"/> Street Name	black	4 mi
<input type="checkbox"/> Address	brown	1 mi
<input checked="" type="checkbox"/> Building#	black	1 mi
<input checked="" type="checkbox"/> Lot#	blue	1/2 mi

Measure   
Hit Esc to 0

[Get Listing](#)  
[Printable Map](#)

KLIPAC PROPERTY , 8022 NW BEAVER DR

**CITY OF JOHNSTON**  
**Property owner request to have their property included in the Urban Bow**  
**Hunting program**  
August 2016

Note: This form/process may be completed by the property owner or by an interested person on behalf of the property owner (i.e. a hunter that is interested in hunting the property).

Name of the property owner: David Merritt

Street Address: 7280 NW 58<sup>th</sup> St

Daytime Phone: 515 229-4448 Evening/Weekend Phone: \_\_\_\_\_

E-mail address: ~~d.merritt@deeway.net~~ dave@sterlingfas.com

Contact person for the hunt (if different from the property owner):

Name: \_\_\_\_\_

Daytime phone: \_\_\_\_\_ Evening/Weekend Phone: \_\_\_\_\_

E-mail address: \_\_\_\_\_

Description of the property to be hunted including size and any unique characteristics:

11.57 acres

Reason(s) why you are requesting your property to be hunted (check all that apply):

- Too many deer
- Property damage caused by deer
- Vehicle accident concerns
- Sanitary issues
- Concerned with personal safety
- Other \_\_\_\_\_

Hunters are required to hunt from an elevated stand. Does the property contain trees that would enable hunters to hunt from an elevated stand?  yes  no

Chapter 41.13 of the city code defines where hunting is allowed and the requirements for hunting. Hunting is not allowed within 200 feet of a home or building UNLESS the property owner or authorized property manager waives the separation requirement in writing to the City. In making the request to have your property hunted are you also waiving the 200 foot separation requirement for your property?

Yes  No  . If no, explain \_\_\_\_\_

Are there any homes or buildings on neighboring properties that are within 200 feet of the area to be hunted on your property that may require a 'Waiver of Separation?'

Yes , No . If yes, explain \_\_\_\_\_

Are there any schools or day cares licensed and/or registered with the state of Iowa within 300 feet of your property?

Yes , No . If yes, explain \_\_\_\_\_

Are there any recreation trails, streets or roads within 100 feet of the area on your property that is to be hunted?

Yes , No . If yes, explain \_\_\_\_\_

Hunting rules as established by the Iowa Department of Natural Resources must be followed. For example hunting must occur between ½ hour before sunrise and ½ hour after sundown. Are there any additional restrictions regarding the times and/or days that will be placed on hunters that hunt your property?

None

Adjoining property owners may request to have their properties included in the bow hunting program. Do you support hunting on adjoining properties?

Yes , No . If no, explain \_\_\_\_\_

If the city receives inquiries from hunters looking for properties to hunt, do you want the city to provide your contact information to interested hunters?

Yes , No .

By signing this form, I acknowledge that I am familiar with the rules and regulations of the urban bow hunt program (including distance requirements and the hunter approval process). I agree to abide by the rules and regulations as established by the City of Johnston, the Polk County Deer Task Force and the Iowa Department of Natural Resources and I agree to save and hold the city and its officials, employees and agents harmless from any and all liability for personal injuries, death, property damage, and other claims arising out of or associated with deer hunting, and entry upon land, whether caused solely by my negligence or actions or contributed to by the City, its officials, employees or agents.

Property owner(s) signature: David M. Smith

Date: 8/12/14

CITY OF JOHNSTON  
 Acknowledgement of a request to allow bow hunting for deer on an adjoining property  
 August 1, 2016

The purpose of this document is to provide a method to assure neighbors are informed of a request to allow bow hunting for deer on an adjoining property.

The urban bow hunting program was established in an effort to control the deer population in Polk County. Controlling the population will reduce property damage caused by deer and the number of deer/vehicle accidents. Hunters must follow the hunting rules as established by the Iowa Department of Natural Resources, the Polk County Deer Task Force and the city of Johnston. Hunters are only allowed to hunt on properties approved by resolution of the Johnston City Council. Iowa law allows hunters to enter private property to retrieve an animal. In retrieving an animal the hunter must leave their weapon on the property on which they were approved to hunt or store the weapon in their vehicle. The dates established for the 2016/17 hunt are September 17, 2016 through January 29, 2017.

Participating hunters must meet the following criteria:

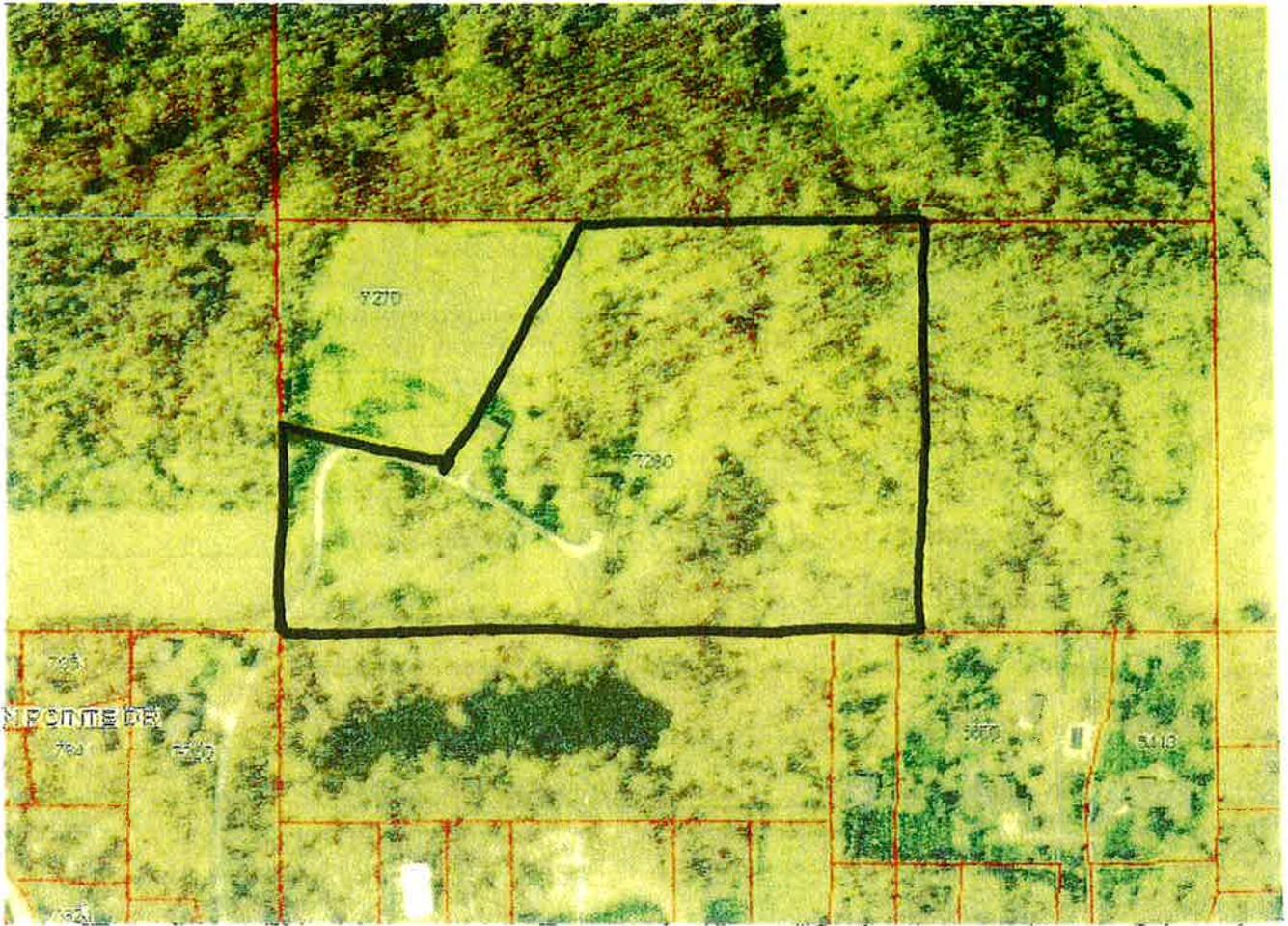
- Possess a valid deer hunting license for Deer Management Zone (DMZ) Zone 48 issued by the Iowa Department of Natural Resources (DNR)
- Pass an approved International Bowhunters Education Foundation (IBEF) bowhunter safety education course
- Pass a National Field Archery Association (NFAA) archery proficiency test using your hunting weapon (to be completed annually)
- Obtain written permission from the owner of the property to be hunted.
- Hunters must take all shots from an elevated stand at least six feet in height.

DAVID MERRITT (property owners name) has requested that their property located at 7280 NW 58<sup>th</sup> ST (address) be included in the Polk County Urban Bow Hunting program. The reason for the request is TOO MANY DEER.

By state law hunting may not occur prior to ½ hour before sunrise and ½ hour after sundown. The property owner has requested the following additional time and day restrictions are placed on the hunters - NONE. By signing below the adjoining property owner acknowledges that they are aware of the request to hunt the property.

Name (print)	Address	Signature	Support and/or concerns regarding the proposed hunt
BRIAN D. STONE	7270 NW 58 <sup>th</sup> ST JOHNSTON, IA 50131	<i>Brian Stone</i>	OK
MILA J. HOPFSCHNEIDER	5600 NW 72 <sup>ND</sup> PL JOHNSTON, IA 50131	N/A	Approved on enrollment application for own property





MERRITT PROPERTY  
7280 NW 58<sup>TH</sup> ST.

CITY OF JOHNSTON

Property owner request to have their property included in the Urban Bow  
Hunting program

August 2016

Note: This form/process may be completed by the property owner or by an interested person on behalf of the property owner (i.e. a hunter that is interested in hunting the property).

Name of the property owner: Steven Nichol

Street Address: 7365 NW 54th Ct

Daytime Phone: 515 238 7709 Evening/Weekend Phone: \_\_\_\_\_

E-mail address: stevenh nichol

Contact person for the hunt (if different from the property owner):

Name: same

Daytime phone: \_\_\_\_\_ Evening/Weekend Phone: \_\_\_\_\_

E-mail address: \_\_\_\_\_

Description of the property to be hunted including size and any unique characteristics:

1.5 acres along Corp of engineers at the  
end of 54th Ct

Reason(s) why you are requesting your property to be hunted (check all that apply):

- Too many deer
- Property damage caused by deer
- Vehicle accident concerns
- Sanitary issues
- Concerned with personal safety
- Other \_\_\_\_\_

Hunters are required to hunt from an elevated stand. Does the property contain trees that would enable hunters to hunt from an elevated stand?  yes  no

Chapter 41.13 of the city code defines where hunting is allowed and the requirements for hunting. Hunting is not allowed within 200 feet of a home or building UNLESS the property owner or authorized property manager waives the separation requirement in writing to the City. In making the request to have your property hunted are you also waiving the 200 foot separation requirement for your property?

Yes  , No  . If no, explain \_\_\_\_\_

Are there any homes or buildings on neighboring properties that are within 200 feet of the area to be hunted on your property that may require a 'Waiver of Separation?'

Yes \_\_\_\_\_, No X. If yes, explain \_\_\_\_\_

Are there any schools or day cares licensed and/or registered with the state of Iowa within 300 feet of your property?

Yes \_\_\_\_\_, No X. If yes, explain \_\_\_\_\_

Are there any recreation trails, streets or roads within 100 feet of the area on your property that is to be hunted?

Yes \_\_\_\_\_, No X. If yes, explain \_\_\_\_\_

Hunting rules as established by the Iowa Department of Natural Resources must be followed. For example hunting must occur between ½ hour before sunrise and ½ hour after sundown. Are there any additional restrictions regarding the times and/or days that will be placed on hunters that hunt your property?

NO

Adjoining property owners may request to have their properties included in the bow hunting program. Do you support hunting on adjoining properties?

Yes X, No \_\_\_\_\_. If no, explain \_\_\_\_\_

If the city receives inquiries from hunters looking for properties to hunt, do you want the city to provide your contact information to interested hunters?

Yes \_\_\_\_\_, No X.

By signing this form, I acknowledge that I am familiar with the rules and regulations of the urban bow hunt program (including distance requirements and the hunter approval process). I agree to abide by the rules and regulations as established by the City of Johnston, the Polk County Deer Task Force and the Iowa Department of Natural Resources and I agree to save and hold the city and its officials, employees and agents harmless from any and all liability for personal injuries, death, property damage, and other claims arising out of or associated with deer hunting, and entry upon land, whether caused solely by my negligence or actions or contributed to by the City, its officials, employees or agents.

Property owner(s) signature: Steve Wehler

Date: 8/3/16

CITY OF JOHNSTON

Acknowledgement of a request to allow bow hunting for deer on an adjoining property

August 1, 2016

The purpose of this document is to provide a method to assure neighbors are informed of a request to allow bow hunting for deer on an adjoining property.

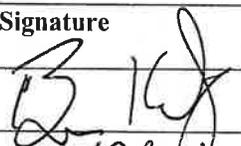
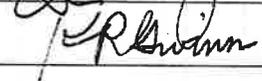
The urban bow hunting program was established in an effort to control the deer population in Polk County. Controlling the population will reduce property damage caused by deer and the number of deer/vehicle accidents. Hunters must follow the hunting rules as established by the Iowa Department of Natural Resources, the Polk County Deer Task Force and the city of Johnston. Hunters are only allowed to hunt on properties approved by resolution of the Johnston City Council. Iowa law allows hunters to enter private property to retrieve an animal. In retrieving an animal the hunter must leave their weapon on the property on which they were approved to hunt or store the weapon in their vehicle. The dates established for the 2016/17 hunt are September 17, 2016 through January 29, 2017.

Participating hunters must meet the following criteria:

- Possess a valid deer hunting license for Deer Management Zone (DMZ) Zone 48 issued by the Iowa Department of Natural Resources (DNR)
- Pass an approved International Bowhunters Education Foundation (IBEF) bowhunter safety education course
- Pass a National Field Archery Association (NFAA) archery proficiency test using your hunting weapon (to be completed annually)
- Obtain written permission from the owner of the property to be hunted.
- Hunters must take all shots from an elevated stand at least six feet in height.

Steven Nichol (property owners name) has requested that their property located at 7375 NW 54th (address) be included in the Polk County Urban Bow Hunting program. The reason for the request is to many Deer.

By state law hunting may not occur prior to ½ hour before sunrise and ½ hour after sundown. The property owner has requested the following additional time and day restrictions are placed on the hunters - none. By signing below the adjoining property owner acknowledges that they are aware of the request to hunt the property.

Name (print)	Address	Signature	Support and/or concerns regarding the proposed hunt
Brian Kielty	7411 NW 54th		
Ken Gwinn	7385 NW 54th		



NICHOL PROPERTIES.

7365 AND 7375 NW 54<sup>th</sup> COURT

**CITY OF JOHNSTON**  
**Property owner request to have their property included in the Urban Bow**  
**Hunting program**  
August 2016

Note: This form/process may be completed by the property owner or by an interested person on behalf of the property owner (i.e. a hunter that is interested in hunting the property).

Name of the property owner: Phil Young

Street Address: 5413 NW 72<sup>nd</sup> Pl Johnston IA 50131

Daytime Phone: 515-276-0924 Evening/Weekend Phone: ~~515-276-0924~~

E-mail address: phil.young31@gmail.com

Contact person for the hunt (if different from the property owner):

Name: \_\_\_\_\_

Daytime phone: \_\_\_\_\_ Evening/Weekend Phone: \_\_\_\_\_

E-mail address: \_\_\_\_\_

Description of the property to be hunted including size and any unique characteristics:

1.594 acres

Reason(s) why you are requesting your property to be hunted (check all that apply):

- Too many deer
- Property damage caused by deer
- Vehicle accident concerns
- Sanitary issues
- Concerned with personal safety
- Other \_\_\_\_\_

Hunters are required to hunt from an elevated stand. Does the property contain trees that would enable hunters to hunt from an elevated stand?  yes  no

Chapter 41.13 of the city code defines where hunting is allowed and the requirements for hunting. Hunting is not allowed within 200 feet of a home or building UNLESS the property owner or authorized property manager waives the separation requirement in writing to the City. In making the request to have your property hunted are you also waiving the 200 foot separation requirement for your property?

Yes , No . If no, explain \_\_\_\_\_

Are there any homes or buildings on neighboring properties that are within 200 feet of the area to be hunted on your property that may require a 'Waiver of Separation?'

Yes \_\_\_\_\_, No X. If yes, explain \_\_\_\_\_

Are there any schools or day cares licensed and/or registered with the state of Iowa within 300 feet of your property?

Yes \_\_\_\_\_, No X. If yes, explain \_\_\_\_\_

Are there any recreation trails, streets or roads within 100 feet of the area on your property that is to be hunted?

Yes \_\_\_\_\_, No X. If yes, explain \_\_\_\_\_

Hunting rules as established by the Iowa Department of Natural Resources must be followed. For example hunting must occur between ½ hour before sunrise and ½ hour after sundown. Are there any additional restrictions regarding the times and/or days that will be placed on hunters that hunt your property?

None

Adjoining property owners may request to have their properties included in the bow hunting program. Do you support hunting on adjoining properties?

Yes X, No \_\_\_\_\_. If no, explain \_\_\_\_\_

If the city receives inquiries from hunters looking for properties to hunt, do you want the city to provide your contact information to interested hunters?

Yes \_\_\_\_\_, No X.

By signing this form, I acknowledge that I am familiar with the rules and regulations of the urban bow hunt program (including distance requirements and the hunter approval process). I agree to abide by the rules and regulations as established by the City of Johnston, the Polk County Deer Task Force and the Iowa Department of Natural Resources and I agree to save and hold the city and its officials, employees and agents harmless from any and all liability for personal injuries, death, property damage, and other claims arising out of or associated with deer hunting, and entry upon land, whether caused solely by my negligence or actions or contributed to by the City, its officials, employees or agents.

Property owner(s) signature: Patti J Young

Date: 8/3/16

CITY OF JOHNSTON  
 Acknowledgement of a request to allow bow hunting for deer on an adjoining property  
 August 1, 2016

The purpose of this document is to provide a method to assure neighbors are informed of a request to allow bow hunting for deer on an adjoining property.

The urban bow hunting program was established in an effort to control the deer population in Polk County. Controlling the population will reduce property damage caused by deer and the number of deer/vehicle accidents. Hunters must follow the hunting rules as established by the Iowa Department of Natural Resources, the Polk County Deer Task Force and the city of Johnston. Hunters are only allowed to hunt on properties approved by resolution of the Johnston City Council. Iowa law allows hunters to enter private property to retrieve an animal. In retrieving an animal the hunter must leave their weapon on the property on which they were approved to hunt or store the weapon in their vehicle. The dates established for the 2016/17 hunt are September 17, 2016 through January 29, 2017.

Participating hunters must meet the following criteria:

- Possess a valid deer hunting license for Deer Management Zone (DMZ) Zone 48 issued by the Iowa Department of Natural Resources (DNR)
- Pass an approved International Bowhunters Education Foundation (IBEF) bowhunter safety education course
- Pass a National Field Archery Association (NFAA) archery proficiency test using your hunting weapon (to be completed annually)
- Obtain written permission from the owner of the property to be hunted.
- Hunters must take all shots from an elevated stand at least six feet in height.

PHILLIP E. YOUNG (property owners name) has requested that their property located at 5413 NW 72nd PL (address) be included in the Polk County Urban Bow Hunting program. The reason for the request is TOO MANY DEER, PROPERTY DAMAGE, SANITARY ISSUES.

By state law hunting may not occur prior to ½ hour before sunrise and ½ hour after sundown. The property owner has requested the following additional time and day restrictions are placed on the hunters - NONE.

By signing below the adjoining property owner acknowledges that they are aware of the request to hunt the property.

Name (print)	Address	Signature	Support and/or concerns regarding the proposed hunt
MILA HOFFSCHNEIDER	5600 NW 72nd PL JOHNSTON, IA 50131	N/A	Approved on enrollment application for own property
LYLE KREPS	7320 NW 54th CT JOHNSTON, IA 50131	<i>[Signature]</i>	

Name (print)	Address	Signature	Support and/or concerns regarding the proposed hunt
DOUGLAS B KUNERT	5395 NW 72nd PL JOHNSTON, IA 50131	<i>Douglas Kunert</i>	Support, fully!
ALAN SWETT	5453 NW 72nd PL JOHNSTON, IA 50131	<i>Alan Swett</i>	North only!

Additional Johnston Hunting Requirements

- Hunters must be at least 18 years old
- All shots must be taken from an elevated stand at least six feet in height and shots must not be longer than 25 yards
- Hunters must position themselves so all shots are taken in the opposite direction of a street, road, home, building, recreation trail or bicycle path
- Not shoot an arrow within 300 feet of the property line of a school or a day care licensed and/or registered in the state of Iowa
- Not take shots within 100 feet (33.3 yards) of any recreational trail, bicycle path, street or road
- Not take shots within 200 feet (66.6 yards) of a home or building except when a property owner waives the distance requirement in a written statement filed with the city
- Recover and remove all deer carcasses shot
- Report all deer taken to the Johnston Police Department and the Iowa Department of Natural Resources





**RESOLUTION 16-186**

**A RESOLUTION APPROVING AN AMENDED PRELIMINARY PLAT FOR WILKIE PLACE**

**WHEREAS**, the Planning & Zoning Commission has reviewed this request during its regular meeting on August 29<sup>th</sup>, 2016, and recommended approval of PZ Case No. 16-04 with noted conditions on a vote of 5 yes to 1 no; and,

**WHEREAS**, the following action is deemed appropriate; and,

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that the amended Preliminary Plat for Wilkie Place is hereby approved subject to the following conditions,

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. All other conditions of Resolution 16-69; A Resolution Approving the Preliminary Plat for Wilkie Place, shall remain in full force and effect.

**PASSED AND APPROVED** this 6<sup>th</sup> day of September, 2016.

\_\_\_\_\_  
PAULA S. DIERENFELD, MAYOR

ATTEST:

\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Brown	—	—	—	—
Clabaugh	—	—	—	—
Cope	—	—	—	—
Lindeman	—	—	—	—
Temple	—	—	—	—

**PROPERTY OWNER:** Capital City Development, LLC  
2936 104<sup>th</sup> Street  
Urbandale, IA 50322

**APPLICANT:** Capital City Development, LLC  
ATTN: Timothy Schutte  
2936 104<sup>th</sup> Street  
Urbandale, IA 50322

**REPRESENTATIVE:** Cooper Crawford & Associates, LLC  
435 S 50<sup>th</sup> Street, Suite 800  
West Des Moines, IA 50265

**BACKGROUND & PRIOR APPROVALS:** The subject property is legally described as Lot 5 Rittger's Acres. Said property is included on the Rittger's Acres Plat which was recorded on June 21, 1938, pre-dating incorporation of the City of Johnston. The Wilkie Place Preliminary Plat was approved by the City Council on April 18<sup>th</sup>, 2016. Approval of this preliminary plat is still valid, but an amended preliminary plat is required to allow for tree removal that was not identified on the original preliminary plat for Wilkie Place.

Due to the nature of the proposed amendment to the original preliminary plat, staff had determined that this could not be approved administratively and would be required to receive a recommendation from the Planning and Zoning Commission and final approval from the City Council.

**TREE REMOVAL:** Johnston's Erosion and Sediment Control Ordinance requires that any tree identified to be protected on a plat must be protected. The original preliminary plat approved for Wilkie Place identified limited tree removal along the north property boundary and limited tree removal along the southwest property boundary. A note was included on the plat stating that "all other trees greater than 6" or larger to remain". It has come to the applicant's and staff's attention that further tree removal would be required to construct the stormwater detention basins as designed for the original preliminary plat. Because of the note on the original preliminary plat and the limited tree removal identified on the original preliminary plat all other trees are greater than 6" are to remain on the site unless the plat is amended to allow for the tree removal.

The applicant has submitted an amended preliminary plat for consideration so they may complete the construction of the stormwater detention basins as shown on the preliminary plat. The amended preliminary plat identifies tree removal along the northwest, east, and south property boundaries. Substantial tree removal did occur along the north property line at the beginning of August which was in violation of Johnston's Erosion and Sediment Control Ordinance. The unauthorized removal of trees is being

dealt with through a separate process, but the amended preliminary plat does identify that tree removal did occur in that area. The applicant is seeking to have the preliminary plat amended so that further tree removal may occur without it being in violation of Johnston's Erosion and Sediment Control Ordinance.

A recent conversation with the applicant and the project's engineer has revealed that tree removal will be necessary to complete the improvements for the plat and that the reason the original preliminary plat did not identify this tree removal was because it did not get properly updated prior to approval. This amended preliminary plat updates the tree removal sheet of the preliminary plat and identifies the current property owner. No other major changes have been made with this amended preliminary plat.

**NEIGHBOR NOTICE:**

A notice for the meeting regarding this item was mailed to all adjacent property owners and those nearby on NW 64<sup>th</sup> Place and NW 51<sup>st</sup> Street. A copy of this notice is attached. As of publication of this report, comments have been received from Joe Wakeman and Jim Evans. Their comments have been included as attachments to this report.

## **RESOLUTION 16-69**

### **A RESOLUTION APPROVING THE PRELIMINARY PLAT FOR WILKIE PLACE**

**WHEREAS**, the Planning & Zoning Commission has reviewed this request during its regular meeting on March 14<sup>th</sup>, 2016, and recommended approval of PZ Case No. 16-04 with noted conditions;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that the Preliminary Plat for Wilkie Place is hereby approved subject to the following conditions,

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.
2. Council acceptance of a development agreement reflecting a credit for installation of a recreational trail toward satisfaction of the parkland dedication requirement provided said improvement represents a value equivalent to the required contribution (\$11,264.40).
3. Council deferral on approval of the street name for the street currently named "Walker Circle" until the time of Final Plat approval.
4. Address all comments from Foth's memo dated April 14, 2016.
5. **Prior to City Council approval of Construction Plans for any phase of the development, the following items shall be included on the Construction Plans:**
  - a. The Construction Plans and subsequent Final Plat(s) shall include critical spot elevations for all roadside ditches and drainage ways constructed throughout the site. As built elevations shall be provided for these areas prior to the City's acceptance of public improvements to verify construction at the appropriate elevations.
6. **Prior to City Council approval of a Final Plat for any phase of the development, the following items shall be addressed:**
  - a. Applicant shall submit a Petition and Waiver regarding property assessment for future improvements to NW 51<sup>st</sup> Street.
  - b. Minimum opening elevations shall be provided for all lots, adjacent to drainage ways, detention/retention ponds or other areas where inundation is possible, such elevations shall be identified on the final plat(s).
  - c. Applicant shall submit a stormwater management maintenance agreement to be recorded with the final plat.
  - d. Provide evidence of the creation of a Home Owner Association to manage and maintain stormwater management facilities within the plat.

PASSED AND APPROVED this 18<sup>th</sup> day of April, 2016.

  
\_\_\_\_\_  
PAULA S. DIERENFELD, MAYOR

ATTEST:   
\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Brown	✓	—	—	—
Clabaugh	✓	—	—	—
Cope	✓	—	—	—
Lindeman	—	✓	—	—
Temple	—	✓	—	—

# PRELIMINARY PLAT WILKIE PLACE

SHEET 1 OF 4

DEVELOPER  
CAPITAL CITY DEVELOPMENT, LLC  
2936 104th STREET  
URBANDALE, IOWA 50322

OWNER  
DEE ANN WALKER-KING  
5880 NW 54TH CT  
JOHNSTON, IA 50131

ZONING  
RI-75 SINGLE FAMILY RESIDENTIAL

SETBACKS  
FRONT YARD = 35 FEET  
REAR YARD = 35 FEET  
SIDE YARD = 8' MIN. (17' TOTAL)

LEGAL DESCRIPTION  
LOT 5, RITZGER'S ACRES, AN OFFICIAL PLAT, CITY OF JOHNSTON, POLK COUNTY, IOWA, CONTAINING 9.72 ACRES MORE OR LESS.

SAID TRACT OF LAND BEING SUBJECT TO ANY AND ALL EASEMENTS OF RECORD

UTILITIES  
WATER: JOHNTON WATER SYSTEM  
SANITARY SEWER: CITY OF JOHNSTON SANITARY SEWER SYSTEM

NOTES  
1. LOTS 'A' & 'B' TO BE DEDICATED TO THE CITY OF JOHNSTON FOR STREET USE  
2. WORK WILL BE PERFORMED TO THE 2014 SUDAS SPECIFICATIONS AND THE 2014 SUPPLEMENTAL SPECIFICATIONS  
3. AN ADDITIONAL 5' ALONG NW 51ST STREET KNOWN AS LOT 'C' WILL BE DEEDED TO THE CITY FOR FUTURE ROW  
16. IF DURING CONSTRUCTION OF THE DETENTION BASINS FIELD CONDITIONS DEEM IT NECESSARY SUBSURFACE INTERCEPTOR DRAIN LINES WILL BE REQUIRED PER ALLENDER BUTZKE ENGINEERS INC REPORT PN 161229.

FIRM DESIGNATION  
COMMUNITY PANEL NUMBER: 190745 0006D, JULY 19, 2000  
ZONE 'X', AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN

LEGEND

EXISTING/PROPOSED	DESCRIPTION
—	PLAT BOUNDARY
— ST <sup>6"</sup> —	STORM SEWER & SIZE
— SAN <sup>8"</sup> —	SANITARY SEWER & SIZE
— W <sup>6"</sup> —	WATER MAIN & SIZE
○	MANHOLE
⊕	STORM INTAKE
⊕	FIRE HYDRANT
⊕	VALVE
△	F.E.S.
— 99.0 —	EXISTING CONTOURS
— 99.0 —	PROPOSED CONTOURS
— X —	SILT FENCE OR APPROVED FILTRATION SOCK
O.L.	OUTLOT

CERTIFICATION

BRADLEY R. COOPER  
12980  
IOWA

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

BRADLEY R. COOPER, LICENSE NO. 12980  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017  
PAGES OR SHEETS COVERED BY THIS SEAL: Sheets 1-4

6-20-16

COOPER CRAWFORD & ASSOCIATES, L.L.C.  
CIVIL ENGINEERS  
475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
REVISIONS: 3-18-2016  
4-6-2016  
6-8-2016  
6-20-2016

JOB NUMBER  
CC  
1823

APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_

PRELIMINARY PLAT  
WILKIE PLACE

SHEET  
1 OF 4



VICINITY SKETCH  
JOHNSTON CITY COUNCIL  
APPROVED WITH CONDITIONS  
DISAPPROVED

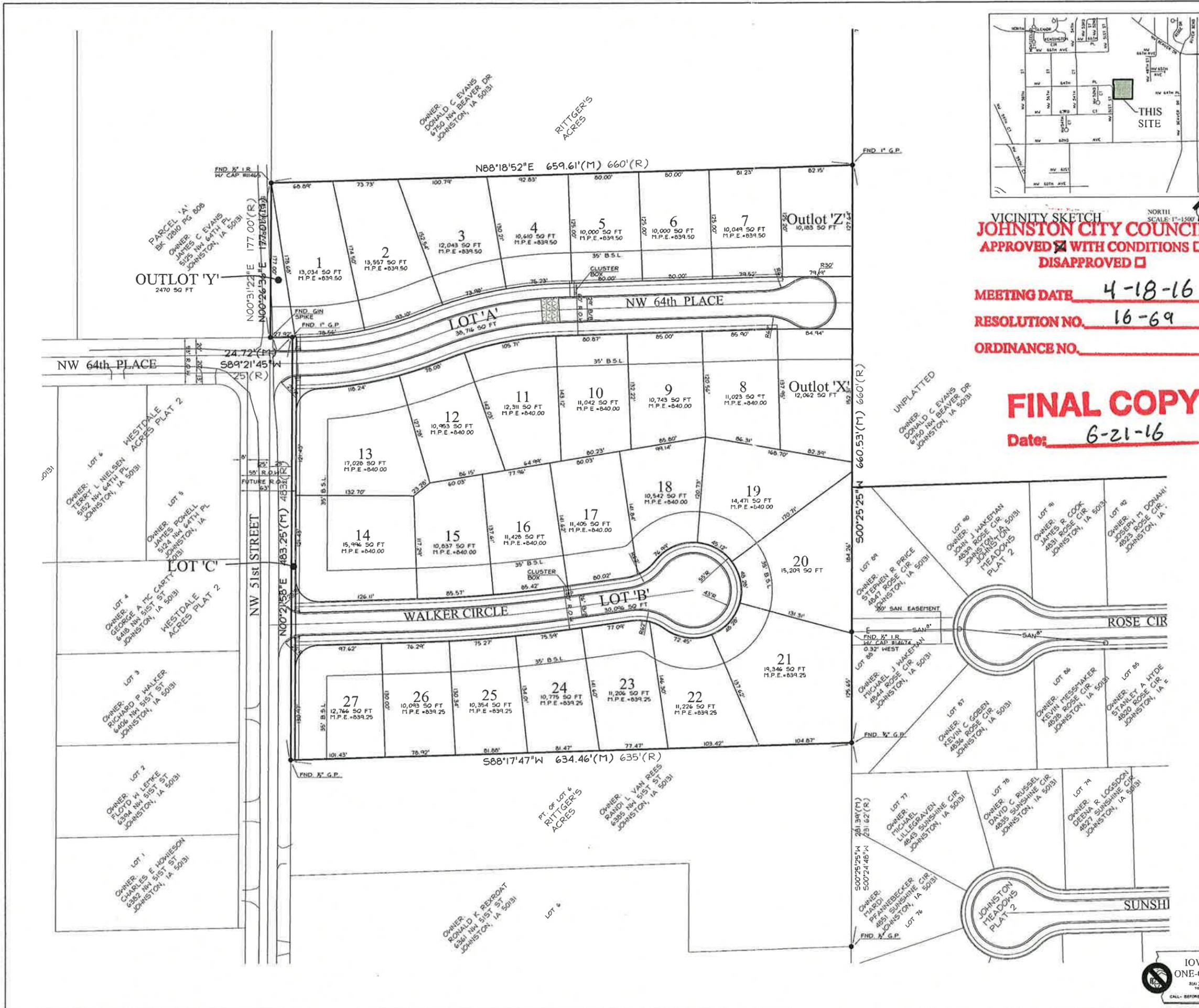
MEETING DATE 4-18-16

RESOLUTION NO. 16-69

ORDINANCE NO. \_\_\_\_\_

**FINAL COPY**

Date: 6-21-16



# PRELIMINARY PLAT WILKIE PLACE

SHEET 2 OF 4

## STORM WATER POLLUTION PREVENTION PLAN SITE DESCRIPTION

Location: Part of the SE 1/4 of Sec. 3, T19N, R25W.  
Nature of Construction Activity: Residential development.  
Area: Total site area = 4.72 acres  
Site area affected = 4.72 acres  
Runoff coefficient = 0.40 (rational method)  
Approximate slopes anticipated: 3%, or flatter.  
Runoff from this project will flow into unnamed tributaries which will flow into the Beaver Creek.

- Erosion and sediment controls**
- Stabilization practices
  - Existing vegetation is preserved whenever possible.
  - Permanent seeding and/or sodding.
  - Structural practices
  - Silt fences
  - Drainage swales
  - Rack outlet protection (riprap)
  - Storm water management
  - Infiltration of runoff onsite.
  - Velocity dissipation devices at discharge locations to provide non-erosive velocity flows.
  - Waste disposal
  - All building material wastes must be removed from the site.
  - Off-site vehicle tracking of sediments shall be minimized.

### MAINTENANCE

- Maintain effective operating conditions of all protective measures identified in this plan.
- Silt fencing is cleaned when they have lost 50% of their capacity.
  - Drainage swales remain undisturbed.
  - Rack outlet protection (riprap) remains intact.

### INSPECTIONS

- Qualified personnel shall inspect disturbed areas of the construction site that have not been finally stabilized at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater.
- Inspect site for evidence of, or the potential of, pollutants entering the drainage system from stored materials.
  - Observe erosion and sediment controls to ensure that they are operating correctly.
  - Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.
  - Inspect discharge locations to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters.
  - Any modifications to the plan as a result of an inspection shall be implemented within 7 calendar days of the inspection.
  - An inspection report shall be prepared and retained as part of the prevention plan until project termination, this report will contain the following:
    - A summary of the scope of the inspection.
    - Qualifications of the personnel making the inspection.
    - Major observations relating to the implementation of the prevention plan.
    - Any actions taken.
    - Signatures.

### NON-STORM WATER DISCHARGES

- Water main flushing
- Flushed water will be discharged into the storm sewer system where, when discharged, it will undergo erosion and sediment controls consisting of:
    - Rack outlet protection (riprap)
    - Silt fencing
    - Existing vegetation

### CONTRACTORS

- The grading contractor shall have the responsibility of implementing the measures contained in this plan.
- All contractors and subcontractors shall sign a certification statement before conducting any professional service at the site relating to the National Pollutant Discharge Elimination System (NPDES) permit.
  - Topsoil stripped from the disturbed area will be stockpiled. After construction has been completed the stockpile will be re-spread at a minimum thickness of 6 inches.

### LEGEND

- EXISTING/PROPOSED**
- PLAT BOUNDARY
  - ST<sup>18"</sup> STORM SEWER & SIZE
  - SAN<sup>18"</sup> SANITARY SEWER & SIZE
  - W<sup>18"</sup> WATER MAIN & SIZE
  - MANHOLE
  - ◻ STORM INTAKE
  - ⊕ FIRE HYDRANT
  - ⊖ VALVE
  - ▲ F.E.S.
  - 0.90 EXISTING CONTOURS
  - 0.90 PROPOSED CONTOURS
  - \* \* \* SILT FENCE OR APPROVED FILTRATION SOCK
  - O.L. OUTLOT

## COOPER CRAWFORD & ASSOCIATES, L.L.C. CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

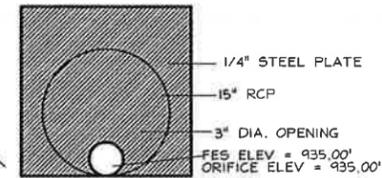
DATE: 3-2-2016  
REVISIONS: 3-18-2016  
4-6-2016  
6-8-2016  
6-20-2016

APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_

PRELIMINARY PLAT  
WILKIE PLACE

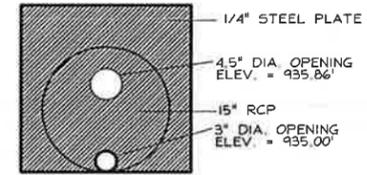
JOB NUMBER  
**CC  
1823**

SHEET  
2 OF 4



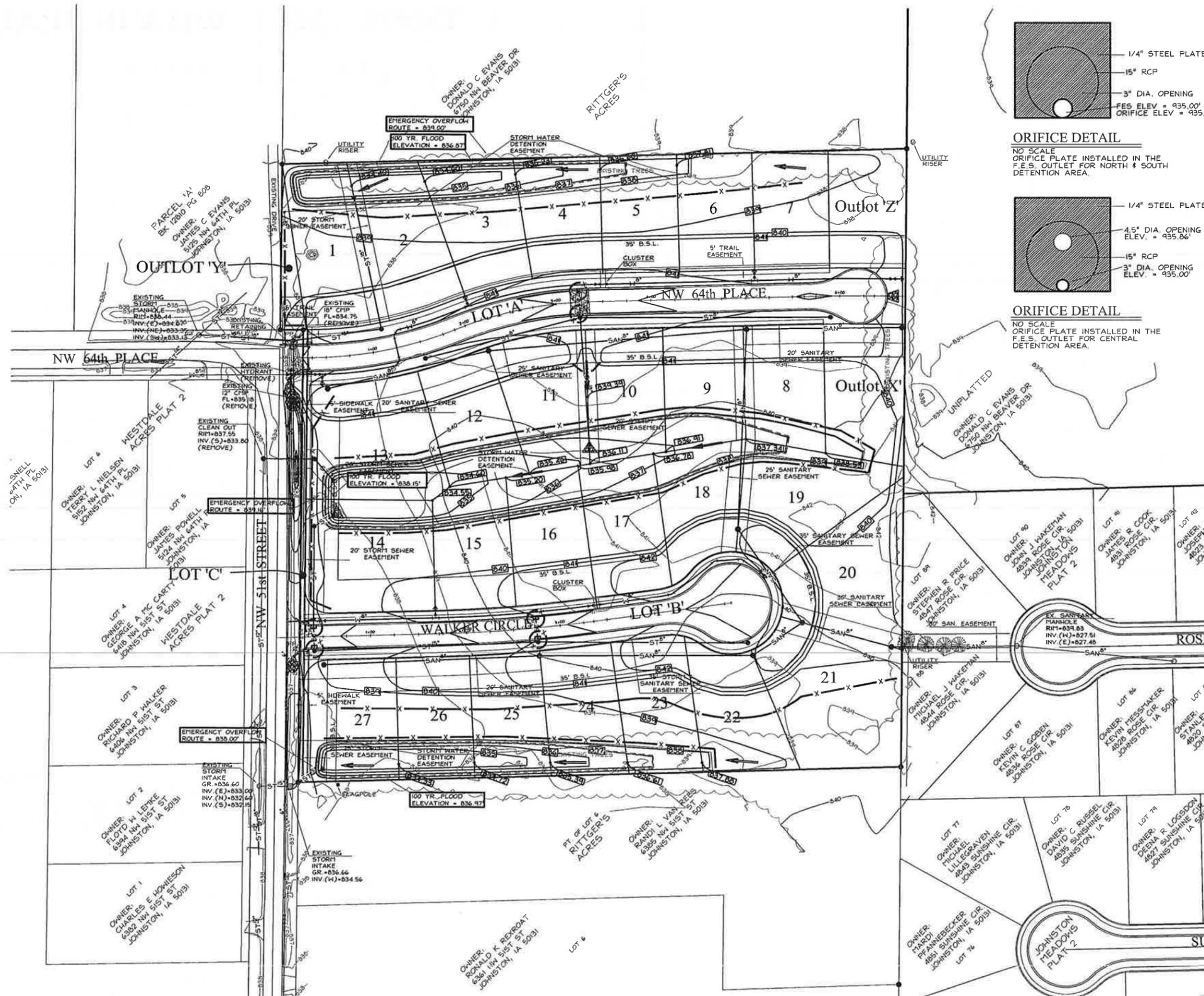
### ORIFICE DETAIL

NO SCALE  
ORIFICE PLATE INSTALLED IN THE  
F.E.S. OUTLET FOR NORTH & SOUTH  
DETENTION AREA.



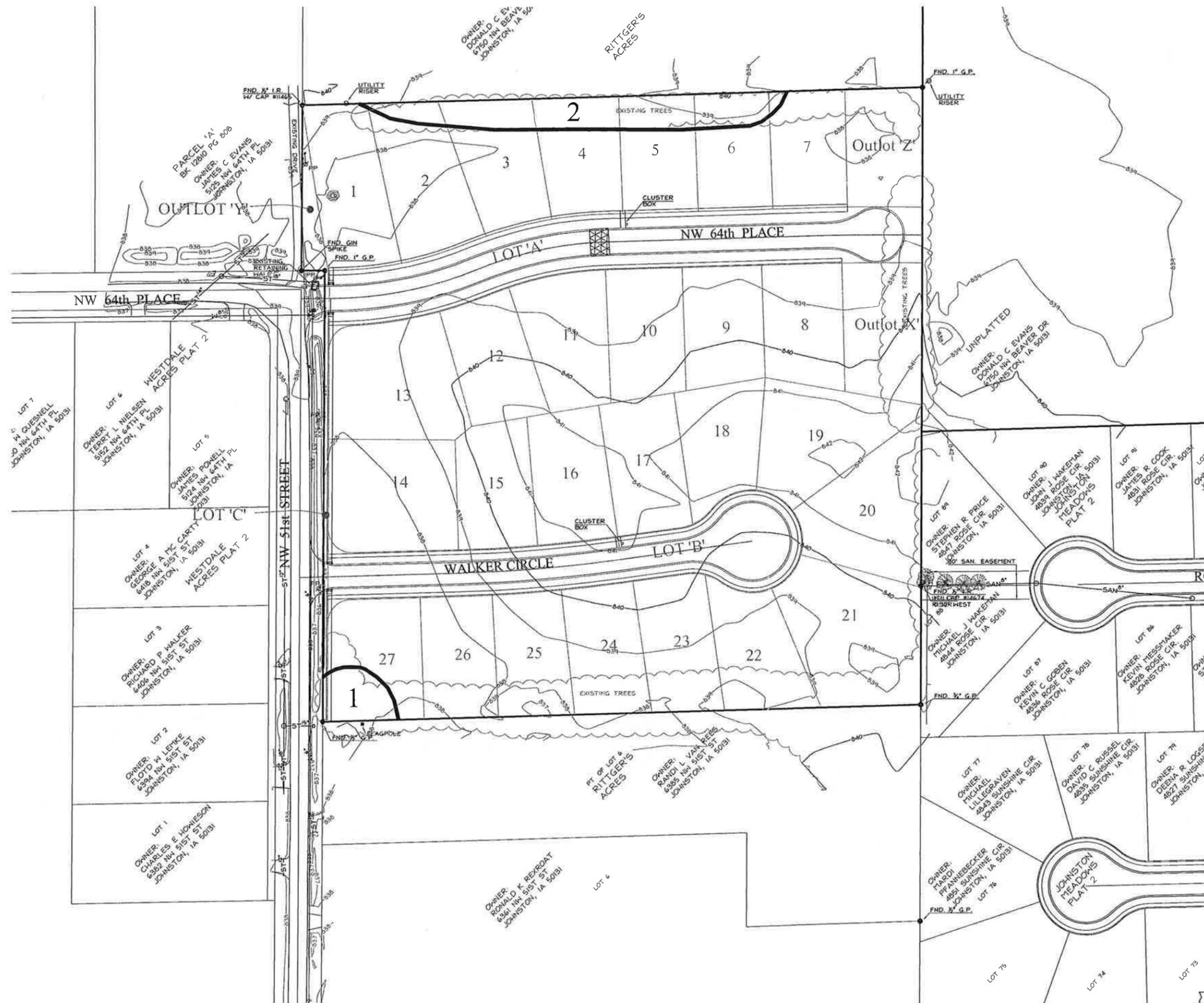
### ORIFICE DETAIL

NO SCALE  
ORIFICE PLATE INSTALLED IN THE  
F.E.S. OUTLET FOR CENTRAL  
DETENTION AREA.



# PRELIMINARY PLAT WILKIE PLACE

SHEET 4 OF 4



**TREE REMOVAL INVENTORY**  
ALL OTHER TREES 6" OR LARGER TO REMAIN

AREA	TREE SIZES								
	6"	8"	10"	12"	14"	16"	18"	20"	24"
1	2 dec.	1 dec.		3 dec.					
2	3 dec.								

Legend:  
dec. deciduous tree  
pine pine tree

**LEGEND**

- EXISTING/PROPOSED
- PLAT BOUNDARY
  - 51" STORM SEWER & SIZE
  - SAN. SANITARY SEWER & SIZE
  - 14" WATER MAIN & SIZE
  - MANHOLE
  - STORM INTAKE
  - ▽ FIRE HYDRANT
  - △ VALVE
  - ▲ F.E.S.
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - \* SILT FENCE OR APPROVED FILTRATION SOCK
  - L. OUTLOT

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
REVISIONS: 1-18-2016  
4-6-2016  
6-8-2016  
6-30-2016

APPROVED: \_\_\_\_\_ INITIALS: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_  
SCALE: 1"=50'

PRELIMINARY PLAT  
WILKIE PLACE

JOB NUMBER  
**CC 1823**

SHEET  
4 OF 4



CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.

DATE REC'D: 8-24-16

CASE NO.: PZ 16-04

# PRELIMINARY PLAT WILKIE PLACE

SHEET 1 OF 4

DEVELOPER/OWNER  
CAPITAL CITY DEVELOPMENT, LLC  
2936 104th STREET  
URBANDALE, IOWA 50322

ZONING  
RI-75 SINGLE FAMILY RESIDENTIAL

SETBACKS  
FRONT YARD = 35 FEET  
REAR YARD = 35 FEET  
SIDE YARD = 8' MIN. (17' TOTAL)

### LEGAL DESCRIPTION

LOT 5, RITTGER'S ACRES, AN OFFICIAL PLAT, CITY OF JOHNSTON, POLK COUNTY, IOWA, CONTAINING 9.72 ACRES MORE OR LESS.

SAID TRACT OF LAND BEING SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### UTILITIES

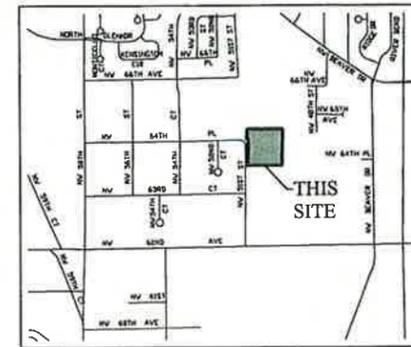
WATER: JOINTON WATER SYSTEM  
SANITARY SEWER: CITY OF JOHNSTON SANITARY SEWER SYSTEM

### NOTES

1. LOTS 'A' & 'B' TO BE DEDICATED TO THE CITY OF JOHNSTON FOR STREET USE.
2. WORK WILL BE PERFORMED TO THE 2014 SUDAS SPECIFICATIONS AND THE 2014 SUPPLEMENTAL SPECIFICATIONS.
3. AN ADDITIONAL 5' ALONG NW 51ST STREET KNOWN AS LOT 'C' WILL BE DEEDED TO THE CITY FOR FUTURE ROW. 16. IF DURING CONSTRUCTION OF THE DETENTION BASINS FIELD CONDITIONS DEEM IT NECESSARY SUBSURFACE INTERCEPTOR DRAIN LINES WILL BE REQUIRED PER ALLENDER BUTZKE ENGINEERS INC REPORT PN 161229.

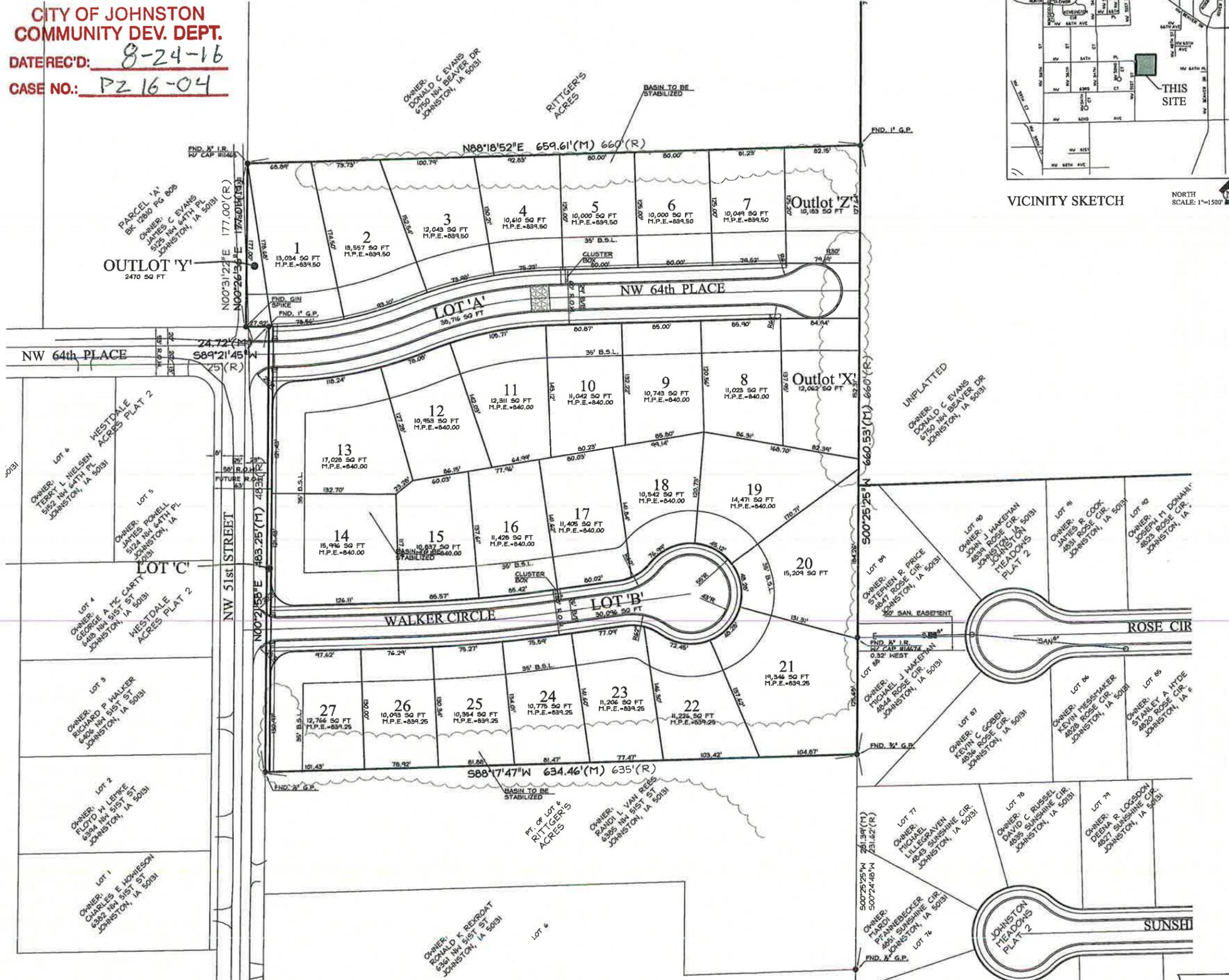
### FIRM DESIGNATION

COMMUNITY PANEL NUMBER: 190745 0006D, JULY 19, 2000  
ZONE 'X', AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN



VICINITY SKETCH

NORTH  
SCALE: 1"=150'



### LEGEND

- |                   |  |
|-------------------|--|
| EXISTING/PROPOSED | PLAT BOUNDARY                          |
| ST <sup>6"</sup>  | STORM SEWER & SIZE                     |
| SAN <sup>6"</sup> | SANITARY SEWER & SIZE                  |
| W <sup>6"</sup>   | WATER MAIN & SIZE                      |
| ○                 | MANHOLE                                |
| ○                 | STORM INTAKE                           |
| ○                 | FIRE HYDRANT                           |
| ○                 | VALVE                                  |
| ○                 | F.E.S.                                 |
| ○                 | EXISTING CONTOURS                      |
| ○                 | PROPOSED CONTOURS                      |
| ○                 | SILT FENCE OR APPROVED FILTRATION SOCK |
| ○                 | O.L.                                   |

### CERTIFICATION

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
	BRADLEY R. COOPER, IOWA LICENSE NO. 12980 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017 PAGES OR SHEETS COVERED BY THIS SEAL: Sheets 1-4

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
REVISIONS: 1-18-2016  
4-8-2016  
6-8-2016  
6-20-2016  
8-16-2016

APPROVED: INITIALS: AS-BUILT:

PRELIMINARY PLAT  
WILKIE PLACE

JOB NUMBER  
**CC 1823**  
SHEET  
1 OF 4



# PRELIMINARY PLAT WILKIE PLACE

SHEET 2 OF 4

## STORM WATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION

Location: Part of the SE 1/4 of Sec. 3, T7N, R25W,  
Nature of Construction Activity: Residential development.  
Area: Total site area = 4.72 acres  
Site area affected = 4.72 acres  
Runoff coefficient = 0.40 (national method)  
Approximate slope: 0.3% to 1.0% or flatter.  
Runoff from this project will flow into unnamed tributaries  
which will flow into the Beaver Creek.

- Erosion and sediment controls**
- Stabilization practices
  - Existing vegetation to be preserved whenever possible.
  - Permanent seeding and/or sodding.
  - Structural practices
  - Silt fences
  - Drainage swales
  - Rock outlet protection (riprap)
  - Storm water management
  - Infiltration of runoff onsite.
  - Velocity dissipation devices at discharge locations to provide non-erosive velocity flows.
  - Haste disposal
  - All building material wastes must be removed from the site.
  - Off-site vehicle tracking of sediments shall be minimized.

**MAINTENANCE**

- Maintain effective operating conditions of all protective measures identified in this plan.
- Silt fencing is cleaned when they have lost 50% of their capacity.
- Drainage swales remain undisturbed.
- Rock outlet protection (riprap) remains intact.

**INSPECTIONS**

- Qualified personnel shall inspect disturbed areas of the construction site that have not been properly stabilized at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater.
- Inspect site for evidence of, or the potential of, pollutants entering the drainage system from stored materials.
- Observe erosion and sediment controls to ensure that they are operating correctly.
- Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.
- Inspect discharge locations to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters.
- Any modifications to the plan as a result of an inspection shall be implemented within 7 calendar days of the inspection.
- An inspection report shall be prepared and retained on part of the prevention plan until project termination, this report will contain the following:
  - A summary of the scope of the inspection.
  - Qualifications of the personnel making the inspection.
  - Major observations relating to the implementation of the prevention plan.
  - Any actions taken.
  - Signature.

**NON-STORM WATER DISCHARGES**

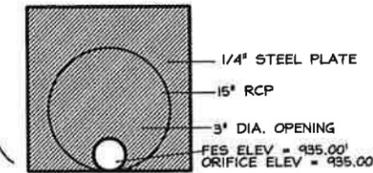
- Water main flushing
- Flushed water will be discharged into the storm sewer system where, when discharged, it will undergo erosion and sediment controls consisting of:
  - Rock outlet protection (riprap)
  - Silt fencing
  - Existing vegetation

**CONTRACTORS**

- The grading contractor shall have the responsibility of implementing the measures contained in this plan.
- All contractors and subcontractors shall sign a certification statement before commencing any professional service at the site relating to the National Pollutant Discharge Elimination System (NPDES) permit.
- Topsoil stripped from the disturbed area will be stockpiled. After construction has been completed the stockpile will be re-spread at a minimum thickness of 8 inches.

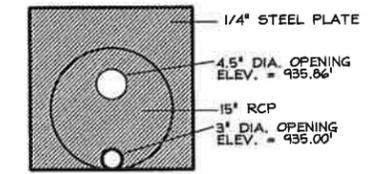
**LEGEND**

- EXISTING/PROPOSED**
- ST<sup>60</sup> — PLAT BOUNDARY
  - SAN<sup>12</sup> — STORM SEWER # SIZE
  - W<sup>12</sup> — SANITARY SEWER # SIZE
  - W<sup>18</sup> — WATER MAIN # SIZE
  - — MANHOLE
  - — STORM INTAKE
  - ▽ — FIRE HYDRANT
  - △ — VALVE
  - ▲ — F.E.S.
  - 99.0 — EXISTING CONTOURS
  - 93.0 — PROPOSED CONTOURS
  - \* — SILT FENCE OR APPROVED FILTRATION SOCK
  - O.L. — OUTLOT



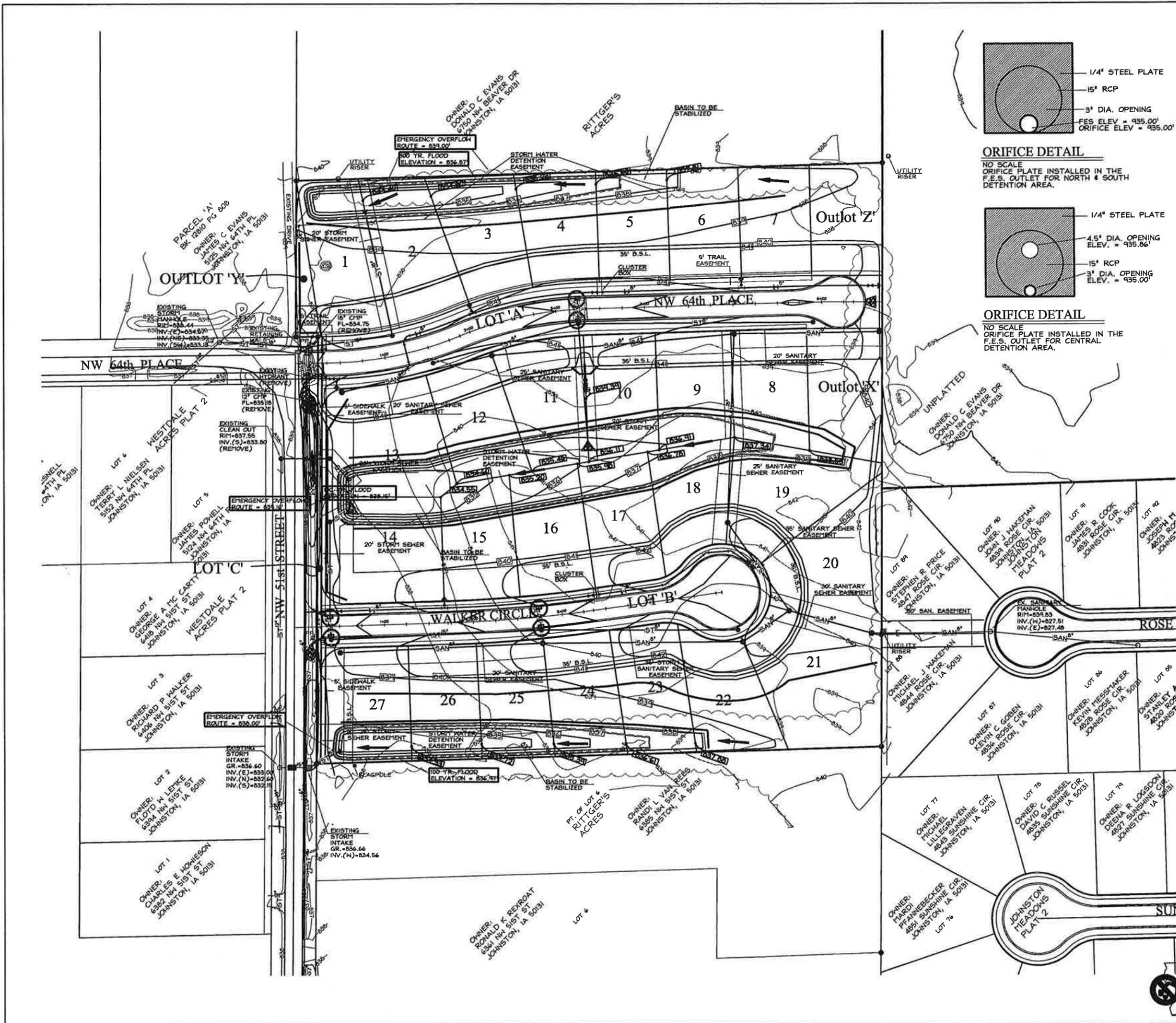
**ORIFICE DETAIL**

NO SCALE  
ORIFICE PLATE INSTALLED IN THE  
F.E.S. OUTLET FOR NORTH & SOUTH  
DETENTION AREA.



**ORIFICE DETAIL**

NO SCALE  
ORIFICE PLATE INSTALLED IN THE  
F.E.S. OUTLET FOR CENTRAL  
DETENTION AREA.



**COOPER CRAWFORD  
& ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

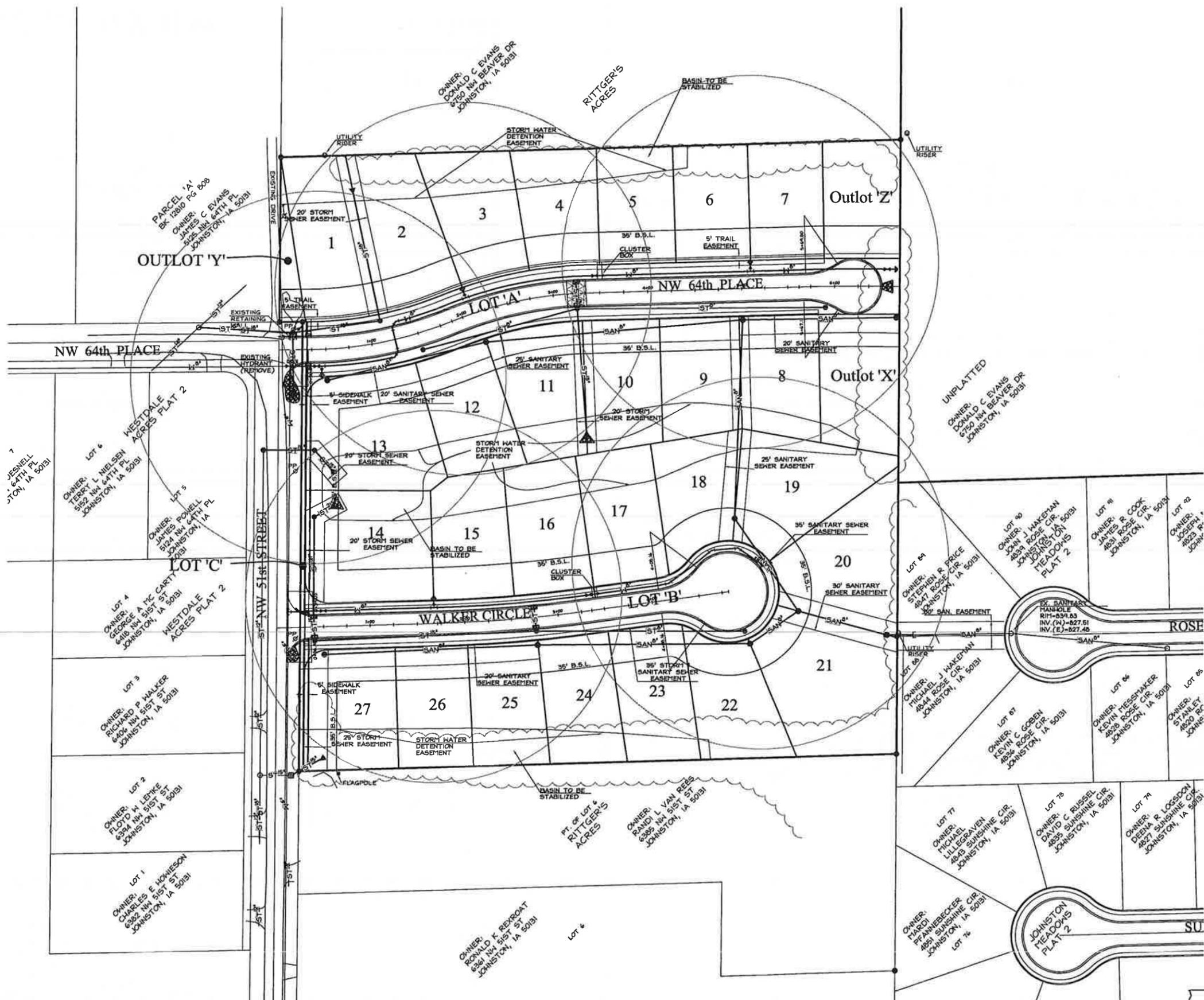
DATE: 3-2-2016  
REVISIONS: 3-18-2016  
4-2-2016  
6-8-2016  
6-20-2016  
8-16-2016

APPROVED: \_\_\_\_\_ INITIALS: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_  
**PRELIMINARY PLAT  
WILKIE PLACE**

JOB NUMBER  
**CC  
1823**  
SHEET  
2 OF 4

# PRELIMINARY PLAT WILKIE PLACE

SHEET 3 OF 4



**LEGEND**

EXISTING/PROPOSED

- PLAT BOUNDARY
- 51" STORM SEWER # SIZE
- SAN" SANITARY SEWER # SIZE
- W" WATER MAIN # SIZE
- MANHOLE
- STORM INTAKE
- FIRE HYDRANT
- VALVE
- △ F.E.S.
- - - - - EXISTING CONTOURS
- — — — — PROPOSED CONTOURS
- \* \* \* \* \* SILT FENCE OR APPROVED FILTRATION SOCK
- O.L. OUTLOT

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
REVISIONS: 3-18-2016  
4-6-2016  
6-8-2016  
6-20-2016  
8-16-2016

SCALE: 1"=50'

APPROVED: [Signature] INITIALS: [Signature] AS-BUILT: [Signature]

**CC 1823**

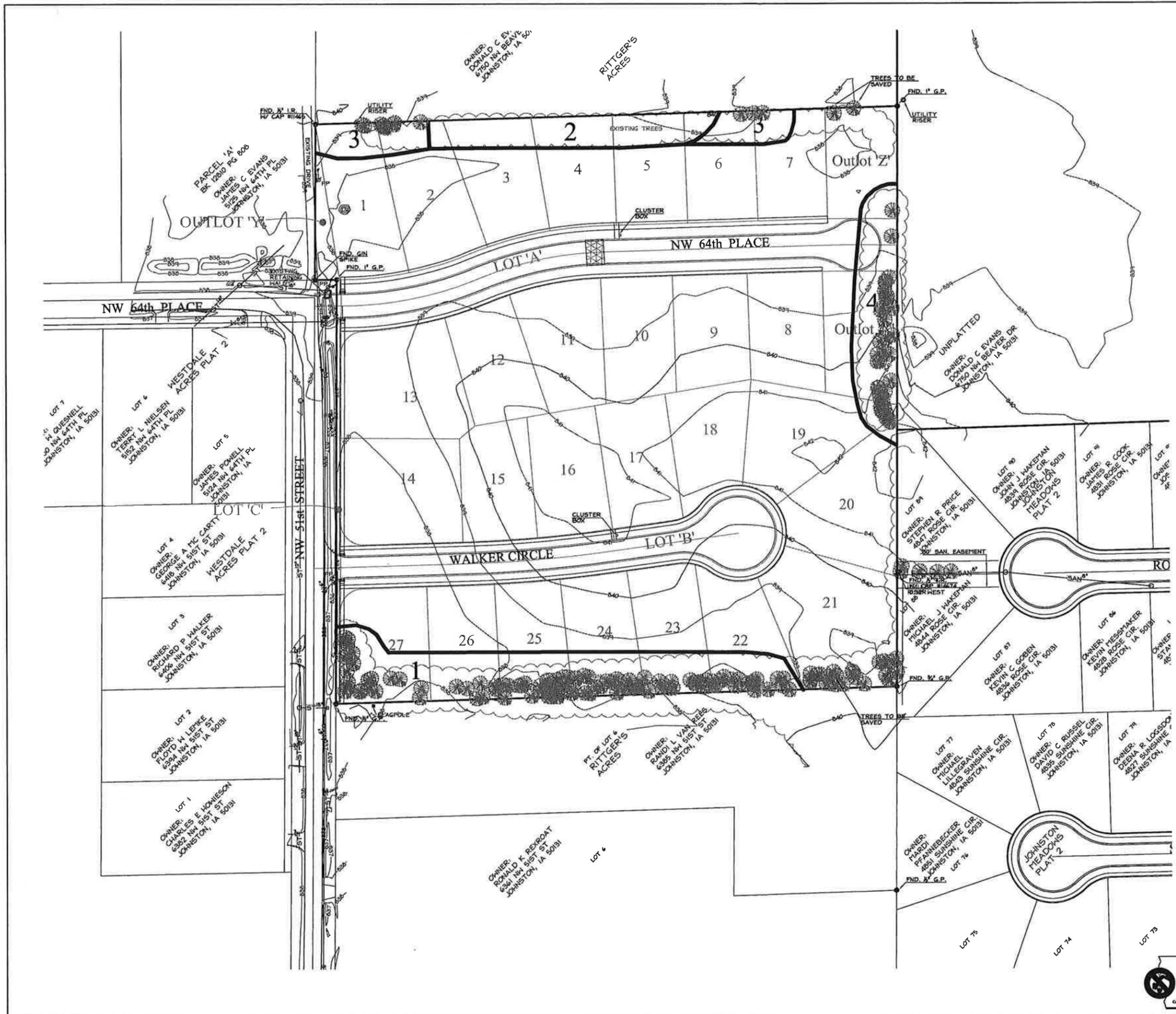
PRELIMINARY PLAT  
WILKIE PLACE

SHEET 3 OF 4



# PRELIMINARY PLAT WILKIE PLACE

SHEET 4 OF 4



**TREE REMOVAL INVENTORY**  
ALL OTHER TREES 6" OR LARGER TO REMAIN  
ALL TREES LESS THAN 6" TO BE REMOVED

AREA	SPECIES	TREE SIZES												TOTAL	
		6"	8"	10"	12"	15"	18"	20"	24"	26"	30"	36"	40"		48"
1	ASH	10	7	2	1	4	1	1	5	2	3	-	-	-	36
	ELM	7	5	11	4	5	-	4	-	1	-	-	-	37	
	HICKORY	1	-	-	-	-	-	-	-	-	-	-	-	1	
	MAPLE	7	6	1	6	1	1	2	-	-	1	-	-	25	
	MULBERRY	1	2	-	2	1	-	1	-	-	-	-	-	7	
	PINE	-	-	-	1	-	-	-	-	-	-	-	-	1	
	WALNUT	-	-	1	1	-	-	-	-	-	-	-	-	2	
2	ALREADY REMOVED														
3	ASH	2	-	-	-	1	-	-	-	-	-	-	1	4	
	COTTON	-	-	-	-	-	-	-	-	-	-	1	-	1	
	ELM	2	1	-	-	-	-	-	-	-	-	-	-	3	
	MULBERRY	2	-	-	-	1	-	-	-	-	-	-	-	3	
	OAK	-	-	-	1	-	-	-	-	-	-	-	-	1	
4	ASH	9	1	6	-	-	-	-	1	-	2	-	-	20	
	ELM	4	-	1	2	-	-	-	-	-	1	-	-	6	
	MAPLE	1	-	-	-	-	-	-	-	-	-	-	-	1	
	MULBERRY	3	1	1	-	-	-	-	-	-	-	-	-	5	
	COTTON	-	-	-	-	-	-	-	-	-	1	1	1	3	
TOTAL		41	23	23	18	13	2	2	11	1	2	8	4	11	156

Legend:  
COTTONWOOD

- LEGEND**
- EXISTING/PROPOSED
- PLAT BOUNDARY
  - ST" STORM SEWER # SIZE
  - SAN" SANITARY SEWER # SIZE
  - W" WATER MAIN # SIZE
  - MANHOLE
  - STORM INTAKE
  - △ FIRE HYDRANT
  - ▽ VALVE
  - △ F.E.S.
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - SILT FENCE OR APPROVED FILTRATION SOCK
  - O.L. OUTLOT

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
REVISIONS: 3-18-2016  
4-6-2016  
6-8-2016  
6-20-2016  
8-16-2016

JOB NUMBER: **CC 1823**

SCALE: 1"=50'

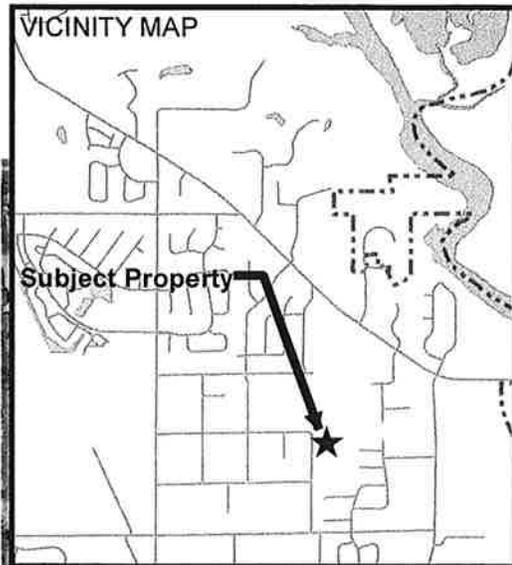
APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_

**PRELIMINARY PLAT  
WILKIE PLACE**

SHEET 4 OF 4



**PZ CASE 16-04  
WILKIE PLACE AMENDED PRELIMINARY PLAT**



1 inch = 3,333 feet

## Notice of Public Meeting

August 19, 2016

The Johnston Planning and Zoning Commission will hold a public meeting at 7:00 pm on Monday, August 29, 2016 and the Johnston City Council will hold a public meeting at 7:00 pm on Tuesday, September 6, 2016. Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road to consider the following item:

**PZ Case No. 16-04; Wilkie Place Amended Preliminary Plat**

The applicant, Capital City Development, LLC. has submitted an amended preliminary plat for the Wilkie Place subdivision at the corner of NW 64th Place and NW 51st Street. The amended preliminary plat updates the original preliminary plat to include tree removal along the north, east, and south property boundaries.

If you have questions or comments on the above-described action, please contact the city staff person listed at the bottom of this card, or attend the meeting at the above-listed date and time. Additional information, including the amended preliminary plat is also available under the "proposed development" section of the City's Website: <http://www.cityofjohnston.com/proposeddevelopment>.

Clayton Ender, Planner  
Johnston City Hall; 6221 Merle Hay Road; Johnston, IA 50131  
Phone: 727-7763; Email: [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com)

## PZ 16-04 Wilkie Place Amended Preliminary Plat Mailing List

<b>Name</b>	<b>Address</b>	<b>City, State, Zip Code</b>
James A Evans	5125 NW 64th Place	Johnston, IA, 50131
Donald C Evans	6750 NW Beaver Drive	Johnston, IA, 50131
John J Wakeman (Trustee)	4839 Rose Circle	Johnston, IA, 50131
Stephen R Price	4847 Rose Circle	Johnston, IA, 50131
Michael J Wakeman	4844 Rose Circle	Johnston, IA, 50131
Randi L Van Rees	6385 NW 51st Street	Johnston, IA, 50131
Ronald K Rexroat (Trustee)	6361 NW 51st Street	Johnston, IA, 50131
Laurance A Deskin	5125 NW 63rd Place	Johnston, IA, 50131
Charles E Howieson	6382 NW 51st Street	Johnston, IA, 50131
Floyd W Lemke	6394 NW 51st Street	Johnston, IA, 50131
Richard P Walker	6406 NW 51st Street	Johnston, IA, 50131
George A Mc Carty	6418 NW 51st Street	Johnston, IA, 50131
James Powell	5124 NW 64th Place	Johnston, IA, 50131
John J Garlock	5152 NW 64th Place	Johnston, IA, 50131
Matthew S Trout	5180 NW 64th Place	Johnston, IA, 50131
Connie L Biondi	5204 NW 64th Place	Johnston, IA, 50131

**From:** Joe WAKEMAN  
**To:** Clayton Ender  
**Subject:** Developer bait and switch (trees) PZ 16-04  
**Date:** Saturday, August 20, 2016 9:08:36 PM

---

Why must these trees all be removed now? They knew they were there in the original plan and choose not to do a complete plan for approval. There needs to be some adjustment to save some of the trees. That along with their failure to control the weeds is a poor start for a quality development.

Joe Wakeman  
515 689 5123

**From:** [Jim E](#)  
**To:** [Clayton Ender](#); [Thomas Henderson](#)  
**Subject:** Fw: Wilkie Place Plat  
**Date:** Monday, August 29, 2016 12:29:07 PM  
**Attachments:** [Wilkie Place lots.pdf](#)

---

Clayton,

Regarding the meeting tonight with the P and Z, I just want to let you know where we stand.

In all the meetings and times I had talked with Tim, he told me his goal was to keep all the trees. As you can see in the message below, I don't think it was ever the intent to remove the trees. I can't understand why they need to be removed now? What has changed? I understand removing a few trees because of disease and liability, but to remove entire sections to make room for what? This just does not make sense. Some of the existing trees are absolutely beautiful!

I trust you have a handle on this as I am confident you do. I will not be attending the meeting and will have to deal with the decisions regardless.

All I ask is please do your best to protect the residents of the area that have taken great pride in our neighborhood! The trees are a great asset to the area and losing them would be a real disappointment.

Thanks and have a great day!

Jim

---

**From:** Timothy Schutte <[timothy@SoldDesMoines.com](mailto:timothy@SoldDesMoines.com)>  
**Sent:** Friday, June 10, 2016 5:19 PM  
**To:** [Jaae64@msn.com](mailto:Jaae64@msn.com); [henderson@whitfieldlaw.com](mailto:henderson@whitfieldlaw.com)  
**Subject:** Wilkie Place Plat

Tom – engineer sent me this today. Asked for color marketing one that is cleaner as well.

Jim – this has the outlot for your driveway area. Tom and I talked yesterday about letter sent and really where I am at... which is needing to button up DeeAnn's peice first and foremost. Once I get through that I will be in more communication. I saw you had a pickup close to the tree line. I was not aware that they were starting nor was the general contractor so we made them stop. Also didn't think that many trees were coming out. Anyway. Feel free to call if you have questions or concerns.

Hope all is well—TS

Timothy Schutte  
Broker Owner  
EXIT Realty Capital City

[www.SoldDesMoines.com](http://www.SoldDesMoines.com)  
515-681-5677 – Team Cell  
515-253-3948 – Office



**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
 AGENDA COMMUNICATION  
 September 6, 2016 Meeting

<p><b>Subject:</b> Consider approval of the following items related to PZ Case No. 16-23:</p> <ul style="list-style-type: none"> <li>• The site plans for Advantage Homes Warehouse located at 4845 NW 59<sup>th</sup> Avenue; Resolution 16-187.</li> <li>• The Stormwater Management Facilities Maintenance Agreement for 4845 NW 59<sup>th</sup> Avenue; Resolution 16-190.</li> </ul>	<p><b>ACTION REQUIRED:</b></p> <p><input type="checkbox"/> Ordinance</p> <p><input checked="" type="checkbox"/> Resolution</p> <p><input type="checkbox"/> Approval</p> <p><input type="checkbox"/> Receive/File</p> <p><input type="checkbox"/> Attorney Rvw</p>
---	---

<p>SYNOPSIS:</p>	<p>Advantage Homes has submitted site plans for the development of a 4,000 square foot building, a 5,880 square foot building, and an 11,023 square foot outdoor storage area. The property is located on the northeast corner of NW 59<sup>th</sup> Avenue and NW 49<sup>th</sup> Street. The site is zoned M-1, Light Industrial, and is legally described as Lot 112 NW Beaver Business Park.</p>
<p>RECOMMENDATION:</p>	<p><b>At their August 29, 2016 meeting the Planning &amp; Zoning Commission recommended approval of PZ Case 16-23, the Site Plans for 4845 NW 59<sup>th</sup> Avenue, with the following conditions:</b></p> <ol style="list-style-type: none"> <li>1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.</li> <li>2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.</li> <li>3. No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.</li> <li>4. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.</li> <li>5. City Council acceptance of recycled asphalt millings as an acceptable dustless hard surface material on the subject site in satisfaction of chapter 166.33.3.F.(2) of the City of Johnston Code of Ordinances. Said material shall only be used in the fenced in outdoor storage area and practices put in place to insure the material does not flow onto adjacent properties or into the overland flowage easement.</li> </ol>

6. **Prior to issuance of a grading permit the following items must be provided:**
  - a. Evidence that an overland flowage easement along the west property boundary of Lot 113 NW Beaver Business Park is being provided for the benefit of Lot 112 NW Beaver Business Park.
7. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Indicate the 150' fire hydrant coverage on the site plans.
  - b. The outdoor storage area must be screened from public right-of-way and adjacent properties, including the adjacent M-1 Light Industrial Zoned property and the townhomes to the north.
  - c. Include an engineer seal that will cover sheets 1 – 3.
  - d. Address Foth's review letter dated August 24, 2016.
8. **The architectural elevations must be amended and the following items shall be completed prior to issuance of a building permit:**
  - a. Include the square footage and percentage of the total area for each building material to be used on each side of both buildings.

Attachments:

- Vicinity Map
- Site Plans, prepared by Associated Engineering Company of Iowa, dated August 17, 2016;
- Architectural Elevations prepared by Advantage Building One, dated August 15, 2016;
- Development Review Comments by Staff, dated August 9, 2016;
- Development Review Comments by Foth Infrastructure & Environment, LLC, dated August 24, 2016;
- Stormwater Management Facilities Maintenance Agreement;
- Mailing List and Mailing Notice;
- Public Comments;

## RESOLUTION 16-187

### A RESOLUTION APPROVING THE SITE PLANS FOR ADVANTAGE HOMES WAREHOUSE LOCATED AT 4845 NW 59<sup>TH</sup> AVENUE

WHEREAS, the Planning & Zoning Commission has reviewed this request during its regular meeting on August 29<sup>th</sup>, 2016, and recommended approval of PZ Case No. 16-23 with noted conditions; and,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that the Site Plans for Advantage Homes Warehouse located at 4845 NW 59<sup>th</sup> Avenue is hereby approved subject to the following conditions,

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.
4. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
5. City Council acceptance of recycled asphalt millings as an acceptable dustless hard surface material on the subject site in satisfaction of chapter 166.33.3.F.(2) of the City of Johnston Code of Ordinances. Said material shall only be used in the fenced in outdoor storage area and practices put in place to insure the material does not flow onto adjacent properties or into the overland flowage easement.
6. **Prior to issuance of a grading permit the following items must be provided:**
  - a. Evidence that an overland flowage easement along the west property boundary of Lot 113 NW Beaver Business Park is being provided for the benefit of Lot 112 NW Beaver Business Park.
7. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Indicate the 150' fire hydrant coverage on the site plans.
  - b. The outdoor storage area must be screened from public right-of-way and adjacent properties, including the adjacent M-1 Light Industrial Zoned property and the townhomes to the north.
  - c. Include an engineer seal that will cover sheets 1 – 3.
  - d. Address Foth's review letter dated August 24, 2016.
8. **The architectural elevations must be amended and the following items shall be completed prior to issuance of a building permit:**
  - a. Include the square footage and percentage of the total area for each building material to be used on each side of both buildings.

**PASSED AND APPROVED** this 6<sup>th</sup> day of September, 2016.

\_\_\_\_\_  
PAULA S. DIERENFELD, MAYOR

ATTEST:

\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Brown	---	---	---	---
Clabaugh	---	---	---	---
Cope	---	---	---	---
Lindeman	---	---	---	---
Temple	---	---	---	---

**RESOLUTION 16-190**

**A RESOLUTION APPROVING THE STORMWATER MANAGEMENT FACILITIES  
MAINTENANCE AGREEMENT FOR 4845 NW 59<sup>TH</sup> AVENUE**

**WHEREAS**, the City Council approved the site plans for 4845 NW 59<sup>th</sup> Avenue subject to the condition that a Stormwater Management Facilities Maintenance Agreement be provided and approved by the City Council prior to issuance of a building permit; and,

**WHEREAS**, the applicant has submitted a Stormwater Management Facilities Maintenance Agreement; and,

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that the Stormwater Management Facilities Maintenance Agreement for 4845 NW 59<sup>th</sup> Avenue is hereby approved and the Mayor is authorized to sign the same.

**PASSED AND APPROVED** this 6<sup>th</sup> day of September, 2016.

\_\_\_\_\_  
PAULA S. DIERENFELD, MAYOR

ATTEST:

\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Brown	---	---	---	---
Clabaugh	---	---	---	---
Cope	---	---	---	---
Lindeman	---	---	---	---
Temple	---	---	---	---

PROPERTY OWNER:	Northwest Beaver Development, LLC 6250 NW Beaver Dr Johnston, IA, 50131
APPLICANT:	Advantage Homes ATTN: Kirk Hesse 6250 NW Beaver Dr Johnston, IA, 50131
REPRESENTATIVES:	Associated Engineering Company of Iowa, Inc. ATTN: Vic Piagentini 2917 Martin Luther King Jr Pkwy Des Moines, IA, 50310
BACKGROUND & PRIOR APPROVALS:	This lot was part of the Beaver Pines and NW Beaver Business Park Preliminary Plat in 2007 (PZ Case No. 07-19) and was platted with the NW Beaver Business Park Final Plat in 2007 (PZ Case No. 07-37). There have been no prior site plan approvals for this site.
ZONING & BULK REQUIREMENTS:	<p>M-1, Light Industrial District. The M-1 District is intended to provide areas of the City suitable for activities and uses of a light industrial nature.</p> <p>Minimum bulk requirements for the subject lot are those of the M-1, Light Industrial District:</p> <p style="padding-left: 40px;">Front Setback: 50 feet Side Yard Setback: 10 feet Sum of All Side Yard Setbacks: 20 feet Rear Yard Setback: 50 feet</p>
TRAFFIC ACCESS & CIRCULATION:	<p>As proposed all bulk regulations are met with this site and the intended use is permitted.</p> <p>Access to the site will be from one drive access on NW 49<sup>th</sup> Street and one drive access on NW 59<sup>th</sup> Avenue. The drive access on NW 59<sup>th</sup> Avenue is not lined up with the drive access opposite NW 59<sup>th</sup> Avenue because of grade constraints and limited traffic conflicts, but this access is approximately 60 feet separated from this opposite drive.</p>
PEDISTRIAN CIRCULATION & SIDEWALKS:	<p>There currently is an 8 foot wide trail on the western edge of the property that runs parallel with NW 49<sup>th</sup> Street. This trail would be maintained and appropriate work would be completed to allow for the trail to cross the proposed drive.</p> <p>A new 5 foot wide sidewalk would be constructed along NW 59<sup>th</sup> Avenue. Appropriate work would be completed to allow for the sidewalk to cross the proposed drive.</p>

**PARKING AND  
LOADING:**

The site is required to have 1 parking space per 2,000 square feet of warehouse area and 1 parking space per employee regularly employed on the premises. For this site, no employees will be regularly employed on the premises. The required parking for this site will be 5 parking stalls. The site is providing 17 parking stalls with 2 of the parking stalls reserved for handicap parking.

The site plans indicate an area dedicated for outdoor storage to be surfaced with recycled asphalt. The recycled asphalt would be recycled asphalt millings. Though labeled as an outdoor storage area, there is access to this area via two gates and an overhead door in the rear of the larger building. This area could be used for loading purposes and as such would be required to meet the surfacing requirements of Chapter 166.33.3.F(2). Recycled asphalt millings do not meet the standards set forth in the Zoning Ordinance, but the City Council may waive or modify any part of the parking regulations, including surfacing requirements.

Staff is recommending a condition of approval be that there be City Council acceptance of recycled asphalt millings as an acceptable dustless hard surface material on the subject site in satisfaction of chapter 166.33.3.F.(2) of the City of Johnston Code of Ordinances. Said material shall only be used in the fenced in outdoor storage area and practices put in place to insure the material does not flow onto adjacent properties or into the overland flowage easement.

**PUBLIC UTILITIES:**

**WATER:** Water service is available from an existing 8 inch water main along NW 59<sup>th</sup> Avenue. Each building will have their own water connection.

**SANITARY SEWER:** Sanitary sewer is available from an existing 8 inch sanitary sewer main along NW 59<sup>th</sup> Avenue. Each building will have their own sanitary sewer connection.

**FIRE PROTECTION:**

Knox boxes will be located on each building for the fire department to access each in the event of an emergency.

Staff is recommending that the site plans be amended to identify that both buildings are within a 150 foot radius of a fire hydrant.

**FLOODPLAIN:**

The site is not located within the 100-year floodplain.

**DRAINAGE:**

As part of the platting process, a stormwater detention easement was granted on the adjacent property to allow for stormwater detention that would serve this property.

Stormwater would be conveyed to the stormwater detention basin through an overland flowage easement that runs along the north side of this

property and the adjacent property. The applicant has proposed a new 10 foot overland flowage easement along the western property boundary of the adjacent property. This easement would be subject to approval of the property owner of the adjacent property. Water quality volume will still be accommodated with the development of this site.

Staff recommends that a condition of approval be that evidence that an overland flowage easement along the west property boundary of Lot 113 NW Beaver Business Park is being provided for the benefit of Lot 112 NW Beaver Business Park be provided to the City prior to issuance of a grading permit.

Seepage wells will be utilized in the north overland flowage easement to accommodate the water quality volume for this site. Staff recommends that a condition of approval be that a Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.

**ARCHITECTURE:**

Chapter 166.35.2.E prohibits the exclusive use of sheet metal as an exterior building material in M-1 Districts. Furthermore, the section requires any wall area facing and within 300 feet of a public thoroughfare shall be comprised of no less than 25% brick, architectural steel, architectural concrete panel, textured concrete block, or stone panels. For this site this would require that the south wall area be comprised of at least 25% of one of these materials. To determine the percentage of the wall area covered by the required material windows are removed from the total wall area.

Staff recommends a condition of approval that the architectural elevations be amended to include the square footage and percentage of the total wall area for each building material to be used on each side of each building.

**OPEN SPACE:**

20% of the site is required to be maintained as open space. As proposed, approximately 31% of the site would be maintained as open space.

**LANDSCAPING:**

For every site at minimum two trees and six shrubs must be provided or one tree per 1,500 square feet of open and one shrub for every 1,000 square feet of open space, whichever is greater. The area of the buffer is removed from the total lot area for determining open space landscaping. Because buffer area is removed for this calculation, this site would only be required to have the minimum open space landscaping. The site will be in compliance with the minimum open space landscaping requirements.

**TREE REMOVAL:**

No tree removal is identified with this site plan.

**BUFFERS:**

The site is required to have two buffer areas. The first buffer area is adjacent to the residential uses north of this property and the second buffer area is along NW 49<sup>th</sup> Street since the site is opposite the road from

a residential use. The existing trees located in the north buffer will be retained and used to meet a portion of the buffer requirement. At the August 29, Planning and Zoning Commission meeting the applicant indicated that larger, more established trees would be installed in the buffer to provide screening of the outdoor storage area. The following is the required buffer landscaping and that which is provided:

North Buffer Area (Half 60 Foot Buffer)		
	Required	Provided
Evergreen Trees	7	7
Overstory Trees	4	12
Understory Trees	10	11
Shrubs	39	39

West Buffer Area (Half 60 Foot Buffer)		
	Required	Provided
Evergreen Trees	2	2
Overstory Trees	1	1
Understory Trees	3	3
Shrubs	12	12

**NPDES PERMIT:**

A SWPPP and NPDES Permit are required and must be approved by City Staff prior to issuance of a City Grading Permit and any ground disturbing activity.

**SITE LIGHTING:**

No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.

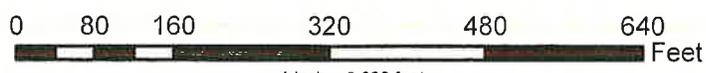
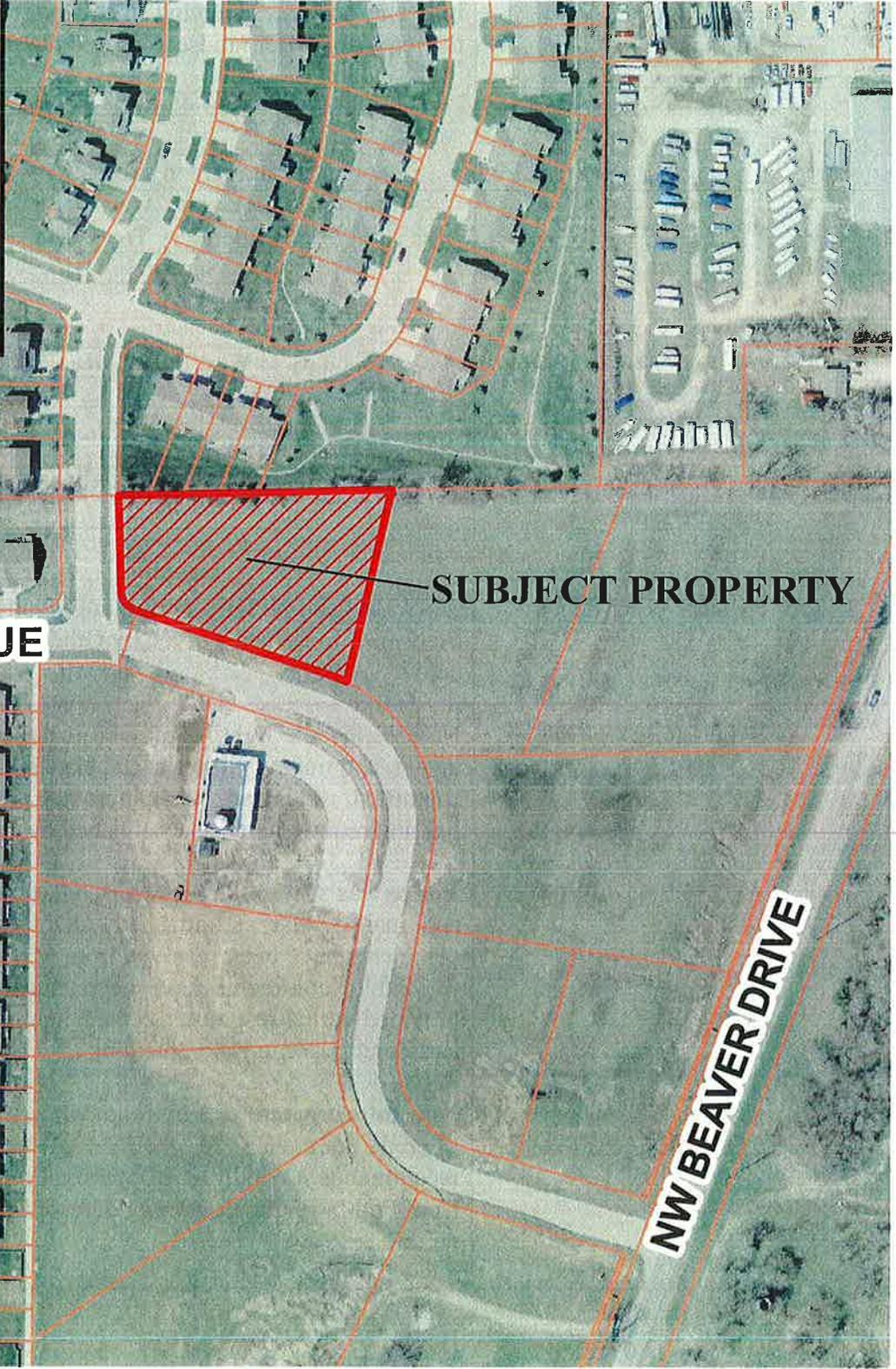
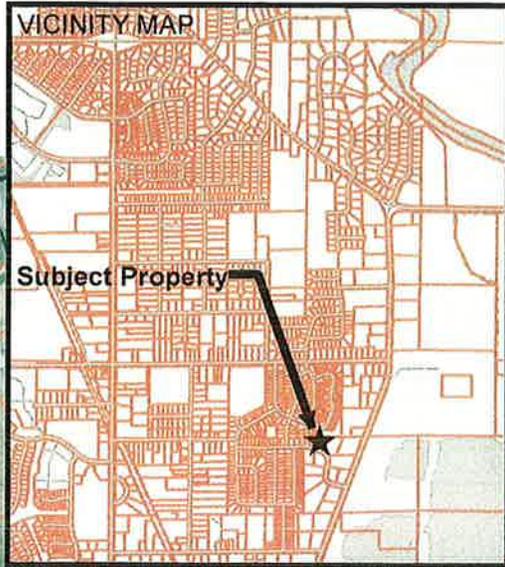
**ADJACENT OWNER NOTICE:**

Notice was sent to the properties adjacent to this site. A copy of the notice and mailing list are attached; as of publication of this report public comments have been received from Mr. and Mrs. Bryson, 6005 Pinewood Ct. Public comments have been attached to this report. The applicant provided verbal responses to the neighbor's questions during the Planning and Zoning Commission meeting.

**CONSULTANT COMMENTS:**

Foth Infrastructure & Environment, LLC has reviewed the Site Plan and offered comments in their August 24, 2016 review letter. Staff recommends a condition of approval requiring all outstanding comments from Foth's review letter be addressed prior to the issuance of a building permit.

**PZ CASE 16-23**  
**Advantage Home Warehouse Site Plan**



1 inch = 3,333 feet  
Created by City of Johnston Department of Community Development  
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033

H:\Community Development\P&Z\2016 PZ\PZ 16-23; Advantage Homes Warehouse Site Plan for 4845 NW 59th Ave\GIS\Aerial vicinity PZ 16-23.mxd

**SITE ADDRESS**

4845 NW 59TH AVENUE  
JOHNSTON, IOWA 50131

**SITE OWNER**

NORTHWEST BEAVER DEVELOPMENT, LLC.  
6250 NW BEAVER DRIVE, UNIT A6  
JOHNSTON, IOWA 50131  
CONTACT: KIRK HESSE (515) 209-7777

**ZONING INFORMATION**

M-1 (LIGHT INDUSTRIAL DISTRICT)	
FRONT YARD SETBACK	50 FEET
SIDE YARD SETBACK	7.5 FEET
SUM OF SIDE YARD SETBACK	20 FEET
SIDE YARD SETBACK WHEN ABUTTING AN R DISTRICT	30 FEET
REAR YARD SETBACK	50 FEET
MINIMUM LOT AREA	20,000 SQ FEET
MINIMUM LOT WIDTH	100 FEET

**SEWER AND WATER PROVIDER**

SEWER: CITY OF JOHNSTON  
WATER: CITY OF JOHNSTON

**PARKING INFORMATION**

REQUIRED PARKING	
1 SPACE PER 2000 SF	
(9,880 / 2000)	5 STALLS
1 SPACE PER EMPLOYEE	0 STALLS
TOTAL STALLS PROVIDED	= 17 STALLS

**SITE AREA SUMMARY**

BUILDING	9,880 SQ FT
P.C.C. PAVING	15,351 SQ FT
RECYCLED ASPHALT	11,023 SQ FT
TOTAL IMPERVIOUS	37,254 SQ FT
TOTAL PERVIOUS	16,597 SQ FT
TOTAL SITE	53,851 SQ FT
REQUIRED OPEN SPACE	10,770 SQ FT (20%)
PROVIDED OPEN SPACE	16,597 SQ FT (31%)
F.A.R.	16%

**NOTES**

- GENERAL
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT D.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
  - ALL CONSTRUCTION PROCEDURES AND MATERIALS TO MEET OR EXCEED MINIMUM REQUIREMENTS AS PER 2014 SDAS and Johnston Supplemental Specifications.
  - THE OWNER SHALL MAKE OR MAKE AVAILABLE FOR OBTAINING ALL REQUIRED PERMITS FOR PERFORMING THE WORK.
  - THE URBAN DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS SHALL APPLY TO GRADING, EROSION CONTROL, AND ASSOCIATED WORK FOR THE PROJECT.
  - THE OWNER/DEVELOPER IS RESPONSIBLE FOR MEETING ALL STATE OF IOWA DEPARTMENT OF NATURAL RESOURCES, APPLICABLE CITY, URBAN DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS, OR ANY OTHER CODES, REGULATIONS, OR RESTRICTIONS SET FORTH BY ANY AND ALL GOVERNING AGENCIES.
  - NOTIFY OWNER, ENGINEER, AND CITY AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
  - ALL PROPOSED CONTOURS AND SPOT ELEVATION SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
  - POST DEVELOPMENT RUNOFF SHALL NOT ADVERSELY AFFECT DOWNSIDE DRAINAGE FACILITIES OR PROPERTY OWNERS.
  - ANY DAMAGE DONE TO THE EXISTING FENCES, YARDS OR OTHER STRUCTURES OUTSIDE THE CONSTRUCTION LIMITS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - GRADING
    - OWNER/DEVELOPER IS RESPONSIBLE FOR ALL COMPACTION, DENSITY OR ANY OTHER TEST.
    - ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
    - ALL PROPOSED CONTOURS AND SPOT ELEVATION SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB, UNLESS OTHERWISE NOTED.
  - EROSION CONTROL
    - IF MORE THAN ONE ACRE OF SOIL IS DISTURBED COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN.
    - EXCEPT AS PRECEDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED ON ALL DISTURBED AREAS NO LATER THAN THE 14TH DAY AFTER NO CONSTRUCTION ACTIVITY HAS TAKEN PLACE AND ON AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF ANOTHER 21 DAYS.
    - THE EROSION CONTROL MEASURES SHALL BE CHECKED REGULARLY, ESPECIALLY AFTER EACH SIGNIFICANT STORM, TO LOCATE DAMAGE AND CONDUCT MAINTENANCE OPERATIONS.
    - THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES OR AS DIRECTED BY THE CITY.

**CITY NOTES**

- This site shall be maintained in compliance with all city code applicable on the date of site plan approval.
- Any new rooftop mechanical equipment must be screened from street level view.
- Transformers, junction boxes, air conditioners over 3 feet in height, or other such items may not be located in the required setback areas.
- Any amendments or changes to the project site that do not meet what is shown on the site plan shall be approved with the Permit and Development Center prior to installation/construction.
- Lighting must be low glare cut-off type fixtures to reduce the glare of light pollution on surrounding properties.
- The required landscaping, both existing and proposed, shall be maintained for the life of the Occupancy.
- All disturbed areas should be restored by seeding or sodding.
- Knock boxes will be required to be placed at the front door of each building. At the time of installation at least one knock box shall contain keys to access the gated area in emergency events.

**DEMOLITION**

- CONTRACTOR SHALL CALL IOWA ONE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

**SITE UTILITIES**

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- ALL PROPOSED SANITARY PIPE SHALL BE SDR-35 PVC.
- CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY SERVICE AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION LINE WITH THE CLEANOUT SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION W/ FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A B VERTICAL PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST BELOW THE PREDICTED FROST DEPTH. WHERE FROST IS SHALLOWER, THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A 2" ZURN (2-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT PLUG WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- ALL PROPOSED WATER PIPE SHALL BE COPPER TYPE K PIPE AND CONFORM TO ASTM B88 AND ANNA 800. A MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE NOTED.
- ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH ASTM F408 AND F687. ALL CONCRETE STORM PIPING SHALL BE IN ACCORDANCE WITH ASTM C14 AND ASTM C76. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8" HORIZONTALLY FROM FOUNDATION WALLS.
- SANITARY, STORM AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPERED TO LAST 1/2" OF TRACER WIRE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
- ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL AND INDUSTRY STANDARDS. WATER, SANITARY AND STORM SEWER SHALL BE INSTALLED PER IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SDAS). THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.

**LEGAL DESCRIPTION**

LOT 112 NW BEAVER BUSINESS PARK

**BUILDING USAGE**

BOTH BUILDING WILL BE USED FOR STORAGE

**HORIZONTAL/VERTICAL CONTROL**

HORIZONTAL CONTROL: IOWA SOUTH, NAD 83 DATUM  
VERTICAL: NAVD88

**FLOOD INSURANCE RATE MAP INFORMATION**

COMMUNITY: 190745  
PANEL: 0006D  
ZONE: X

# ADVANTAGE HOMES WAREHOUSE

## COMMERCIAL SITE PLAN

### DRAWING INDEX

- 1 COVER SHEET
- 2 GRADING PLAN
- 2 DIMENSIONING PLAN
- 3 LANDSCAPING PLAN

**VICINITY SKETCH**



**PICTOMETRY**



**CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.**

DATE REC'D: 08/17/2016

CASE NO.: PZ 16-23

ASSOCIATED ENGINEERING  
 COMPANY OF IOWA  
 2017 Main Street, Suite 101, Johnston, IA 50131  
 Phone: (515) 258-5156 Fax: (515) 255-3157

ADVANTAGE HOMES WAREHOUSE

TITLE SHEET/COVER SHEET

DATE SUBMITTED: 07-21-16  
 DATE PRINTED: Wed Aug 11, 2016  
 AEC #: 206444  
 SHEET | OF 3

- GRADING**
- CONTRACTOR SHALL CALL IOWA ONE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
  - PROVIDE LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR.
  - ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA UNDER PAVED AREAS AND AT SITE FILL AREAS SHALL BE REMOVED, PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT SUCH AS A ROLL-ON LAID TANDEN AXLE DUMP TRUCK TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION.
  - PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION REMOVE AND COMPACT THE SOIL TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557 STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL.
  - CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS.
  - ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER PROCEEDED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL, TRUMP FOOTINGS.
  - WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, CLARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
  - THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.
  - MAXIMUM GROUND SLOPE IS 3:1.

- EROSION CONTROL**
- EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH BY THE ENVIRONMENTAL PROTECTION DIVISION OF THE STATE OF IOWA DEPARTMENT OF NATURAL RESOURCES IN THE IOWA CONSTRUCTION SITE EROSION CONTROL PLAN STANDARDS PUBLISHED BY THE IOWA DNR IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL. SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED. CIVIL SHEET INDEX.
  - SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM GUTCH BASINS AND CURB INLETS AS PER THE EROSION CONTROL PLAN AND FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION WATER SPRAYING, SURFACE ROUGHENING, SPRAY-ON TAGGERS, GULCHES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - THE USE, STORAGE AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE PER CHAPTER 61 OF THE IOWA ADMINISTRATIVE CODE.
  - CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THE DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORM-WATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
  - IF SITE DEWATERING IS REQUIRED TO REMOVE SEDIMENT FROM CONSTRUCTION SITE STORM-WATER PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE, FOLLOW PROCEDURES FOUND IN THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. FLUSHING SHALL NOT BE ALLOWED.
  - ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

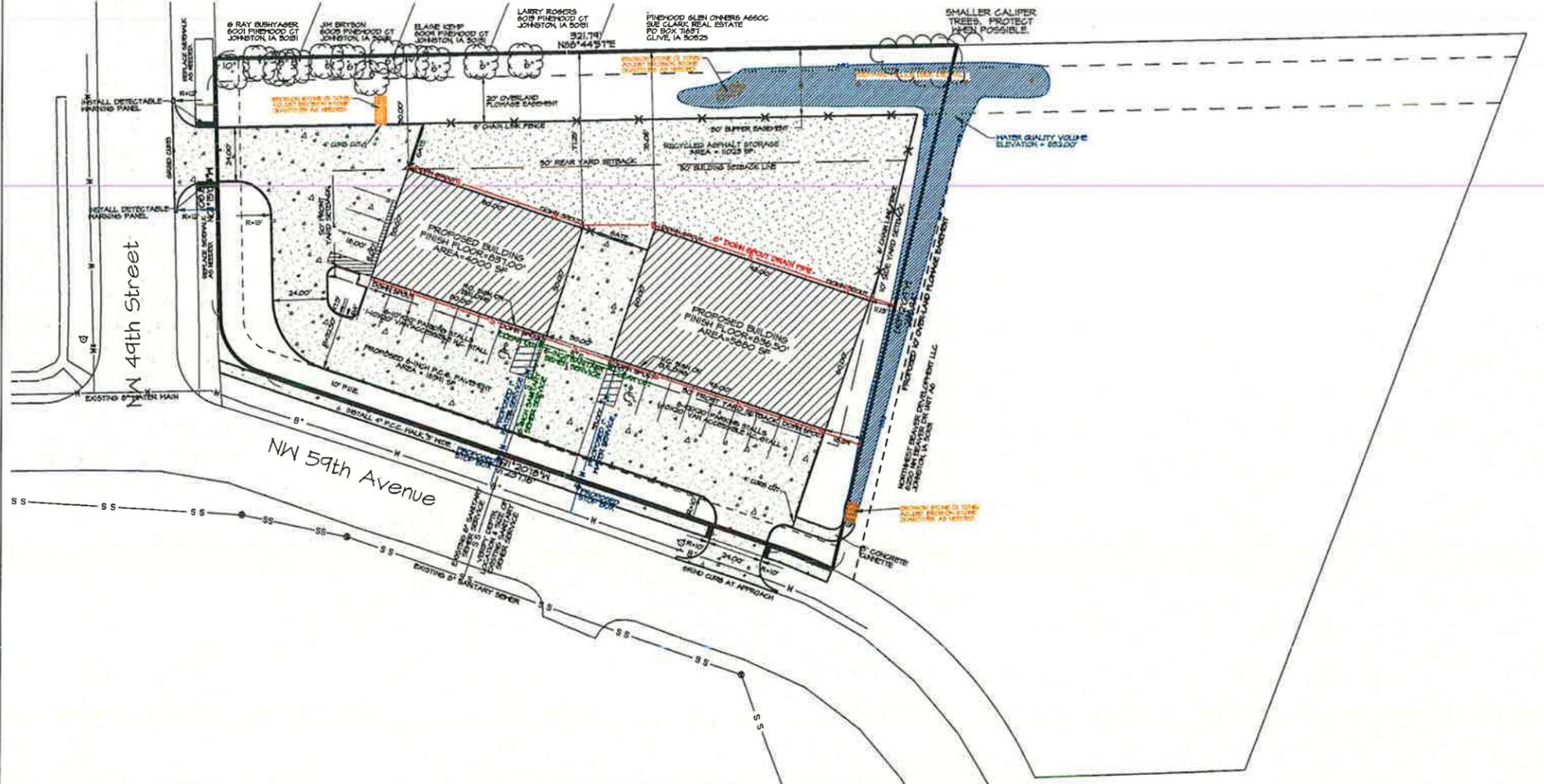
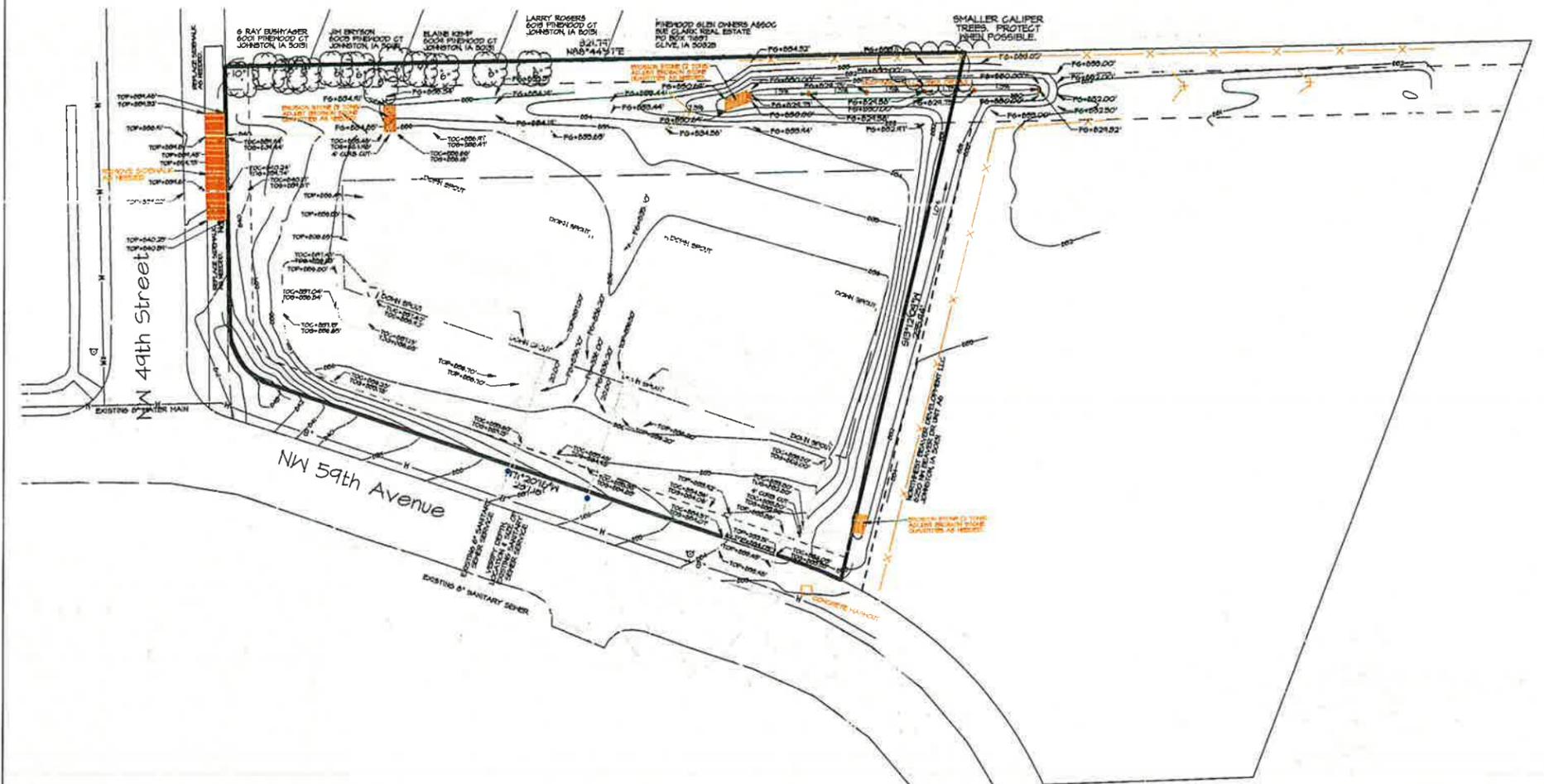
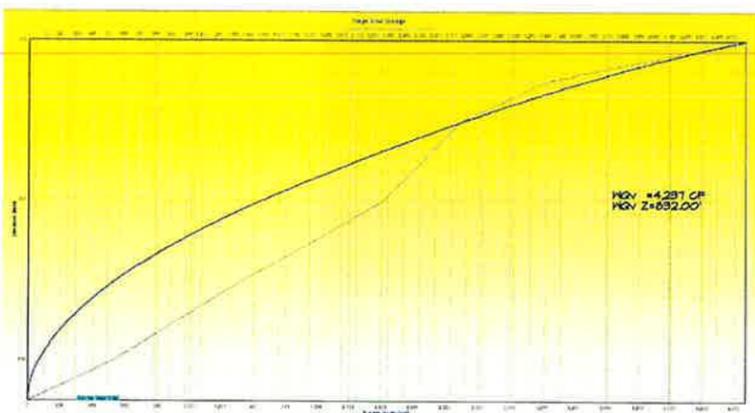
**(S1) Water Quality Volume (WQv)**  
Treat a 24hr 1.25-inch Cumulative rain fall depth

$R_v = 0.05 + 0.0005(I)$   
 $WQ_v = [(P)(R_v)(A)(43560 ft^2/acre)] / 12$

Total Site			
Impervious	35220	0.81	65.4%
Permeous	18631	0.43	34.6%
Total	53851	1.24	

$I = (\% \text{ Impervious})$  65.4%  
 $A = (\text{Area Detained})$  1.24 acres  
 $P = (\text{Rainfall Depth})$  1.25 inches

$R_v =$  0.64  
 $WQ_v(\text{Required}) =$  3582 ft<sup>3</sup>  
 $WQ_v(\text{Provided}) =$  4,273 ft<sup>3</sup>



ASSOCIATED ENGINEERING  
COMPANY OF IOWA  
AEC  
2917 Meridian Lane, King of the Hill, IA 50501  
Phone: (515) 251-9136 Fax: (515) 251-9157

ADVANTAGE HOMES WAREHOUSE  
GRADING & DIMENSIONING PLAN

DATE PRINTED  
Wed Aug 17, 2016  
AEC # 206449  
SHEET 2 OF 9

LANDSCAPING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
3. THE OWNER OR OWNER'S AGENT IS RESPONSIBLE FOR THE PROMPT REMOVAL OF MUD THAT HAS BEEN TRACKED OR MASHED ONTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
4. THE OWNER OR OWNER'S AGENT IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SUBSURFACE DRAINAGE FACILITIES DURING CONSTRUCTION. IN THE EVENT A TILE IS DAMAGED, THE DEVELOPER WILL BE RESPONSIBLE TO REPAIR THE TILE TO ITS ORIGINAL CONDITION OR RECONSTRUCT THE TILE AS DIRECTED BY THE CITY ENGINEER.
5. REQUIRED LANDSCAPING MUST BE MAINTAINED AND/OR REPLACED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
6. PLANTS USED SHALL MEET THE STANDARDS SET FORTH IN THE LATEST EDITION OF THE AMERICAN STANDARD NURSERY STOCK ANSI Z60 PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. PLANTS SHALL BE HIGH QUALITY NURSERY-GROWN STOCK, SUB-STANDARD, GRADE B OR PACK GRADE PLANTS ARE NOT ACCEPTABLE.
8. PLANTS SHALL HAVE BEEN GROWN IN A CLIMATIC ZONE SIMILAR TO DES MOINES. PLANTS GROWN IN NURSERIES LOCATED IN ZONES B6 OR HIGHER ARE NOT ACCEPTABLE.
9. PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION AND ESSENTIALLY FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISTURBING KNOTS, BROKEN OR ABRASION BARK, REDUNDANT LEADERS OR BRANCHES, RUBBING BRANCHES OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THEIR NATURAL FORM.
10. PLANTS SHALL HAVE FULL, EVEN AND WELL-DEVELOPED BRANCHING AND A DENSE, VIGOROUS ROOT SYSTEM.
11. ALL TREES SHALL BE 1.5-INCH CALIPER AT TIME OF PLANTING.
12. ALL DISTURBED AREAS SHALL BE PERMANENT SEEDING ACCORDING TO SUDAS CHAPTER 7 - EROSION AND SEDIMENT CONTROL, 7E-3 AND CHAPTER 9 - SITE WORK & LANDSCAPING UNLESS NOTED OTHERWISE.
13. THE ENTIRE PARCEL SHALL BE MOWN UNLESS OTHERWISE SHOWN ON APPROVED SITE PLAN.
14. ALL SLOPES OF 3:1 AND AS MARKED ON THE DRAWING SHALL BE SEEDING WITH AN APPROVED ZONA NATIVE GRASS. THIS INCLUDES THE SLOPES IN THE DETENTION POND AND THE BOTTOM OF THE DETENTION POND. SEE SUDAS CHAPTER 9 - SITE WORK & LANDSCAPING 2.01 & 2.02. ALL AREAS SHOWN AS UNMOWN SHALL BE PLANTED WITH AN ANNUAL RYEGRASS.
15. LANDSCAPING AREA:
  - A. INSTALL LANDSCAPING FABRIC
  - B. INSTALL 3 INCHES OF LANDSCAPING STONE AS PER ARCHITECT AND OWNERS DIRECTIONS.

LANDSCAPING REQUIREMENTS

- OPEN SPACE LANDSCAPING REQUIREMENTS
- A. EVERGREEN TREES 2 EVERGREEN
  - B. OVER STORY TREES 4 TREES
  - C. UNDER STORY TREES 10 TREES
  - D. SHRUBS 5 SHRUBS
- BUFFER YARD REQUIREMENTS
- NORTH
- HALF OF THE FOLLOWING 100 L.F. (321.79 L.F.)
- A. EVERGREEN TREES 7 EVERGREEN
  - B. OVER STORY TREES 4 TREES
  - C. UNDER STORY TREES 10 TREES
  - D. SHRUBS 59 SHRUBS
- WEST
- HALF OF THE FOLLOWING 100 L.F.
- A. EVERGREEN TREES 2 EVERGREEN
  - B. OVER STORY TREES 4 TREES
  - C. UNDER STORY TREES 3 TREES
  - D. SHRUBS 12 SHRUBS



OPEN SPACE

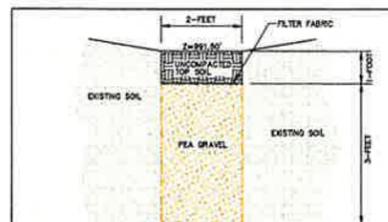
LABEL	TYPE	DESCRIPTION	BOTANICAL NAME	QUANTITY	SIZE
(A-1)	EVER-GREEN	BLACK HILLS SPRUCE	<i>Picea glauca var. densata</i>	0	5-6 foot
(A-2)	EVER-GREEN	CONCOLOR FIR	<i>abies concolor</i>	0	5-6 foot
(B-1)	UNDER-STORY	HERITAGE RIVER BIRCH	<i>Betula nigra 'Heritage'</i>	0	1.5-inch Caliper
(B-2)	OVER-STORY	RED MAPLE		2	1.5-inch Caliper
(C-1)	SHRUB	BURNING BUSH	<i>Euonymus alatus</i>	0	2 to 3-feet
(C-2)	SHRUB	GOLDMOUND SPIREA	<i>Spiraea japonica 'Goldmound'</i>	6	2 to 3-feet

NORTH BUFFER

LABEL	TYPE	DESCRIPTION	BOTANICAL NAME	QUANTITY	SIZE
(A-1)	EVER-GREEN	BLACK HILLS SPRUCE	<i>Picea glauca var. densata</i>	3	5-6 foot
(A-2)	EVER-GREEN	CONCOLOR FIR	<i>abies concolor</i>	4	5-6 foot
(B-1)	UNDER-STORY	HERITAGE RIVER BIRCH	<i>Betula nigra 'Heritage'</i>	11	1.5-inch Caliper
(B-3)	OVER-STORY	EXISTING TREES		12	1.5-inch Caliper
(C-1)	SHRUB	BURNING BUSH	<i>Euonymus alatus</i>	39	2 to 3-feet

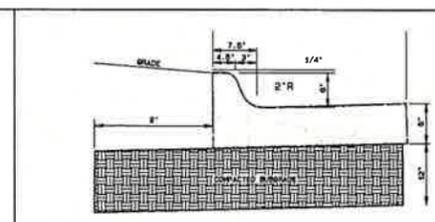
WEST BUFFER

LABEL	TYPE	DESCRIPTION	BOTANICAL NAME	QUANTITY	SIZE
(A-1)	EVER-GREEN	BLACK HILLS SPRUCE	<i>Picea glauca var. densata</i>	1	5-6 foot
(A-2)	EVER-GREEN	CONCOLOR FIR	<i>abies concolor</i>	1	5-6 foot
(B-1)	UNDER-STORY	HERITAGE RIVER BIRCH	<i>Betula nigra 'Heritage'</i>	3	1.5-inch Caliper
(B-2)	OVER-STORY	RED MAPLE		1	1.5-inch Caliper
(C-1)	SHRUB	BURNING BUSH	<i>Euonymus alatus</i>	12	2 to 3-feet



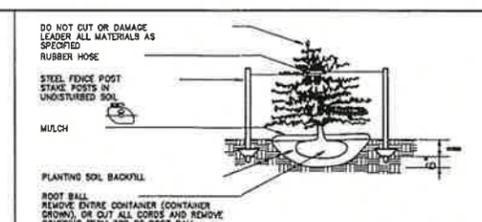
BEEPAGE WELL DETAIL

NO SCALE



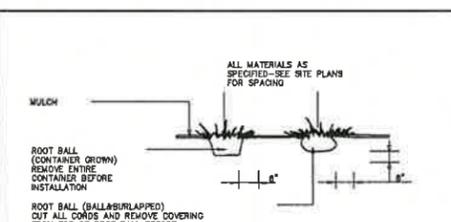
6-INCH CONCRETE CURB DETAIL

NO SCALE



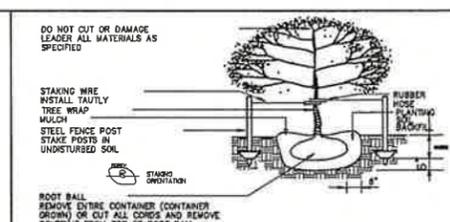
EVERGREEN TREE PLANTING AND STAKING DETAIL

NO SCALE



SHRUB PLANTING DETAIL

NO SCALE



DECIDUOUS TREE PLANTING AND STAKING DETAIL

NO SCALE

ASSOCIATED ENGINEERING  
 COMPANY OF IOWA  
 2917 Meritt Lakes Road SE, Leary, IA 50610  
 Phone: (515) 253-3136 Fax: (515) 253-9137

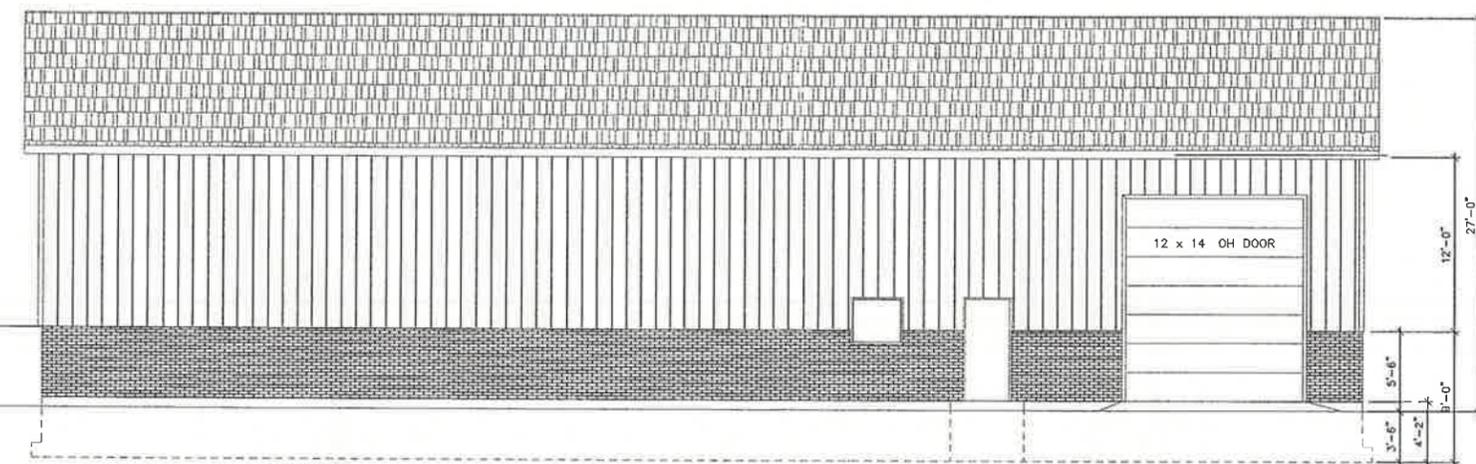
ADVANTAGE HOMES WAREHOUSE  
 LANDSCAPING PLAN

DATE APPROVED  
 DATE PRINTED  
 Print Aug 17, 2016  
 AEC # 206444  
 SHEET 3 OF 3

David Churchill  
20701 Kirkwood St.  
Milo, Iowa 50166  
515-205-0909



**CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.**  
DATE REC'D: 8-17-16  
CASE NO.: PZ 16-23



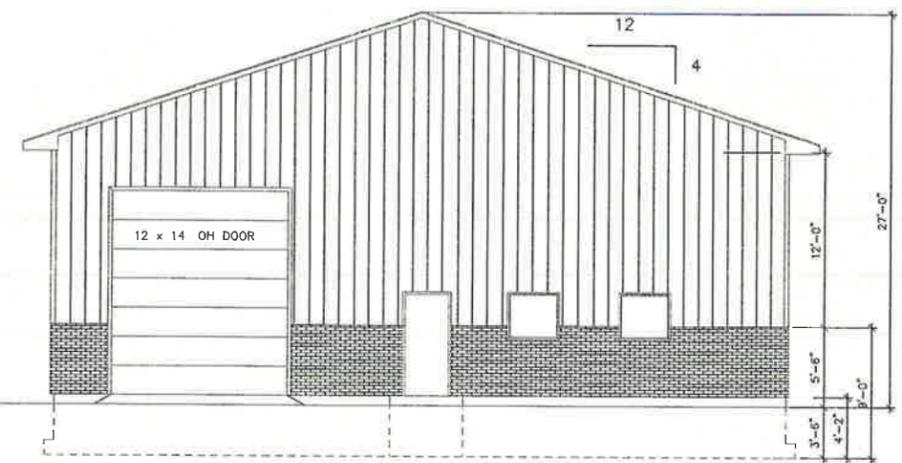
COMBINATION ASPHALT SHINGLES OVER BUILDING FELT ON 7/16" OSB SHEETING ON ENGINEERED WOOD TRUSSES AT 24" ON CENTER

PRE-FINISHED METAL WALL PANELS OVER WEATHER BARRIER ON 7/16" OSB ON 2X4 WOOD STUDS AT 24" ON CENTER.

MASONRY VENEER APPLIED TO THE CAST IN PLACE FOUNDATION OR BRICK PANEL IMBEDDED IN THE FORMS BEFORE PACING THE CONCRETE..

FOUNDATION AND FOOTINGS 42" BELOW THE FINAL FINISH GRADE

**A SOUTH ELEVATION**  
SCALE : 3/16" = 1'-0"



COMBINATION ASPHALT SHINGLES OVER BUILDING FELT ON 7/16" OSB SHEETING ON ENGINEERED WOOD TRUSSES AT 24" ON CENTER

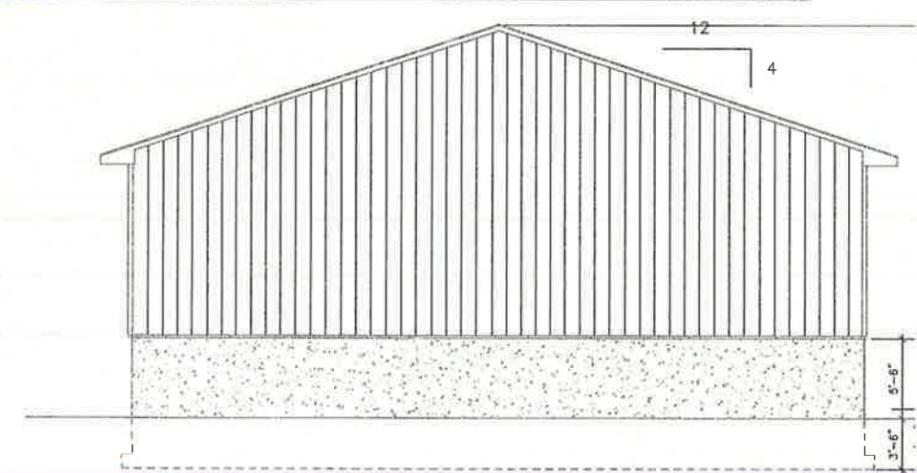
PRE-FINISHED METAL WALL PANELS OVER WEATHER BARRIER ON 7/16" OSB ON 2X4 WOOD STUDS AT 24" ON CENTER.

MASONRY VENEER APPLIED TO THE CAST IN PLACE FOUNDATION OR BRICK PANEL IMBEDDED IN THE FORMS BEFORE PACING THE CONCRETE..

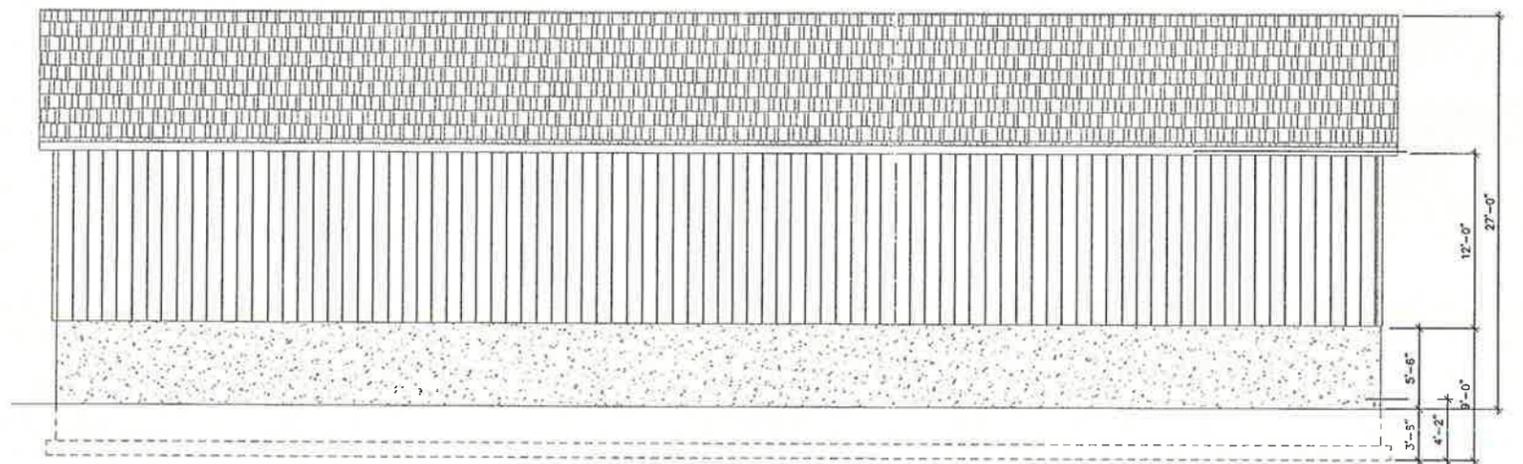
BRICK PATTERNED CONCRETE FORMS.

FOOTINGS 42" BELOW THE FINAL FINISH GRADE

**A WEST ELEVATION**  
SCALE : 3/16" = 1'-0"



**A EAST ELEVATION**  
SCALE : 3/16" = 1'-0"



COMBINATION ASPHALT SHINGLES OVER BUILDING FELT ON 7/16" OSB SHEETING ON ENGINEERED WOOD TRUSSES AT 24" ON CENTER

PRE-FINISHED METAL WALL PANELS OVER WEATHER BARRIER ON 7/16" OSB ON 2X4 WOOD STUDS AT 24" ON CENTER.

MASONRY VENEER APPLIED TO THE CAST IN PLACE FOUNDATION OR BRICK PANEL IMBEDDED IN THE FORMS BEFORE PACING THE CONCRETE..

BRICK PATTERNED FORMS USED FOR THE WALL.

FOOTINGS 42" BELOW THE FINAL FINISH GRADE

**A NORTH ELEVATION**  
SCALE : 3/16" = 1'-0"

**ADVANTAGE BUILDING ONE**  
6250 NW BEAVER DRIVE  
JOHNSTON, IOWA

JOB NAME

**ELEVATIONS**

SHEET TITLE

DATE Aug. 15, 2016

REV. DATE

JOB NUMBER kh/ah-LLC/816

DRAWN BY DLC

CHECKED BY KWW

ISSUED FOR OWNER REVIEW

SHEET NUMBER

**A.203**

DATE REC'D: 8-17-16

CASE NO.: PZ 16-23

David Churchill  
20701 Kirkwood St.  
Milo, Iowa 50166  
515-205-0909



ADVANTAGE BUILDING TWO  
6250 NW BEAVER DRIVE  
JOHNSTON, IOWA

JOB NAME

ET

SHEET TITLE

DATE Aug. 15, 2016

REV. DATE

JOB NUMBER  
kh/ah-LLC/816

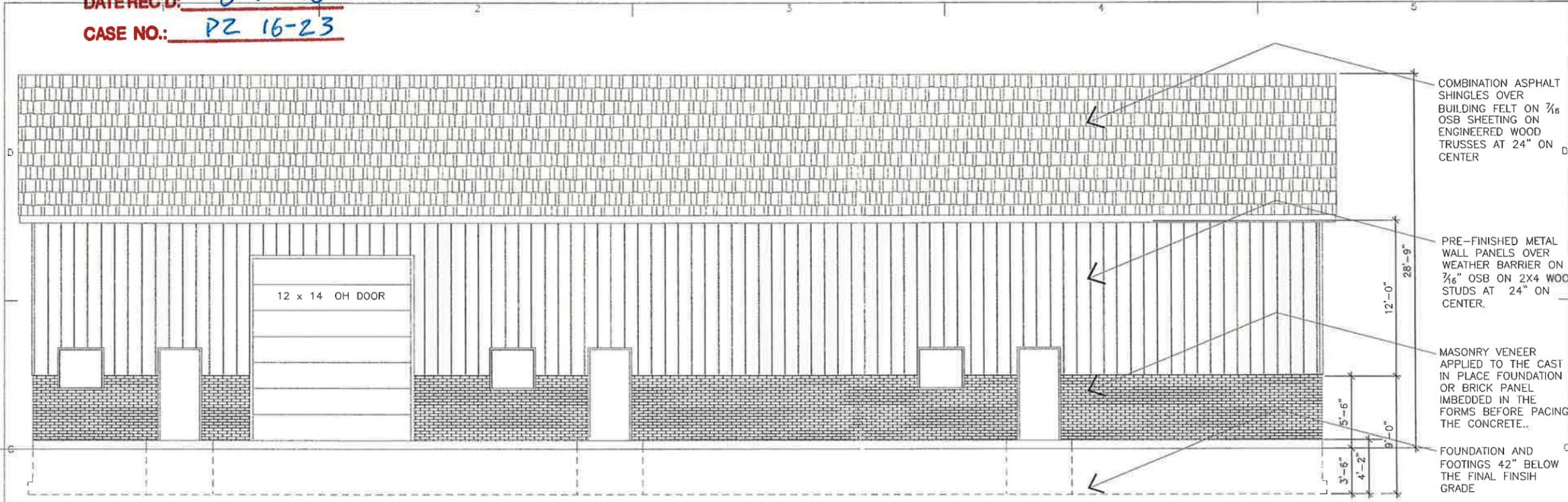
DRAWN BY  
DLC

CHECKED BY  
KWW

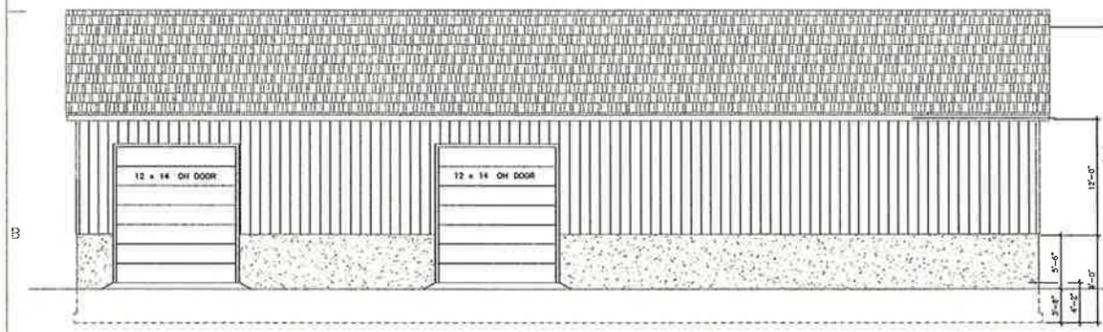
ISSUED FOR  
OWNER REVIEW

SHEET NUMBER

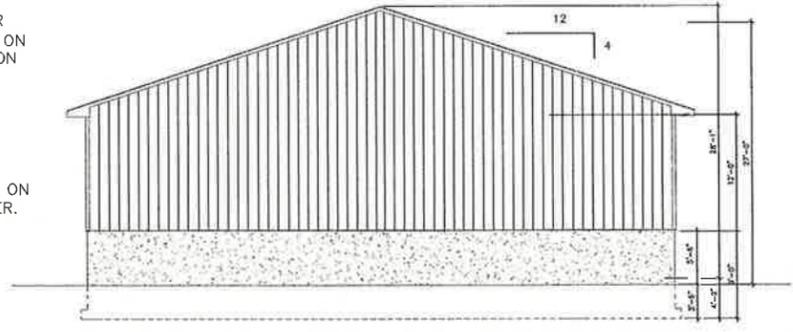
A.102



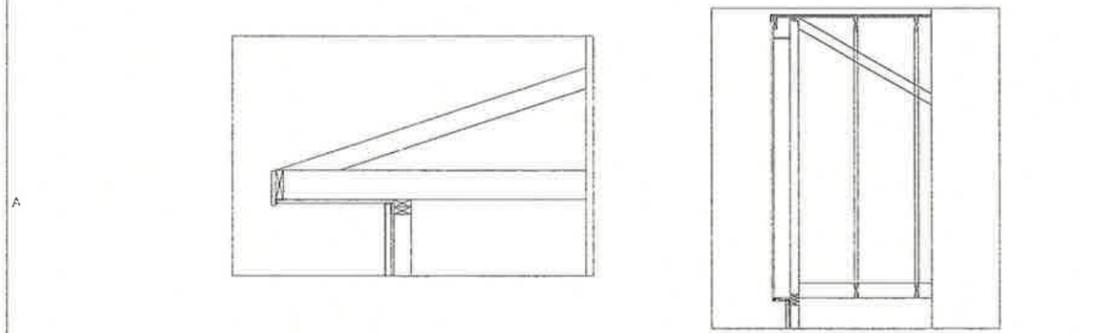
**A SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**A NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

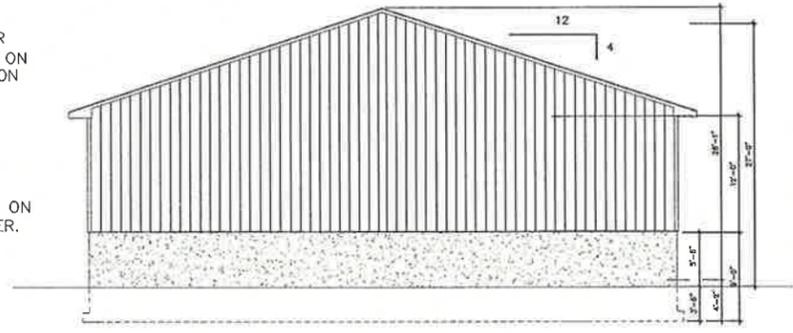


**A EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**C ROOF DETAIL**  
SCALE: 3/16" = 1'-0"

**C ROOF DETAIL**  
SCALE: 3/16" = 1'-0"



**A WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



# MEMORANDUM

## *City of Johnston, Iowa*

---

SENT VIA EMAIL

DATE: August 9, 2016

TO: Kirk Hesse, Advantage Homes  
Vic Piagentini, Associated Engineering Company of Iowa, Inc.

FROM: Clayton Ender, Planner

RE: **Advantage Homes Warehouse Site Plan 4845 NW 59<sup>th</sup> Ave**

We have reviewed the proposed site plan for Advantage Homes Warehouse at 4845 NW 59<sup>th</sup> Ave, and would note the following:

### General

1. List the following bulk requirements with the zoning information:
  - Front Yard Setback: 50 feet
  - Side Yard Setback (Minimum Width on Any One Side): 10 Feet
  - Sum of Side Yard Setbacks: 20 Feet
  - Side Yard Setback when Abutting an R District: 30 Feet
  - Rear Yard Setback: 50 Feet
  - Minimum Lot Area: 20,000 Square Feet
  - Minimum Lot Width: 100 Feet
2. Label the 50' front yard setback on both frontages and 10' side yard setback on east property boundary.
3. Change sheet one general Note B to 2014 SUDAS and Johnston Supplemental Specifications.
4. Include the sizes of the sanitary sewer and water mains along NW 59<sup>th</sup> Ave.
5. Will there be water or sewer connections to either building? If so, indicate the utility connection locations and sizes for water and sanitary sewer to each building.
6. The entrance drive off of NW 59<sup>th</sup> Ave must be aligned with the entrance drive for the Sikh Temple across the street.
7. Part of the parking area on the south side of this site appears that it will drain out onto NW 59<sup>th</sup> Ave instead of to the proposed overland flowage easement.

Provide a solution to insure that stormwater will flow to the overland flowage easement instead of onto NW 59<sup>th</sup> Ave.

8. You will need to work with the adjacent property owner to obtain the proposed 10' overland flowage easement and then provide evidence to the City that this easement has been granted.
9. Include the FEMA Flood Insurance Rate Map this site is located on and the area this site is in within that map.
10. Knox boxes will be required to be placed at the front door of each building. At the time of installation at least one knox box shall contain keys to access the gated area in emergency events.
11. All buildings must be within 150 foot radius fire coverage of any fire hydrant. Indicate the 150' fire hydrant coverage on the site plans.
12. Provide detail to insure the new sidewalk and trail replacement is ADA compliant, including warning panels at driveway crossings.
13. The grading notes mention a geotechnical report. If this report has been prepared, please provide two copies with the resubmittal for review.

#### **Parking**

14. Discuss what the intended use inside both buildings is so that required parking can be verified.
15. Is it intended to have a walking aisle along the building? If so, the parking stalls must be at minimum 9 feet by 18 feet without the front end overhanging into walk aisle along the building.
16. Include parking stall dimensions for the stalls on the west side of the building.
17. Required parking includes 1 parking space for each person regularly employed on the premises in addition to the 1 space per 2,000 square feet of floor area. How many employees are expected regularly on the premises? Update the parking information on sheet one to account for this requirement.

#### **Open Space and Buffers**

18. A 60 foot landscaped buffer is required on the west property boundary. This buffer requirement is split between your property and the adjacent property opposite the public-right-of-way. Update the landscaping plan to identify this buffer area and to include the following landscape materials:
  - a. 2 evergreen trees
  - b. 1 overstory deciduous tree
  - c. 3 understory trees
  - d. 12 shrubs
19. Buffer areas may be removed from the required open space area to determine open space landscaping requirements. For this site this would result in the following calculation to determine open space landscaping requirements:

10,770 SF Required Open Space – (30 Foot Buffer X ~321.79 Feet) – (30 Foot Buffer X 78.61 Feet) = -1,242 SF

Even though the result turns out negative the site must still maintain a minimum number of open space landscaping as follows: a minimum of 2 trees of 2 ½ caliper diameter or greater at time of planting and a minimum of 6 shrubs. Update the landscaping plan to reflect the above minimum requirements for open space landscaping.

20. Provide separate landscaping plant schedules for each individual buffer area and open space landscaping.

### **Architecture, Screening, and Lighting**

21. Where will dumpsters be located? They must be screened from public view. Indicate the location and screening on the site plans.
22. The fence must be designed to screen the outdoor storage area from adjacent properties and the public right-of-way. Provide a typical fence section detail to demonstrate the ability of the fence to accomplish the necessary screening.
23. Provide two copies of architectural elevations for review. Architectural design shall employ materials common in the district and vicinity of buildings. The exclusive use of sheet metal as an exterior building material is not acceptable for buildings in close proximity to public streets. For buildings within 300 feet of the public street, the exterior materials for wall area facing the public street shall be comprised of no less than 25% brick, architectural concrete panels, textured concrete block, architectural steel, or stone panels.
24. HVAC units must have adequate screening from any public street and adjoining properties. Include HVAC units on any architectural elevations and show the screening to be used.
25. Exterior lighting is not required, but if there will be any exterior lighting the applicant shall include 2 photometric plans for exterior lighting as an overlay on the proposed site: (1) entire site and (2) paved areas only. Include a written statement of percentages from initial to maintained foot-candle levels. Also include manufacturer's cut sheets for all proposed site lighting materials. The lighting requirements may be found at <http://www.cityofjohnston.com/index.aspx?NID=288>.

### **Looking Forward**

26. Signs are by a separate permit, but staff would note that you are allowed one freestanding sign for each street frontage and you are allowed building signs with a total area equal to 5% of the wall area facing NW 59<sup>th</sup> Ave and NW 49<sup>th</sup> Street.
27. All Stormwater Management Facilities will require a recorded maintenance agreement detailing the necessary ongoing maintenance of the facility. A template for this agreement may be found at <http://www.cityofjohnston.com/DocumentCenter/View/726>.

28. An executed NPDES Permit, full SWPPP and City Grading Permit will need to be provided for review a minimum of 10 days prior your anticipated start date for any ground disturbing activities. A city grading permit is available at <http://www.cityofjohnston.com/documentcenter/view/1412>. Review and approval must occur prior to work beginning.
29. A building permit and construction drawings will need to be provided for review a minimum of 14 days prior to your anticipated start date for building construction activities. A building permit may be acquired at the front desk of the Community Development Department office. Review and approval must occur prior to work beginning.
30. Please see additional comments on the site plan as provided by Foth Infrastructure and Environment, LLC and Johnston Public Works.
31. Please include a cover sheet to accompany revisions which lists corrections made to the site plan.

This project is scheduled for a development review meeting on Wednesday, August 10<sup>th</sup>, 2016 at 1:30p.m. Four full size copies of revised plans, four 11 x 17 inch reductions and a PDF version of all site plans and building elevations and two copies of any revised stormwater management reports must be submitted by Wednesday, June 17<sup>th</sup>, 2016 in order to proceed to the Planning and Zoning Commission on Monday, August 29<sup>th</sup>, 2016 and to the City Council on Tuesday, September 6<sup>th</sup>, 2016.

If you have any questions, please contact me at 727-7763 or by email at [center@cityofjohnston.com](mailto:center@cityofjohnston.com).

cc: File  
Josh DeBower, Foth  
Tyler Anderson, Foth  
Matt Greiner, Construction Inspector  
Craig Ver Huel, Fire Department  
David Wilwerding, Community Development Director  
Aaron Wolfe, Senior Planner



August 24, 2016

Clayton Ender, Planner  
City of Johnston, P.O. Box 410  
6221 Merle Hay Road  
Johnston, IA 50131

RE: Advantage Homes Warehouse Site Plan (4845 NW 59<sup>th</sup> Ave)  
Development Review 2  
Case No. PZ 16-23

Foth Infrastructure and Environment, LLC has completed a review of the site plan and preliminary drainage submittal received August 16th, 2016 for the above referenced project. Based on our review, the following comments are offered:

**Site Plan**  
**Cover Sheet**

1. No further comments

**Grading & Dimension Plan**

2. Display 100-year elevation and overflow.
3. Provide hydrant coverage radii.
4. According to the contours, the onsite basin will store approximately 2-ft of water; per Iowa Stormwater Management Manual, bio-retention cells are recommended to not store more than 9 inches of water.

**Landscaping Plan**

5. Applicant shall provide Storm Water Management Report to quantify design year storms and capacity of pond; report shall show downstream channels can convey the 100-year flow from WQ basin to detention pond as well as how long it will take for the BMP to drain.
6. Recommend soil borings or perform percolation tests at the locations of seepage well/detention basins to document the expected infiltration rate and ensure basin can drain within 48-72 hrs after the 1.25 inch rain.

Please contact me at 515.254.1393 if you have questions or comments.

Sincerely,

**Foth Infrastructure & Environment, LLC**

  
Joshua C. DeBower, P.E.  
Lead Civil Engineer

TMA : file

## **Stormwater Management Facilities Maintenance Agreement**

This Stormwater Management Facilities Maintenance Agreement is entered into by Advantage (the "Grantor"), and the City of Johnston, Iowa ("City"), in consideration of the approval of the Site Plan/Plat by the City of Johnston, Iowa for development of the Property identified below. Grantor is obligated by the Municipal Code of the City of Johnston to control stormwater runoff for the proposed development as a part of the Site Plan/Platting approval process. In consideration for the City's approval of the Grantor's Site Plan, Grantor has entered into this Stormwater Management Facilities Maintenance Agreement (this "Agreement") to control and address stormwater runoff for the following described property:

Lot 112, Beaver Business Park, 4845 NW 59<sup>th</sup> Avenue, Johnston, IA 50131, as depicted on the site plan , (hereinafter referred to as the "Benefited Property")

The following provisions are covenants running with the land to the benefit of the City, binding on Grantor and Grantor's successors and assigns in interest to the Benefited Property, and shall only be amended or released with the written permission of the City.

### **Part I – Covenants on the Benefited Property**

1. Description of Affected Area. Grantor hereby agrees that the stormwater runoff for the Benefited Property shall be controlled through installation, construction and maintenance of stormwater detention basins and stormwater intakes (hereinafter collectively referred to as the "Stormwater Management Facilities") upon, over, under, through and across the Property substantially as shown on the approved Site Plan Sheets 3 Sheet Page Number(s) 1, 2, 3 , all dated 8/09/2016 , prepared by Engineer/Architect Associated Engineering of Iowa Co, Inc and approved by the Johnston City Council via Resolution \_\_\_\_\_ on \_\_\_\_\_.

2. Benefited Property. It is hereby agreed and covenanted that the Benefited Property receives benefit from the Stormwater Management Facilities by controlling runoff from the Benefited Property to meet the requirements of the City's Policy on Stormwater Runoff Control.

3. Storm water Management Plan. The Stormwater Management Facilities required to serve the Benefited Property shall be designed, constructed and maintained to meet the stormwater runoff control requirements of the City, as of the date of the Agreement. Grantor covenants and agrees that the Stormwater Management Facilities shall be designed, constructed and maintained in compliance with the above listed approved plans and specifications for the Benefited Property now on file and available for the public inspection in the office of the City of Johnston Community Development Department (hereinafter collectively referred to as the "Stormwater Management Plan") and also on file with the Grantor. Subject to the prior written approval by the City, the Stormwater Management Plan may be amended by Grantor, or its respective successors or assigns.

4. Transfer of Grantor's Obligations. It is hereby agreed that Grantor shall construct and install the Stormwater Management Facilities in compliance with the Stormwater Management Plan. Grantor's obligations under this Agreement may not and shall not be transferred to Grantor's successors and assigns in ownership of the benefited Property until the City provides written acknowledgement to Grantor that the Storm Water Management Facilities have been completed by Grantor in substantial compliance with the Storm Water Management Plan. The Grantor, and its successors and assigns, shall be responsible to

operate, maintain, repair, and replace the Stormwater Management Facilities and keep the same in good condition and repair, in compliance with the approved Stormwater Management Plan, as the same may be amended from time to time.

5. Annual Inspections. The Grantor shall inspect the Stormwater Management Facilities on an annual basis. The inspection shall include inspecting the Stormwater Management Facilities, including but not limited to all pipes, inlets, outlets and basins, for defects, obstructions, and changes from the Stormwater Management Plan. The Grantor shall document such inspection by preparing an annual inspection report and attaching thereto date stamped photographs of the Stormwater Management Facilities. Any deficiencies or defects noted by the inspection shall be corrected as provided in Section 7, below. The inspection report shall be made available to the City for review upon request and shall be kept and maintained for a period of two (2) years.

6. Failure to Maintain.

A. Grantor acknowledges and agrees, on behalf of Grantor and Grantor's successors and assigns in ownership of the Benefited Property, that if the Stormwater Management Facilities are not maintained in substantial compliance with the Stormwater Management Plan, the Stormwater Management Facilities will not serve their intended purpose of controlling the quantity and quality of stormwater runoff from the Benefited Property, and may constitute a nuisance detrimental to the public health and safety.

B. The Grantor shall promptly abate any nuisance arising from any failure by the Grantor to maintain, repair, reconstruct, dredge, grade, and replant the Stormwater Management Facilities as necessary to restore such facilities into substantial compliance with the Stormwater Management Plan as provided in Section 7, below. If Grantor fails to do so, the nuisance shall subject to Johnston Code of Ordinances, Chapter 50, Nuisance Abatement Procedure and considered a Municipal Infraction pursuant to Chapter 3 of the Johnston Code of Ordinances.

C. Grantor hereby agrees and consents on behalf of itself and all its successors and assigns to assessment of the costs of maintaining, reconstructing, repairing, grading, dredging and replanting the Stormwater Management Facilities in the manner set forth in this Agreement.

**Part II – Easement for Storm water Facilities**

7. Grant of Easement. Grantor hereby grants the City a Permanent Stormwater Management Easement under, over, through and across the Benefitted Property for the purpose of constructing, reconstructing, repairing, grading and maintaining the Stormwater Management Facilities in substantial compliance with the Stormwater Management Plan in the event that the Grantor default under their obligation to operate, maintain, repair, and reconstruct the Stormwater Management Facilities so that they remain in good condition and repair and function in substantial compliance with the Stormwater Management Plan, after notice and an opportunity to cure as provided in Subsection 6(B) above, including all rights of ingress and egress reasonably necessary therefore, the right to remove any unauthorized plantings or structures placed or erected on or within the Stormwater Management Facilities, and the right to do maintenance, repair, reconstruction, grading and dredging as reasonably determined by the City to be necessary to restore the Stormwater Management Facilities to substantial compliance with the Stormwater Management Plan.

8. Duties of the Grantor. Grantor shall perform all maintenance and repair necessary so that the Stormwater Management Facilities remain in good condition and repair and function in substantial compliance with the Stormwater Management Plan, including, but not limited to the following:

A. Stormwater Detention and/or Retention Basin Areas:

1. Grade, repair and replace the basin and appurtenant facilities as necessary to maintain the basin and appurtenant facilities in compliance with the Stormwater Management Plan.
2. If any time the capacity of the basin shall be reduced below the minimum required volume established in the Stormwater Management Plan for such basin, the Grantor shall cause the basin to be re-graded or excavated to restore the volume of the basin to its original design capacity as shown on the approved plans.

B. Grass and/or Bio-retention Swale Areas:

1. Grade, repair and replace the swale and appurtenant facilities as necessary to maintain the swale in compliance with the Stormwater Management Plan.
2. Mow on a semi-annual basis to maintain the vegetation (other than any turf grass) at the height designated in the Stormwater Management Plan.
3. Tile the soil at the bottom of the swale if the grass swale does not drain out within the time established in the Stormwater Management Plan and replant vegetation as designated on the Stormwater Management Plan.

C. General Requirements:

1. Removal of all trash, litter, debris or obstruction to the flow of water in the Stormwater Management Facilities and any obstruction to inlets or outlets located within the Property.
2. Routine mowing of any portions of the Benefited Property, if any, designated on the Stormwater Management Plan to be maintained with turf grass.
3. Planting and maintenance of the vegetation within the Benefited Property in conformance with the Stormwater Management Plan. If any vegetation dies, it shall be replaced with vegetation in conformance with the Plan as soon as the weather permits.
4. Removal of weeds throughout the growing season to maintain the effectiveness of the Stormwater Management Facilities.
5. Annually inspect all Stormwater Management Facilities as provided in Section 5, above.
6. No chemicals or substances shall be applied to the Benefited Property that shall harm or impair the effectiveness of the Stormwater Management Facilities.
7. No trees and shrubs shall be planted or allowed to grow on the Benefited Property that shall harm or impair the effectiveness of the Stormwater Management Plan.
8. No portion of the Stormwater Management Facilities shall be altered or removed without the prior written approval of the City of Johnston, including, but not limited to, any change to the grade, elevation or contour of any part of such Stormwater Management Facilities.
9. No structure, material, device, thing or matter which could reasonably be expected to obstruct or impede the normal flow of surface water over or into the Stormwater

Management Facilities shall be erected or caused to be placed on the Benefited Property without obtaining the prior written approval of the City of Johnston.

10. The Stormwater Management Facilities shall not be used as a compost site, or for the disposal of yard wastes or other materials.

9. City's Enforcement Obligations are Discretionary. Nothing in this Agreement shall be construed to impose an obligation upon the City to maintain the Stormwater Management Facilities.

10. Successor's and Assigns. This Agreement shall be deemed to run with the land and shall be binding on Grantor and on Grantor's successors and assigns.

Grantor does hereby covenant with the City that Grantor holds the Benefited Property described in this Agreement by Title in Fee Simple and that Grantor has good and lawful authority to enter into this Agreement.

Words and phrases herein including acknowledgment hereof shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, in triplicate.

Dated this 31 day of Aug, 2016

GRANTOR:

ADVANTAGE Home LLC (Print Grantor Name)

By: [Signature] (Signature)

Name: Kirk Hesse (Print Name)

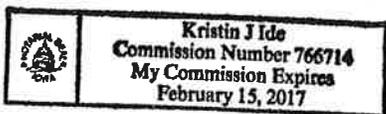
Title: mgr (Title)

STATE OF IOWA )

) ss

COUNTY OF POLK )

On this 31<sup>st</sup> day of August, 2016, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Kirk Hesse (Print Name), to me personally known, who being by me duly sworn, did say that he is the manager (Title) of the \_\_\_\_\_ (Print Grantor Name) executing the foregoing instrument; that no seal has been procured by the corporation; that the instrument was signed on behalf of the corporation by authority of its Board of Directors; and Kirk Hesse (Print Name) acknowledged the execution of the instrument to be the voluntary act and deed of the corporation, by it voluntarily executed.



[Signature]  
NOTARY PUBLIC IN AND FOR THE STATE OF IOWA

ACCEPTED AND APPROVED by the City of Johnston, Iowa, on \_\_\_\_\_, 201\_\_.

**CITY OF JONSTON, IOWA**

ATTEST:

By: \_\_\_\_\_  
Cyndee Rhames, City Clerk

By : \_\_\_\_\_  
Paula Dierenfeld, Mayor

STATE OF IOWA     )  
                                  ) ss  
COUNTY OF POLK    )

On this \_\_\_ day of \_\_\_\_\_, 201 \_\_, before me, the undersigned, a Notary Public in the State of Iowa, personally appeared Paula Dierenfeld and Cyndee Rhames, to me personally known, and who, being by me duly sworn did state that they are the Mayor and City Clerk, respectively, of City of Johnston, Iowa, a municipal corporation; that the seal affixed to the foregoing instrument is the corporate seal of the corporation; that the instrument was signed on behalf of City of Johnston, Iowa, by authority of its City Council, as contained in Resolution No. \_\_\_\_\_ adopted by City Council on the \_\_\_ day of \_\_\_\_\_, 201 \_\_, and that Paula Dierenfeld and Cyndee Rhames acknowledged the execution of the instrument to the voluntary act and deed of City of Johnston, Iowa, by it and by them voluntarily executed.

\_\_\_\_\_  
Notary Public in the State of Iowa  
My commission expires: \_\_\_\_\_

**PZ Case # 16-23 Advantage Homes Warehouse Site Plans Mailing List**

<b>Owner</b>	<b>Address</b>	<b>City, State, Zip Code</b>
MESA SULJIC	6004 NW 49TH	JOHNSTON, IA 50131-1163
JIM BRYSON	6005 PINWOOD	JOHNSTON, IA 50131-1053
ANGELA REU	6033 PINWOOD	JOHNSTON, IA 50131-1053
DANIEL ROUTSON	6037 PINWOOD	JOHNSTON, IA 50131-1053
NORTHWEST BEAVER DEVELOPMENT LLC	6250 NW BEAVER	JOHNSTON, IA 50131-1379
LISA COOPER	5944 NW 50TH	JOHNSTON, IA 50131-1344
AARON MILIK	4933 NW 59TH	JOHNSTON, IA 50131-4763
JOSHUA ERICKSON	6000 NW 49TH	JOHNSTON, IA 50131-1163
CHARLES BROWNE	5939 NW 50TH	JOHNSTON, IA 50131-4760
BETTY HULL	5941 NW 50TH	JOHNSTON, IA 50131-4760
DAVID DEMAREST	5945 NW 50TH	JOHNSTON, IA 50131-4760
CYLE BONJOUR	5952 NW 50TH	JOHNSTON, IA 50131-1344
KELLY JOHNSON	4925 NW 59TH	JOHNSTON, IA 50131-4763
JEFFREY BALL	5949 NW 50TH	JOHNSTON, IA 50131-4760
SCOTT MATTIS	4941 NW 59TH	JOHNSTON, IA 50131-4763
SIKH INC	4820 NW 59TH	JOHNSTON, IA 50131
ENCLAVE AT BEAVER PINES LLC	5967 MERLE HAY	JOHNSTON, IA 50131-1220
ALAN SMITH	6029 PINWOOD	JOHNSTON, IA 50131-1053
LARRY ROGERS	6013 PINWOOD	JOHNSTON, IA 50131-1053
ZACHARY KAPFER	6008 NW 49TH	JOHNSTON, IA 50131-1163
G RAY BUSHYAGER	6001 PINWOOD	JOHNSTON, IA 50131-1053
PINEWOOD GLEN OWNERS' ASSOCIATION	PO BOX 71637	CLIVE, IA 50325-0637
ELAINE KEMP	6009 PINWOOD	JOHNSTON, IA 50131-1053
ROY KNICLEY	6025 PINWOOD	JOHNSTON, IA 50131-1053

## Notice of Public Meeting

August 19, 2016

The Johnston Planning and Zoning Commission will hold a Public Meeting at 7:00 p.m. on Monday, August 29, 2016 and the Johnston City Council will hold a Public Meeting at 7:00 pm on Tuesday, September 6, 2016. Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road to consider the following item:

### **PZ Case No. 16-23; Advantage Homes Warehouse Site Plan**

Advantage Homes has submitted a site plan depicting the construction of two warehouse buildings and an outdoor storage area. The site is located on the northeast corner of NW 59th Avenue and NW 49th Street. The site is zoned M-1, Light Industrial, in which the proposed use is permitted. Additional information, including the site plan, is available at the link below.

If you have questions or comments on the above-described action, please contact the city staff person listed at the bottom of this card, or attend the meeting at the above-listed date and time. Additional information, including the site plan is also available under the "proposed development" section of the City's Website: <http://www.cityofjohnston.com/proposeddevelopment>.

**Clayton Ender, Planner**  
Johnston City Hall; 6221 Merle Hay Road; Johnston, IA 50131  
Phone: 727-7763; Email: [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com)

**From:** [KAREN BRYSON](#)  
**To:** [Clayton Ender](#)  
**Subject:** PZ case no 16-23; Advantage Homes Warehouse Site Plan  
**Date:** Sunday, August 21, 2016 2:47:29 PM

---

Mr. Ender,

My residence is at 6005 Pinewood Ct, directly behind and north of the proposed warehouses. Could you please supply me with the following information:

1. Will the existing trees on the south side of our property be preserved and remain?
2. Will there be any kind of fence constructed between our property and the warehouses and if so, how high would the fence be and would the construction of it afford a sound barrier between the properties? Also, would the fence afford privacy between the homes north of the proposed warehouses and the warehouses themselves and any other items that might be outside the warehouses but on the site?
3. What would be stored at the warehouses or in what other manner would they possibly be used?
4. Would any corrosive or otherwise dangerous materials be stored at the facilities?
5. Will the warehouses include the use of large/heavy equipment and if so, would such equipment produce obtrusive noises effecting the domiciles located north of the property site?
6. Would semi trucks be making pick ups or deliveries to site?
7. Will there be any electrical/lighted signs on the site?
8. Will the site be in use at night as well as day?

If these matters are addressed online somewhere please refer me to the site, if not, I appreciate your hoped for response.

Sincerely,  
Mr. & Mrs. Jim Bryson  
6005 Pinewood Ct  
Johnston, IA 50131  
[keileenbryson@gmail.com](mailto:keileenbryson@gmail.com)



OFFICE OF THE CITY ADMINISTRATOR  
Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016

<p><b>SUBJECT:</b> First Consideration of Ordinance 949 amending Johnston Revised Ordinances of 2007, Chapter 65.05 adding a School Stop on Windsor Parkway and Chapter 69.09 regulating parking on NW 63<sup>rd</sup> Place.</p>	<p><b>ACTION REQUIRED:</b>  <input checked="" type="checkbox"/> Ordinance  <input type="checkbox"/> Resolution  <input type="checkbox"/> Approval  <input type="checkbox"/> Receive/File  <input type="checkbox"/> Attorney Review</p>
<p><b>SYNOPSIS:</b></p> <p><b>FISCAL IMPACT:</b></p> <p><b>RECOMMENDATION:</b></p>	<p>Two traffic issues have arisen as the start of school has been pending. The School District, to facilitate their walk zones have requested a new roll out stop sign location to be used before/after school for children walking to Summit Middle School/Horizon Elementary. The stop sign would be located on Windsor Parkway at NW 97<sup>th</sup> Street. This ordinance would add this stop location to Chapter 65.05.</p> <p>In addition, NW 63<sup>rd</sup> Place has recently opened between NW 59<sup>th</sup> Court and Merle Hay Road, the street design includes fourteen on street parking stalls on the north side of the road. Normally, parking is prohibited on the north side of the road, and allowed on the south side. In this instance, parking should only be allowed in the designated spaces. Thus, this ordinance would amend Chapter 69.09 to allow parking in the designated spaces on the north and prohibit parking on the south side of NW 63<sup>rd</sup> Place.</p> <p>Cost of signage.</p> <p>Approve first consideration of Ordinance 949. Due to the timing of school starting, these signs have already been put in place, thus staff would request Council consider waiving second and third reading and adopting and publishing Ordinance 949.</p>

**ORDINANCE NO. 949**

**AN ORDINANCE AMENDING THE JOHNSTON REVISED ORDINANCES OF 2007 BY AMENDING CHAPTER 69 TO PROHIBIT PARKING ON NW 63<sup>RD</sup> PLACE AND AMENDING CHAPTER 65 TO MODIFY THE LOCATIONS OF SCHOOL STOPS**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA, that:**

**Section 1. PURPOSE.** The purpose of this ordinance is to amend the Johnston Revised Ordinances of 2007, Chapter 65 modifying the locations of school stops and Chapter 69 prohibiting parking on NW 63<sup>rd</sup> Place.

**Section 2. AMENDMENT.** Chapter 69.09, is hereby amended by adding the following numbered paragraphs:

“4. Parking is permitted on the north side of NW 63<sup>rd</sup> Place only within the fourteen designated on street parking stalls located between NW 59<sup>th</sup> Court and Merle Hay Road. Parking shall not be permitted along the north side of NW 63<sup>rd</sup> Place east of the designated spots to Merle Hay Road, or west of the designated spots to NW 59<sup>th</sup> Court.

5. Parking shall be prohibited on the south side of NW 63<sup>rd</sup> Place between NW 59<sup>th</sup> Court and Merle Hay Road.”

**Section 3. AMENDMENT.** Chapter 65.05 School Stops is hereby amended, by adding the following numbered paragraphs:

“4. On Windsor Parkway at the school crosswalk at NW 97<sup>th</sup> Street.”

**Section 4. REPEALER.** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

**Section 5. SEVERABILITY CLAUSE.** If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

**Section 6. WHEN EFFECTIVE.** This ordinance shall be in full effect from and after its final passage, approval, and publication as provided by law.





**OFFICE OF THE CITY ADMINISTRATOR**

Johnston, Iowa  
AGENDA COMMUNICATION  
September 6, 2016 Meeting

SUBJECT: Payment of Claims	ACTION REQUIRED: <input type="checkbox"/> Ordinance <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Approval <input type="checkbox"/> Receive/File <input type="checkbox"/> Attorney Review
----------------------------	--

J.D.

SYNOPSIS:	Attached for your review is the list of claims for payment in the amount of \$1,723,637.12
FISCAL IMPACT:	Money is available to pay claims in the amount of \$1,723,637.12
RECOMMENDATION:	By motion approve payment of claims in the amount of \$1,723,637.12

Motion by \_\_\_\_\_, second by \_\_\_\_\_, to approve claims as presented.

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-2363	A	TECH, INC.				
I-323241		CITY HALL ALARM MONITORING	74.85			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CITY HALL ALARM MONITORING		010 5.650.64205	MISCELLANEOUS SERVICE	74.85
		=== VENDOR TOTALS ===	74.85			
<hr/>						
01-2733	ACME	TOOLS				
I-4349636		IMPACT TOOL AND NUTDRIVER SET	117.99			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		IMPACT TOOL AND NUTDRIVER SET		010 5.430.65170	OPERATING SUPPLIES	117.99
		=== VENDOR TOTALS ===	117.99			
<hr/>						
01-1063	ADVENTURE	LIGHTING				
I-060436		LIGHT BULBS FOR BARN	19.96			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		LIGHT BULBS FOR BARN		010 5.433.65120	BLDG & GROUNDS SUPPLIES	19.96
I-060436A		LIGHT BULBS FOR BARN	25.76			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		LIGHT BULBS FOR BARN		010 5.433.65120	BLDG & GROUNDS SUPPLIES	25.76
		=== VENDOR TOTALS ===	45.72			
<hr/>						
01-1076	AHLERS & COONEY	PC				
I-201608312644		COMPLIANCE TRAINING FOR BONDS	50.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		COMPLIANCE TRAINING FOR BONDS		010 5.621.62300	TRAINING	50.00
I-714918		LEGALS-SAN. SEWER FINANCING	247.50			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		LEGALS-SAN. SEWER FINANCING		010 5.540.64210	LEGAL EXPENSE	247.50
		=== VENDOR TOTALS ===	297.50			
<hr/>						
01-3503	ALLIANCE	CONSTRUCTION GROUP				
I-PAY REQUEST 12		NW 70TH AVE IMP. 86TH ST - WC	499,107.98			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		NW 70TH AVE IMP. 86TH ST - WCL		346 5.760.67170	STREETSCAPE	5,665.42
		PROJ: 346-67170 70th IMP (86TH TO 107TH)			STREETSCAPE	
		NW 70TH AVE IMP. 86TH ST - WCL		346 5.760.67610	STREETS	447,443.56
		PROJ: 346-67610 70th IMP (86TH TO 107TH)			STREETS	
		NW 70TH AVE IMP. 86TH ST - WCL		346 5.760.67615	TRAFFIC CONTROL	44,175.00
		PROJ: 346-67615 70th IMP (86TH TO 107TH)			TRAFFIC CONTROL	
		NW 70TH AVE IMP. 86TH ST - WCL		346 5.760.67650	STORM DRAINAGE	1,824.00
		PROJ: 346-67650 70th IMP (86TH TO 107TH)			STORM DRAINAGE	

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-3503		ALLIANCE CONSTRUCTION GROUP ( ** CONTINUED ** )				
=== VENDOR TOTALS ===			499,107.98			
01-1097		AMERICAN PUBLIC WORKS ASSOCIAT				
I-201608312645		APWA MEMBERSHIP DUES	1,085.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		APWA MEMBERSHIP DUES		140 5.210.62110	DUES, SUBSCRIPTIONS	1,085.00
=== VENDOR TOTALS ===			1,085.00			
01-1103		ANIMAL RESCUE LEAGUE OF IOWA				
I-97		LIVE ANIMAL INTAKE FEES	125.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		LIVE ANIMAL INTAKE FEES		010 5.190.64232	ANIMAL RESCUE LEAGUE	125.00
=== VENDOR TOTALS ===			125.00			
01-1110		ARAMARK UNIFORM SERVICES				
I-1900295724		UNIFORMS	168.52			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		010 5.430.61840	UNIFORMS & ALLOWANCES	168.52
I-1900304141		UNIFORMS	163.22			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		601 5.810.61840	UNIFORMS & ALLOWANCES	81.61
		UNIFORMS		631 5.815.61840	UNIFORMS & ALLOWANCES	81.61
I-1900304143		UNIFORMS	186.15			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		010 5.430.61840	UNIFORMS & ALLOWANCES	186.15
I-1900312585		UNIFORMS	153.49			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		601 5.810.61840	UNIFORMS & ALLOWANCES	76.75
		UNIFORMS		631 5.815.61840	UNIFORMS & ALLOWANCES	76.74
I-1900312586		UNIFORMS	233.69			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		140 5.210.61840	UNIFORMS & ALLOWANCES	228.07
		UNIFORMS		010 5.535.61840	UNIFORMS AND ALLOWANCES	5.62
I-1900312587		UNIFORMS	186.15			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		010 5.430.61840	UNIFORMS & ALLOWANCES	186.15

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1110	ARAMARK	UNIFORM SERVICES ( ** CONTINUED ** )				
I-1900321169		UNIFORMS	202.10			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		601 5.810.61840	UNIFORMS & ALLOWANCES	101.05
		UNIFORMS		631 5.815.61840	UNIFORMS & ALLOWANCES	101.05
I-1900321170		UNIFORMS	233.69			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		140 5.210.61840	UNIFORMS & ALLOWANCES	228.07
		UNIFORMS		010 5.535.61840	UNIFORMS AND ALLOWANCES	5.62
I-1900321171		UNIFORMS	186.15			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		010 5.430.65180	POSTAGE & SHIPPING	186.15
I-1900321172		MATS FOR CROWN POINT	56.33			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		MATS FOR CROWN POINT		010 5.435.64205	MISCELLANEOUS SERVICE	56.33
I-792318553		UNIFORMS	233.69			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		UNIFORMS		140 5.210.61840	UNIFORMS & ALLOWANCES	228.07
		UNIFORMS		010 5.535.61840	UNIFORMS AND ALLOWANCES	5.62
=== VENDOR TOTALS ===			2,003.18			
01-1112	ARDICK	EQUIPMENT CO INC				
I-7954		AMBER STROBE LIGHTS	181.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		AMBER STROBE LIGHTS		140 5.210.65142	VEHICLE MAINT. SUPPLIES	181.00
I-7976		SIGNS FOR TERRA LAKE PARK	71.25			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SIGNS FOR TERRA LAKE PARK		010 5.430.65120	BLDG & GROUNDS SUPPLIES	71.25
=== VENDOR TOTALS ===			252.25			
01-3238	ARNOLD	MOTOR SUPPLY, LLP				
I-15-323337		VEHICLE MAINTENANCE	105.28			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		VEHICLE MAINTENANCE		010 5.150.63220	MAINTENANCE OF VEHICLES	52.64
		VEHICLE MAINTENANCE		010 5.160.63220	MAINTENANCE OF VEHICLES	52.64
I-15-323440		VEHICLE MAINTENANCE	51.96			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		VEHICLE MAINTENANCE		010 5.150.63220	MAINTENANCE OF VEHICLES	25.98
		VEHICLE MAINTENANCE		010 5.160.63220	MAINTENANCE OF VEHICLES	25.98

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-3238	ARNOLD MOTOR SUPPLY, LLP	( ** CONTINUED ** )				
I-15-323854		OIL FILTER- SPARES	24.06			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		OIL FILTER- SPARES		010 5.110.65142	VEHICLE MAINT. SUPPLIES	24.06
I-15-323910		LICENSE PLATE BULBS	5.96			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		LICENSE PLATE BULBS		010 5.110.65142	VEHICLE MAINT. SUPPLIES	5.96
I-15-324387		AIR & OIL FILTERS	121.66			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		AIR & OIL FILTERS		010 5.430.65142	VEHICLE MAINT. SUPPLIES	38.32
		AIR & OIL FILTERS		010 5.430.65124	EQUIPMENT SUPPLIES	83.34
I-15-324755		FILTERS	251.98			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FILTERS		010 5.150.65142	VEHICLE MAINT. SUPPLIES	78.92
		FILTERS		140 5.210.65142	VEHICLE MAINT. SUPPLIES	81.03
		FILTERS		601 5.810.65142	VEHICLE MAINT. SUPPLIES	29.68
		FILTERS		631 5.815.65142	VEHICLE MAINT. SUPPLIES	29.67
		FILTERS		010 5.540.65144	VEHICLE OPERATION	20.89
		FILTERS		010 5.430.65142	VEHICLE MAINT. SUPPLIES	11.79
I-15-324757		FILTERS	30.32			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FILTERS		140 5.210.65142	VEHICLE MAINT. SUPPLIES	30.32
I-15-325065		FILTERS FOR MOWERS	88.68			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FILTERS FOR MOWERS		010 5.430.65124	EQUIPMENT SUPPLIES	88.68
I-15-326820		TPMS SENSORS #402	87.50			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TPMS SENSORS #402		010 5.110.65142	VEHICLE MAINT. SUPPLIES	87.50
I-15324529		STREET SHOP TOOL	6.39			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		STREET SHOP TOOL		140 5.210.65136	MISCELLANEOUS SUPPLIES	6.39
		=== VENDOR TOTALS ===	773.79			

01-2540 BASCOM TRUCK & AUTOMOTIVE, INC

I-183940		VEHICLE MAINTENANCE	683.62			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		VEHICLE MAINTENANCE		010 5.150.63140	MAINTENANCE OF EQUIPMENT	683.62
		=== VENDOR TOTALS ===	683.62			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-2136		BIG GREEN UMBRELLA MEDIA, INC				
I-JULY NEWSLETTER		JULY 2016 NEWSLETTER	1,251.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		JULY 2016 NEWSLETTER		010 5.615.64240	NEWSLETTER PRINTING	1,251.00
		=== VENDOR TOTALS ===	1,251.00			
<hr/>						
01-2318		BOUND TREE MEDICAL, LLC				
I-82226365		EMS SUPPLIES	144.87			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		EMS SUPPLIES		010 5.160.65172	EMS SUPPLIES	144.87
I-82230353		EMS SUPPLIES	64.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		EMS SUPPLIES		010 5.160.65172	EMS SUPPLIES	64.00
I-82231697		EMS SUPPLIES	88.03			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		EMS SUPPLIES		010 5.160.65172	EMS SUPPLIES	88.03
I-82240358		EMS SUPPLIES	219.98			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		EMS SUPPLIES		010 5.160.65172	EMS SUPPLIES	219.98
I-82241528		EMS SUPPLIES	33.87			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		EMS SUPPLIES		010 5.160.65172	EMS SUPPLIES	33.87
		=== VENDOR TOTALS ===	550.75			
<hr/>						
01-1921		BRADLEY TOOLS & FASTENERS				
I-31265		BOSCH HAMMER DRILL	595.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		BOSCH HAMMER DRILL		140 5.210.65140	MINOR EQUIPMENT	595.00
		=== VENDOR TOTALS ===	595.00			
<hr/>						
01-1874		BROWNELLS INC				
I-12900786.00		FIREARM CLEANING SUPPLIES	155.59			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FIREARM CLEANING SUPPLIES		010 5.110.63140	MAINTENANCE OF EQUIPMENT	155.59
		=== VENDOR TOTALS ===	155.59			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-1170	CAPITAL CITY EQUIPMENT CO					
<hr/>						
I-67254D		HYDRAULIC COUPLER	143.44			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		HYDRAULIC COUPLER		010 5.430.65122	EQUIPMENT PARTS	143.44
<hr/>						
I-67270D		HYDRAULIC COUPLER	31.97			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		HYDRAULIC COUPLER		010 5.430.65122	EQUIPMENT PARTS	31.97
<hr/>						
I-67274D		GRAPPLE BUCKET	39.52			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		GRAPPLE BUCKET		010 5.430.65122	EQUIPMENT PARTS	39.52
<hr/>						
I-67350D		GRAPPLE BUCKET	39.52			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		GRAPPLE BUCKET		010 5.430.65122	EQUIPMENT PARTS	39.52
<hr/>						
=== VENDOR TOTALS ===			254.45			
<hr/>						
01-1880	CARQUEST					
<hr/>						
I-2330-476010		BRISTLE DISC	20.52			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		BRISTLE DISC		010 5.430.65136	MISCELLANEOUS SUPPLIES	20.52
<hr/>						
=== VENDOR TOTALS ===			20.52			
<hr/>						
01-1670	CENTURY LINK					
<hr/>						
I-201608312653		PARKS SHOP ALARM MONITORING	62.49			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		PARKS SHOP ALARM MONITORING		010 5.430.64290	TELECOMMUNICATIONS	62.49
<hr/>						
I-201608312654		CITY HALL ALARM MONITORING	62.49			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CITY HALL ALARM MONITORING		010 5.650.64290	TELECOMMUNICATIONS	20.83
		CITY HALL ALARM MONITORING		010 5.540.64290	TELECOMMUNICATIONS	20.83
		CITY HALL ALARM MONITORING		010 5.535.64290	TELECOMMUNICATIONS	20.83
<hr/>						
I-201608312673		PHONE SERVICES	998.21			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		PHONE SERVICES		010 5.650.64290	TELECOMMUNICATIONS	124.76
		PHONE SERVICES		010 5.410.64290	TELEPHONE	124.77
		PHONE SERVICES		010 5.540.64290	TELECOMMUNICATIONS	124.78
		PHONE SERVICES		010 5.535.64290	TELECOMMUNICATIONS	124.78
		PHONE SERVICES		601 5.810.64290	TELECOMMUNICATIONS	124.78
		PHONE SERVICES		631 5.815.64290	TELECOMMUNICATIONS	124.78
		PHONE SERVICES		010 5.430.64290	TELECOMMUNICATIONS	124.78
		PHONE SERVICES		010 5.210.64290	TELECOMMUNICATIONS	124.78

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1670	CENTURY LINK	( ** CONTINUED ** )				
I-201608312674		WATER DEPT. SHOP ALARM MONITO	110.36			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		WATER DEPT. SHOP ALARM MONITOR		601 5.810.64290	TELECOMMUNICATIONS	55.20
		WATER DEPT. SHOP ALARM MONITOR		631 5.815.64290	TELECOMMUNICATIONS	55.16
		=== VENDOR TOTALS ===	1,233.55			
01-1472	KARL CHEVROLET					
I-316183		TIRE FOR #122	169.65			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TIRE FOR #122		140 5.210.65142	VEHICLE MAINT. SUPPLIES	169.65
		=== VENDOR TOTALS ===	169.65			
01-2750	CINTAS CORPORATION					
I-5005721054		FIRST AID SUPPLIES	105.60			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FIRST AID SUPPLIES		010 5.435.65200	MEDICAL SUPPLIES	105.60
		=== VENDOR TOTALS ===	105.60			
01-3388	CINTAS CORPORATION #762					
I-762469729		CITY HALL RR CLEANING	113.20			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CITY HALL RR CLEANING		010 5.650.63110	MAINT. BUILDINGS & GROUN	113.20
		=== VENDOR TOTALS ===	113.20			
01-2642	CIRDWC					
I-2016/17 DUES		2016/17 CIRDWC DUES	168.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		2016/17 CIRDWC DUES		601 5.810.62110	DUES, SUBSCRIPTIONS	168.00
		=== VENDOR TOTALS ===	168.00			
01-1248	CITY OF DES MOINES					
I-23234		WRA - AUGUST 2016	61,179.30			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		WRA		631 5.815.64220	W.R.A. O/M	28,822.40
		WRA		631 5.815.67700	W.R.A. EQUIPMENT REPLACE	8,315.50
		WRA		631 5.815.68210	W.R.A. CURRENT DEBT	24,041.40
		=== VENDOR TOTALS ===	61,179.30			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
=====						
01-2490		CONSOLIDATED ELECTRICAL DISTRI				
=====						
I-1884-780730		ELECTRICAL/LIGHTING SUPPLIES	336.68			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ELECTRICAL/LIGHTING SUPPLIES		010 5.210.65136	MISCELLANEOUS SUPPLIES	168.68
		ELECTRICAL/LIGHTING SUPPLIES		010 5.410.65136	MISC. OPERATING SUPPLIES	168.00
		=== VENDOR TOTALS ===	336.68			
=====						
01-1205		COPY SYSTEMS INC				
=====						
I-IN242156		COPIER MAINT. & COPIES	327.26			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		COPIER MAINT. & COPIES		010 5.110.63140	MAINTENANCE OF EQUIPMENT	219.42
		COPIER MAINT. & COPIES		010 5.150.63140	MAINTENANCE OF EQUIPMENT	35.87
		COPIER MAINT. & COPIES		010 5.160.63140	MAINTENANCE OF EQUIPMENT	35.87
		COPIER MAINT. & COPIES		010 5.621.63140	MAINTENANCE OF EQUIPMENT	36.10
		=== VENDOR TOTALS ===	327.26			
=====						
01-1217		CROSS DILLON TIRE				
=====						
I-7326854		TIRES FOR HYDRO SEEDER	305.40			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TIRES FOR HYDRO SEEDER		010 5.430.65124	EQUIPMENT SUPPLIES	305.40
		=== VENDOR TOTALS ===	305.40			
=====						
01-1232		DELL MARKETING				
=====						
I-XK1C6N7W1		LAPTOP/MONITORS- ECO. DEV. MG	1,669.60			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		LAPTOP/MONITORS- ECO. DEV. MGR		010 5.615.67180	I.T. HARDWARE/SOFTWARE	1,669.60
		=== VENDOR TOTALS ===	1,669.60			
=====						
01-2050		DEPT. OF PUBLIC DEFENSE				
=====						
I-318820		RANGE RENTAL FEES	75.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		RANGE RENTAL FEES		010 5.110.62300	TRAINING	75.00
		=== VENDOR TOTALS ===	75.00			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-1887		DES MOINES ASPHALT AND PAVING				
I-1348680		ASPHALT FOR POTHOLES	609.07			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ASPHALT FOR POTHOLES		140 5.210.65154	STREET MAINT. SUPPLIES	609.07
		=== VENDOR TOTALS ===	609.07			
<hr/>						
01-2178		DES MOINES IRON & SUPPLY CO.				
I-1904600454		TUBING AND SHEET METAL	275.92			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TUBING AND SHEET METAL		010 5.430.65120	BLDG & GROUNDS SUPPLIES	275.92
I-1904600488		LIGHTWALL TUBE	22.60			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		LIGHTWALL TUBE		010 5.430.65120	BLDG & GROUNDS SUPPLIES	22.60
I-1904600675		PIPE FOR HYDRANT SCRUBBER	95.20			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		PIPE FOR HYDRANT SCRUBBER		601 5.810.65154	DIST SUPPLIES-FIRE HYDRA	95.20
		=== VENDOR TOTALS ===	393.72			
<hr/>						
01-1242		DES MOINES PEST CONTROL				
I-61653		PEST CONTROL SERVICES - PSB	286.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		PEST CONTROL SERVICES - PSB		010 5.110.65120	BLDG & GROUNDS SUPPLIES	95.34
		PEST CONTROL SERVICES - PSB		010 5.150.65120	BLDG & GROUNDS SUPPLIES	95.34
		PEST CONTROL SERVICES - PSB		<b>010 5.160.65120</b>	<b>BLDG &amp; GROUNDS SUPPLIES</b>	<b>95.32</b>
		=== VENDOR TOTALS ===	286.00			
<hr/>						
01-2254		DORRIAN HEATING & COOLING				
I-000021672		THERMOSTAT REPAIR	324.10			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		THERMOSTAT REPAIR		010 5.435.64205	MISCELLANEOUS SERVICE	324.10
		=== VENDOR TOTALS ===	324.10			
<hr/>						
01-3587		DUPONT PIONEER				
I-201608312658		DEPOSIT RETURN	130.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DEPOSIT RETURN		010 5.433.64700	REFUNDS	130.00
		=== VENDOR TOTALS ===	130.00			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-2713	ECHO SYSTEMS					
<hr/>						
I-S6844917.001		OVERLOAD RELAY = LPS	73.08			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		OVERLOAD RELAY = LPS		631 5.815.65122	SWR LINE MTC-LPS CONTROL	73.08
<hr/>						
I-S6859041.001		LIGHTS FOR WELLINGTON BLVD	55.17			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		LIGHTS FOR WELLINGTON BLVD		140 5.240.65136	MISCELLANEOUS SUPPLIES	55.17
		=== VENDOR TOTALS ===	128.25			
<hr/>						
01-1271	ELECTRONIC ENGINEERING COMPANY					
<hr/>						
I-112000474-1		TWO WAY RADIO BATTERIES	224.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		TWO WAY RADIO BATTERIES		140 5.210.65124	EQUIPMENT SUPPLIES	224.00
<hr/>						
I-114000052-1		TWO WAY RADIO BATTERY	112.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		TWO WAY RADIO BATTERY		140 5.210.65124	EQUIPMENT SUPPLIES	112.00
<hr/>						
I-80004199		TOWER SERVICE	12.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		TOWER SERVICE		010 5.110.64290	TELECOMMUNICATIONS	12.00
<hr/>						
I-80004200		MICRON & TWO WAY RADIOS	972.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MICRON & TWO WAY RADIOS		010 5.130.64205	MISCELLANEOUS SERVICE	144.00
		MICRON & TWO WAY RADIOS		140 5.210.64250	RENT EQUIPMENT	165.60
		MICRON & TWO WAY RADIOS		010 5.210.64290	TELECOMMUNICATIONS	165.60
		MICRON & TWO WAY RADIOS		601 5.810.64290	TELECOMMUNICATIONS	165.60
		MICRON & TWO WAY RADIOS		631 5.815.64290	TELECOMMUNICATIONS	165.60
		MICRON & TWO WAY RADIOS		010 5.430.64290	TELECOMMUNICATIONS	165.60
		=== VENDOR TOTALS ===	1,320.00			
<hr/>						
01-3515	ENCODE PLUS, LLC					
<hr/>						
I-1189		ENCODE PLUS SOFTWARE	10,452.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ENCODE PLUS SOFTWARE		010 5.540.64173	SOFTWARE & TECH SVCS	10,452.00
		=== VENDOR TOTALS ===	10,452.00			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-1286		FACTORY MOTOR PARTS COMPANY				
I-40-1667393		SPARK PLUGS	25.14			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SPARK PLUGS		010 5.110.65142	VEHICLE MAINT. SUPPLIES	25.14
		=== VENDOR TOTALS ===	25.14			
<hr/>						
01-1		MISC				
I-201608312669		FALES, ANDY:FUN NIGHT SPEAKER	80.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SENIOR FUN NIGHT SPEAKER		170 5.440.65136	SENIOR CITIZENS SUPPLIES	80.00
		=== VENDOR TOTALS ===	80.00			
<hr/>						
01-1289		FASTENAL INDUSTRIAL				
I-IADES288918		SAFETY GLASSES, GLOVES	29.54			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SAFETY GLASSES, GLOVES		140 5.210.65171	SAFETY SUPPLIES	9.85
		SAFETY GLASSES, GLOVES		601 5.810.65171	SAFETY SUPPLIES	9.85
		SAFETY GLASSES, GLOVES		631 5.815.65171	SAFETY SUPPLIES	9.84
I-IADES289021		SAFETY SUPPLIES	48.09			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SAFETY SUPPLIES		140 5.210.65171	SAFETY SUPPLIES	48.09
		--- VENDOR TOTALS ---	77.63			
<hr/>						
01-1102		FIRE RECOVERY EMS (FRUSA-EMS)				
I-10313		JULY CHARGES	2,047.35			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		JULY CHARGES		010 5.160.64160	AMBULANCE SERVICE COLLEC	2,047.35
		=== VENDOR TOTALS ===	2,047.35			
<hr/>						
01-1298		FIRE SERVICE TRAINING BUREAU				
I-000115		FIRE TRAINING	75.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FIRE TRAINING		010 5.150.62300	FIRE TRAINING	75.00
		=== VENDOR TOTALS ===	75.00			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-2223	GALLAGHER BENEFIT SERVICES					
I-98606		COMPENSATION STUDY	8,206.25			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		COMPENSATION STUDY		010 5.615.64171	COMPENSATION CONSULTANT	8,206.25
=== VENDOR TOTALS ===			8,206.25			
<hr/>						
01-2912	GEMPLER'S					
I-SI02789581		EAR PLUGS AND INSECT SPRAY	106.90			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		EAR PLUGS AND INSECT SPRAY		010 5.430.65171	SAFETY SUPPLIES	106.90
=== VENDOR TOTALS ===			238.85			
<hr/>						
01-3588	GREEN MONOCLE PHOTOGRAPHY/JEFF					
I-082416		JOHNSTON EVENT IMAGES	100.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		JOHNSTON EVENT IMAGES		010 5.617.64176	MARKETING SERVICES	100.00
=== VENDOR TOTALS ===			100.00			
<hr/>						
01-1336	HOWARD R GREEN COMPANY					
I-106404		NW BEAVER DRIVE CPS	988.74			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		NW BEAVER DRIVE CPS		344 5.760.64170	ENGINEERING	988.74
		PROJ: 344-64170 NW BEAVER DR/JOHNSTON DR			ENGINEERING	
I-106406		NW 100TH ST-62ND TO 70TH CONS	15,058.75			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		NW 100TH ST-62ND TO 70TH CONST		349 5.760.64170	ENGINEERING	15,058.75
		PROJ: 349-64170 NW 100TH (NW 62ND-NW 70TH			ENGINEERING	
I-106447		NW 86TH ST. PUMP STATION	3,281.49			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		NW 86TH ST. PUMP STATION		601 5.810.67801	WATER MAIN IMPR PROJECTS	3,281.49
=== VENDOR TOTALS ===			19,328.98			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1926	H & W CONTRACTING LLC					
I-PAY REQUEST 19		E. OF MHR SANITARY SWR, PH. 1	137,206.60			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		E. OF MHR SANITARY SWR, PH. 1		334 5.760.67610	STREETS	29,995.16
		PROJ: 334-67610 E. of MHR/N. of NW 62nd			STREETS	
		E. OF MHR SANITARY SWR, PH. 1		334 5.760.67612	SIDEWALKS	1,917.12
		PROJ: 334-67612 E. of MHR/N. of NW 62nd			SIDEWALKS	
		E. OF MHR SANITARY SWR, PH. 1		334 5.760.67615	TRAFFIC CONTROL	9,428.40
		PROJ: 334-67615 E. of MHR/N. of NW 62nd			TRAFFIC CONTROL	
		E. OF MHR SANITARY SWR, PH. 1		334 5.760.67170	STREETSCAPE	1,258.89
		PROJ: 334-67170 E. of MHR/N. of NW 62nd			STREETSCAPE	
		E. OF MHR SANITARY SWR, PH. 1		334 5.760.67650	STORM DRAINAGE	34,624.24
		PROJ: 334-67650 E. of MHR/N. of NW 62nd			STORM DRAINAGE	
		E. OF MHR SANITARY SWR, PH. 1		334 5.766.67800	WATER MAIN, HYDRANTS	14,419.54
		PROJ: 334-67800 E. of MHR/N. of NW 62nd			WATER MAINS, HYDRANTS	
		E. OF MHR SANITARY SWR, PH. 1		334 5.768.67670	SANITARY SEWER	45,563.25
		=== VENDOR TOTALS ===	137,206.60			

01-1357	HD SUPPLY WATERWORKS					
I-F844838		PARTS FOR LPS SYSTEM	487.80			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		PARTS FOR LPS SYSTEM		631 5.815.65123	SWR LINE MTC-GRINDER PUM	487.80
I-F920215		COMPOUND COUPLER- LPS SYSTEM	432.80			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		COMPOUND COUPLER- LPS SYSTEM		631 5.815.65123	SWR LINE MTC-GRINDER PUM	432.80
		=== VENDOR TOTALS ===	920.60			

01-1396	INTERSTATE ALL BATTERY CENTER					
I-1924699010361		RADIO BATTERIES	124.20			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		RADIO BATTERIES		010 5.150.64245	RADIO MAINTENANCE	62.10
		RADIO BATTERIES		010 5.160.64245	RADIO MAINTENANCE	62.10
		=== VENDOR TOTALS ===	124.20			

01-1425	IOWA DEPT OF TRANSPORTATION					
I-34664		BRAKE/CLUTCH CLEANER, GLOVES	714.97			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CHANNELIZER, PAINT REMOVER		010 5.430.65170	OPERATING SUPPLIES	714.97
I-34667		SIGN TUBING	22.84			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SIGN TUBING		010 5.430.65136	MISCELLANEOUS SUPPLIES	22.84

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1425		IOWA DEPT OF TRANSPORTATION ( ** CONTINUED ** )				
I-35126		ZIP TIES MTU INSTALLS	240.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ZIP TIES MTU INSTALLS		601 5.810.65136	MISCELLANEOUS SUPPLIES	240.00
		=== VENDOR TOTALS ===	977.81			
01-1442		IOWA ONE CALL				
I-183559		ONE CALL LOCATES	431.10			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ONE CALL LOCATES		601 5.810.64295	ONE-CALL	215.55
		ONE CALL LOCATES		631 5.815.64295	ONE-CALL	215.55
		=== VENDOR TOTALS ===	431.10			
01-2037		IOWA PRISON INDUSTRIES				
I-727199		HANSSSEN BUSINESS CARDS	40.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		HANSSSEN BUSINESS CARDS		010 5.110.65160	OFFICE SUPPLIES	40.00
		=== VENDOR TOTALS ===	40.00			
01-1445		IOWA SIGNAL, INC				
I-3326		WORK ON TRAFFIC SIGNAL	75.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		WORK ON TRAFFIC SIGNAL		140 5.240.64205	MISCELLANEOUS SERVICE	75.00
		=== VENDOR TOTALS ===	75.00			
01-3567		JETCO, INC				
I-12925		CS ORCHARD MEADOWS LIFT STATI	1,012.70			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CS ORCHARD MEADOWS LIFT STATIO		631 5.815.65126	SWR LINE MTC-LIFT STATIO	525.00
		CS ORCHARD MEADOWS LIFT STATIO		631 5.815.64205	MISCELLANEOUS SERVICE	487.70
		=== VENDOR TOTALS ===	1,012.70			
01-3589		JOHN BOYT INDUSTRIAL SEWING, I				
I-125180		CRIME SCENE SCREENS	379.60			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CRIME SCENE SCREENS		010 5.110.65140	MINOR EQUIPMENT	379.60
		=== VENDOR TOTALS ===	379.60			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-1467	JOHNSTONE SUPPLY					
I-3082993		FILTERS FOR TRAFFIC CABINETS	27.84			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FILTERS FOR TRAFFIC CABINETS		140 5.240.65136	MISCELLANEOUS SUPPLIES	27.84
<hr/>						
I-3085027		FILTERS FOR TRAFFIC CABINETS	7.80			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FILTERS FOR TRAFFIC CABINETS		140 5.240.65136	MISCELLANEOUS SUPPLIES	7.80
		=== VENDOR TOTALS ===	35.64			
<hr/>						
01-1480	KING DELIVERY SERVICE					
I-201608312670		JULY DELIVERIES	56.30			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		JULY DELIVERIES		010 5.650.65180	POSTAGE & SHIPPING	56.30
		=== VENDOR TOTALS ===	56.30			
<hr/>						
01-1497	LADEN & PEARSON P C					
I-7/1/16 INVOICED		LEGALS OUTSIDE OF RETAINER	2,384.50			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		LEGALS OUTSIDE OF RETAINER		334 5.760.64210	LEGAL SERVICES	2,384.50
		PROJ: 334-64210 E. of MHR/N. of NW 62nd			LEGAL SERVICES	
		=== VENDOR TOTALS ===	2,384.50			
<hr/>						
01-1876	LOGAN CONTRACTORS SUPPLY INC					
I-L31988		CONCRETE SUPPLIES	849.95			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CONCRETE SUPPLIES		140 5.210.65154	STREET MAINT. SUPPLIES	842.00
		CONCRETE SUPPLIES		140 5.210.65136	MISCELLANEOUS SUPPLIES	7.95
<hr/>						
I-L36767		REBAR & CONCRETE SUPPLIES	378.10			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		REBAR & CONCRETE SUPPLIES		140 5.210.65154	STREET MAINT. SUPPLIES	274.68
		REBAR & CONCRETE SUPPLIES		140 5.210.65152	STORM DRAINAGE	88.00
		REBAR & CONCRETE SUPPLIES		140 5.210.65124	EQUIPMENT SUPPLIES	15.42
<hr/>						
I-L37268		ZIP STRIP EXPANSION	40.54			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ZIP STRIP EXPANSION		140 5.210.65154	STREET MAINT. SUPPLIES	40.54
<hr/>						
I-L37783		DRIVE TUBE & SHAFT	73.19			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DRIVE TUBE & SHAFT		010 5.430.65122	EQUIPMENT PARTS	73.19
		=== VENDOR TOTALS ===	1,341.78			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-1517		MANATT'S INC				
<hr/>						
I-822598		CONCRETE FOR TRAIL REPAIR	998.50			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CONCRETE FOR TRAIL REPAIR		010 5.430.65126	TRAIL MAINT SUPPLIES	998.50
		=== VENDOR TOTALS ===	998.50			
<hr/>						
01-1522		MARTIN MARIETTA MATERIALS				
<hr/>						
I-18254602		CLASS A FOR CONCRETE PATCHES	484.87			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CLASS A FOR CONCRETE PATCHES		140 5.210.65154	STREET MAINT. SUPPLIES	484.87
		=== VENDOR TOTALS ===	484.87			
<hr/>						
01-1263		MASON, LORI				
<hr/>						
I-201608312659		MASON, LORI: MILEAGE REIMB	59.40			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		MASON, LORI: MILEAGE REIMB		010 5.210.62400	TRAVEL	59.40
		=== VENDOR TOTALS ===	59.40			
<hr/>						
01-3591		MCKINNEY, SHARRIE				
<hr/>						
I-201608312672		FEE TITLE RIGHT-OF-WAY	4,900.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FEE TITLE RIGHT-OF-WAY		334 5.760.67400	RIGHT-OF-WAY	4,900.00
		PROJ: 334-67400 E. of MHR/N. of NW 62nd			RIGHT-OF-WAY	
		=== VENDOR TOTALS ===	4,900.00			
<hr/>						
01-1539		MENARDS CLIVE				
<hr/>						
I-201608312660		DRAIN HOSE & SUPPLIES	46.01			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DRAIN HOSE & SUPPLIES		010 5.435.65136	MISCELLANEOUS SUPPLIES	46.01
<hr/>						
I-201608312661		MULTI POSITION LADDER	199.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		MULTI POSITION LADDER		010 5.430.65120	BLDG & GROUNDS SUPPLIES	199.00
		=== VENDOR TOTALS ===	245.01			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-1545	METRO WASTE AUTHORITY					
I-201608312662		DISPOSAL OF CONCRETE & DEBRIS	199.88			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DISPOSAL OF CONCRETE & DEBRIS		010 5.430.64205	MISCELLANEOUS SERVICE	199.88
I-201608312663		DISPOSAL OF CONCRETE & DEBRIS	300.58			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DISPOSAL OF CONCRETE & DEBRIS		010 5.430.64205	MISCELLANEOUS SERVICE	300.58
I-201608312664		DISPOSAL OF CONCRETE & DEBRIS	199.12			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DISPOSAL OF CONCRETE & DEBRIS		010 5.430.64205	MISCELLANEOUS SERVICE	199.12
I-201608312665		DISPOSAL OF CONCRETE & DEBRIS	264.86			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DISPOSAL OF CONCRETE & DEBRIS		010 5.430.64205	MISCELLANEOUS SERVICE	264.86
I-201608312666		DISPOSAL OF ASPHALT	199.88			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DISPOSAL OF ASPHALT		010 5.430.64205	MISCELLANEOUS SERVICE	199.88
		=== VENDOR TOTALS ===	1,164.32			
<hr/>						
01-2000	MGIA - IOWA CHAPTER					
I-201608312667		FALL SEMINAR REGISTRATION PD	150.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FALL SEMINAR REGISTRATION PD		010 5.110.62300	TRAINING	150.00
		=== VENDOR TOTALS ===	150.00			
<hr/>						
01-1547	MID AMERICAN ENERGY					
I-400070816		ELE. SERVICES TRAFFIC CAMERA	26.78			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ELE. SERVICES TRAFFIC CAMERA		140 5.240.63240	ELETRICITY	26.78
I-410020816		CITY HALL SIGN	63.40			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CITY HALL SIGN		010 5.650.63240	NATURAL GAS & ELECTRICIT	63.40
I-870060816		WATER PIT	5.33			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		WATER PIT		601 5.810.63240	ELECTRICITY	5.33
		=== VENDOR TOTALS ===	95.51			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1557 MIDWEST OFFICE TECHNOLOGY INC						
I-ar329615		COPIER MAINT. & COPIES	549.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		COPIER MAINT. & COPIES		010 5.615.65160	OFFICE SUPPLIES	15.52
		COPIER MAINT. & COPIES		010 5.619.65160	OFFICE SUPPLIES	8.61
		COPIER MAINT. & COPIES		010 5.540.65160	OFFICE SUPPLIES	11.44
		COPIER MAINT. & COPIES		601 5.810.65160	OFFICE SUPPLIES	196.98
		COPIER MAINT. & COPIES		631 5.815.65160	OFFICE SUPPLIES	196.98
		COPIER MAINT. & COPIES		010 5.535.65160	OFFICE SUPPLIES	3.54
		COPIER MAINT. & COPIES		010 5.621.65160	OFFICE SUPPLIES	21.96
		COPIER MAINT. & COPIES		010 5.150.65160	OFFICE SUPPLIES	9.46
		COPIER MAINT. & COPIES		010 5.160.65160	OFFICE SUPPLIES	9.46
		COPIER MAINT. & COPIES		010 5.610.65160	OFFICE SUPPLIES	75.05
=== VENDOR TOTALS ===			549.00			

01-2484 MSA PROFESSIONAL SERVICES, INC						
I-R09086008.0		NW BEAVER DR OVERLAY	4,597.50			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		NW BEAVER DR OVERLAY		343 5.760.64170	ENGINEERING	4,597.50
I-R09086009.0		NW BEAVER EASEMENT ACQ	5,170.50			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		NW BEAVER EASEMENT ACQ		343 5.760.64170	ENGINEERING	5,170.50
=== VENDOR TOTALS ===			9,768.00			

01-3479 MSC INDUSTRIAL SUPPLY CO.						
I-12456357		STATION MAINTENANCE EQUIPMENT	14.32			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		STATION MAINTENANCE EQUIPMENT		010 5.150.65120	BLDG & GROUNDS SUPPLIES	7.16
		STATION MAINTENANCE EQUIPMENT		010 5.160.65120	BLDG & GROUNDS SUPPLIES	7.16
I-97125136		FIRE STATION SUPPLIES/TOOLS	64.47			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FIRE STATION SUPPLIES/TOOLS		010 5.150.65120	BLDG & GROUNDS SUPPLIES	32.24
		FIRE STATION SUPPLIES/TOOLS		010 5.160.65120	BLDG & GROUNDS SUPPLIES	32.23
=== VENDOR TOTALS ===			78.79			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-1571		MUNICIPAL EMERGENCY SERVICES				
I-C30719		SHIPPING CHARGES	23.75			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SHIPPING CHARGES		010 5.150.61840	UNIFORMS & ALLOWANCES	11.88
		SHIPPING CHARGES		010 5.160.61840	UNIFORMS & ALLOWANCES	11.87
<hr/>						
I-IN1053379		FIRE SUPPLIES BATTERIES	199.28			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FIRE SUPPLIES BATTERIES		010 5.150.65120	BLDG & GROUNDS SUPPLIES	199.28
<hr/>						
I-IN1053387		LABOR FOR SCBA REPAIRS	139.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		LABOR FOR SCBA REPAIRS		010 5.150.63140	MAINTENANCE OF EQUIPMENT	139.00
<hr/>						
I-IN1059432		LABOR FOR SCBA REPAIRS	937.40			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		LABOR FOR SCBA REPAIRS		010 5.160.63140	MAINTENANCE OF EQUIPMENT	937.40
		=== VENDOR TOTALS ===	1,299.43			
<hr/>						
01-3333		NEOPOST USA, INC				
<hr/>						
I-NG077791		POSTAGE/MAIL MACHINE MAINT FE	161.35			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		POSTAGE/MAIL MACHINE MAINT FEE		010 5.615.64250	RENT EQUIPMENT	161.35
		=== VENDOR TOTALS ===	161.35			
<hr/>						
01-2163		NILLES ASSOCIATES				
<hr/>						
I-12118.27		GREENWOOD HILLS PLAT 5	755.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		GREENWOOD HILLS PLAT 5		010 5.540.64172	PLAN-PLAT REVIEW	755.00
		=== VENDOR TOTALS ===	755.00			
<hr/>						
01-2334		OFFICE DEPOT				
<hr/>						
I-6971890		OFFICE SUPPLIES PUBLIC WORKS	168.31			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		OFFICE SUPPLIES PUBLIC WORKS		010 5.210.65160	OFFICE SUPPLIES	85.73
		OFFICE SUPPLIES PUBLIC WORKS		601 5.810.65160	OFFICE SUPPLIES	41.29
		OFFICE SUPPLIES PUBLIC WORKS		631 5.815.65160	OFFICE SUPPLIES	41.29
		=== VENDOR TOTALS ===	168.31			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-2063 PATC / ATTN: PEG BOWMAN						
I-201608312671		CODE OF IA RENEWALS	120.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CODE OF IA RENEWALS		010 5.110.65170	OPERATING SUPPLIES	120.00
=== VENDOR TOTALS ===			120.00			
01-2205 PHYSIO CONTROL						
I-416146347		AED MAINTENANCE	9,186.96			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		AED MAINTENANCE		010 5.160.63140	MAINTENANCE OF EQUIPMENT	7,186.96
		AED MAINTENANCE		010 5.110.63140	MAINTENANCE OF EQUIPMENT	2,000.00
=== VENDOR TOTALS ===			9,186.96			
01-1651 POLK COUNTY RECORDER						
I-201608312647		DEV. AGREEMENT HIDDEN VALLEY	22.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DEV. AGREEMENT HIDDEN VALLEY		010 5.540.64150	COURT & RECORDING FEES	22.00
=== VENDOR TOTALS ===			22.00			
01-1651 POLK COUNTY RECORDER						
I-201608312648		CANT WOODS OVERLAND FLOW EASE	34.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CANT WOODS OVERLAND FLOW EASE		010 5.540.64150	COURT & RECORDING FEES	34.00
=== VENDOR TOTALS ===			34.00			
01-3586 POLK COUNTY SHERIFFS OFFICE						
I-201608312646		CONDEMNATION FEES	197.47			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CONDEMNATION FEES		334 5.760.67400	RIGHT-OF-WAY	197.47
=== VENDOR TOTALS ===			197.47			
01-1655 POLK COUNTY TREASURER						
I-16-02052		BLOOD DRAW CASE 16-932	150.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		BLOOD DRAW CASE 16-932		010 5.110.64205	MISCELLANEOUS SERVICE	150.00
=== VENDOR TOTALS ===			150.00			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1661 PRAXAIR DISTRIBUTION INC						
I-73915147/7/1		RENTAL SERVICES-OXYGEN TANKS	96.53			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		RENTAL SERVICES-OXYGEN TANKS		010 5.160.65172	EMS SUPPLIES	96.53
I-74008215						
9/06/2016	AP	TORCH HEAD REBUILD	26.00			
		DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TORCH HEAD REBUILD		140 5.210.65124	EQUIPMENT SUPPLIES	26.00
I-74040881						
9/06/2016	AP	OXYGEN	119.35			
		DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		OXYGEN		010 5.160.65172	EMS SUPPLIES	119.35
		=== VENDOR TOTALS ===	241.88			
01-1674 RACOM CORPORATION						
I-2B119181						
9/06/2016	AP	REPAIR RADIO	538.75			
		DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		REPAIR RADIO		010 5.110.63140	MAINTENANCE OF EQUIPMENT	538.75
I-RI-161278						
9/06/2016	AP	MONTHLY RADIO ACCESS FEES	987.00			
		DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		MONTHLY RADIO ACCESS FEES		010 5.110.64290	TELECOMMUNICATIONS	987.00
		=== VENDOR TOTALS ===	1,525.75			
01-3534 RECORD AUTOMATIC DOORS, INC						
I-14366						
9/06/2016	AP	NEW SWITCH FOR DOOR AT BARN	351.39			
		DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		NEW SWITCH FOR DOOR AT BARN		010 5.433.65120	BLDG & GROUNDS SUPPLIES	141.39
		NEW SWITCH FOR DOOR AT BARN		010 5.433.64205	MISCELLANEOUS SERVICE	210.00
		=== VENDOR TOTALS ===	351.39			
01-3549 ROCHON CORPORATION OF IOWA, IN						
I-115.0890						
9/06/2016	AP	TERRA LAKE PARK IMPRV. PHASE	204,156.55			
		DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TERRA LAKE PARK IMPRV. PHASE 3		340 5.764.67616	EARTHWORK	204,156.55
		PROJ: TRL-67616 TERRA LAKE			EARTHWORK	
		=== VENDOR TOTALS ===	204,156.55			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1698 ROCKFORD RIGGING						
I-0450766-IN		D RINGS FOR EXCAVATOR TRAILER	37.49			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		D RINGS FOR EXCAVATOR TRAILER		140 5.210.65124	EQUIPMENT SUPPLIES	37.49
I-0451335-IN						
		WIRE ROPE FOR HYDRANT SCRUBBE	343.47			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		WIRE ROPE FOR HYDRANT SCRUBBER		601 5.810.65154	DIST SUPPLIES-FIRE HYDRA	343.47
I-0451336-IN						
		WIRE ROPE FOR HYDRANT SCRUBBE	228.98			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		WIRE ROPE FOR HYDRANT SCRUBBER		601 5.810.65154	DIST SUPPLIES-FIRE HYDRA	228.98
		=== VENDOR TOTALS ===	609.94			
01-3477 ROGNES CORP., ESCROW ACCT. # 3						
I-PAY REQUEST 8		E. OF MHR NW 60TH AVE IMP. P4	148,320.77			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		E. OF MHR NW 60TH AVE IMP. P4A		334 5.760.67610	STREETS	131,540.26
		PROJ: 334-67610 E. of MHR/N. of NW 62nd			STREETS	
		E. OF MHR NW 60TH AVE IMP. P4A		334 5.760.67612	SIDEWALKS	3,212.92
		PROJ: 334-67612 E. of MHR/N. of NW 62nd			SIDEWALKS	
		E. OF MHR NW 60TH AVE IMP. P4A		334 5.760.67650	STORM DRAINAGE	10,955.09
		PROJ: 334-67650 E. of MHR/N. of NW 62nd			STORM DRAINAGE	
		E. OF MHR NW 60TH AVE IMP. P4A		334 5.760.67616	UTILITY RELOCATION	2,612.50
		PROJ: 334-67616 E. of MHR/N. of NW 62nd			UTILITY RELOCATION	
		=== VENDOR TOTALS ===	148,320.77			
01-1721 SECURITY EQUIPMENT INC						
I-330383		COMMERCIAL SERVICE AGREEMENT	3,300.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		COMMERCIAL SERVICE AGREEMENT		010 5.110.64174	SECURITY & ACCESS SRVC &	3,300.00
		=== VENDOR TOTALS ===	3,300.00			
01-1723 SENECA COMPANIES						
I-1183284		NEW TANK TESTING SYSTEM	10,368.23			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		NEW TANK TESTING SYSTEM		040 5.210.67990	MISC. CAPITAL EQUIPMENT	10,368.23
		=== VENDOR TOTALS ===	10,368.23			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-2535	DEBRA SMITH					
I-201608312651		REIMBURSE PENCILS HIGHLIGHTE	8.48			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		REIMBURSE PENCILS HIGHLIGHTER		010 5.110.65160	OFFICE SUPPLIES	8.48
		=== VENDOR TOTALS ===	8.48			
<hr/>						
01-1742	SNYDER & ASSOCIATES INC					
I-115.0210.01-7		CONSULTANT FEES- TERRA LAKE	2,430.87			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CONSULTANT FEES- TERRA LAKE		340 5.764.64170	ENGINEERING	2,430.87
		PROJ: TRL-64170 TERRA LAKE			ENGINEERING	
I-115.0890.01-10		CONSULTANT FEES- TERRA LAKE	23,455.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CONSULTANT FEES- TERRA LAKE		340 5.764.64170	ENGINEERING	23,455.00
		PROJ: TRL-64170 TERRA LAKE			ENGINEERING	
I-116.0226.01-5		BIOXIDE PROJECT	658.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		BIOXIDE PROJECT		631 5.815.64170	ENGINEERING	658.00
		=== VENDOR TOTALS ===	26,543.87			
<hr/>						
01-3568	SOYER, MICHELLE					
I-201608312652		SOYER, MICHELLE: YOGA CLASSES	100.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SOYER, MICHELLE: YOGA CLASSES		010 5.430.64170	CONSULTANT	100.00
		=== VENDOR TOTALS ===	100.00			
<hr/>						
01-3474	STAHL CONSTRUCTION					
I-497588		HYDRANT METER REFUNDS	279.26			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		HYDRANT METER REFUNDS		601 5.810.64700	REFUNDS	279.26
I-497589		HYDRANT METER REFUNDS	180.33			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		HYDRANT METER REFUNDS		601 5.810.64700	REFUNDS	180.33
		=== VENDOR TOTALS ===	459.59			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-3448		STAPLES ADVANTAGE				
<hr/>						
I-3309952731		HANGING FILE FOLDERS, POST-ITS	51.78			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		HANGING FILE FOLDERS		010 5.615.65136	MISCELLANEOUS SUPPLIES	41.29
		POST-IT NOTES		010 5.621.65160	OFFICE SUPPLIES	10.49
<hr/>						
I-3311425751		STAPLES, BINDER CLIPS, MESS.B	139.01			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		STAPLES, BINDER CLIPS, MESS.BK		010 5.615.65160	OFFICE SUPPLIES	139.01
<hr/>						
I-3312935994		PENCILS, BROCHURE HOLDER	9.08			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		PENCILS, BROCHURE HOLDER		010 5.615.65160	OFFICE SUPPLIES	9.08
<hr/>						
I-7161087382-0001		CALCULATOR, PENS, FILE FOLDER	111.80			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CALCULATOR		010 5.621.65160	OFFICE SUPPLIES	78.62
		PENS AND FILE FOLDERS		010 5.615.65160	OFFICE SUPPLIES	33.18
		=== VENDOR TOTALS ===	311.67			
<hr/>						
01-2630		STATE HYGIENIC LAB-ACCTS REC				
<hr/>						
I-86541		WATER QUALITY MONITORING	789.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		WATER QUALITY MONITORING		671 5.865.64205	MISCELLANEOUS SERVICE	789.00
		=== VENDOR TOTALS ===	789.00			
<hr/>						
01-1760		STIVERS FORD INC				
<hr/>						
I-841243		HEADLIGHT BULBS	22.08			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		HEADLIGHT BULBS		010 5.110.65142	VEHICLE MAINT. SUPPLIES	22.08
		=== VENDOR TOTALS ===	22.08			
<hr/>						
01-2844		TEAM SERVICES, INC				
<hr/>						
I-1786951-0		TESTING NW 70TH AVE	1,081.55			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TESTING NW 70TH AVE		346 5.760.64205	MISCELLANEOUS SERVICE	1,081.55
<hr/>						
I-1786952-0		TESTING NW 100TH ST	1,229.24			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TESTING NW 100TH ST		349 5.760.64205	MISCELLANEOUS SERVICE	1,229.24

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-2844	TEAM SERVICES, INC	( ** CONTINUED ** )				
I-1787065-0		NW 60TH AVE -TESTING	2,233.30			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		NW 60TH AVE -TESTING		334 5.760.64205	MISCELLANEOUS SERVICE	2,233.30
		=== VENDOR TOTALS ===	4,544.09			
01-1	MISC					
I-201608312649		THE BRIDGE CHURCH:HYD. MTR RE	1,139.34			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		HYDRANT METER REFUND		601 5.810.64700	REFUNDS	1,139.34
		=== VENDOR TOTALS ===	1,139.34			
01-2301	TK CONCRETE					
I-8790		PAY REQUEST #2 FLUME REPAIR	36,489.63			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		PAY REQUEST #2 FLUME REPAIR		342 5.770.64170	ENGINEERING	36,489.63
		=== VENDOR TOTALS ===	36,489.63			
01-1789	TOMPKINS INDUSTRIES INC					
I-403317497		STUMP GRINDER PARTS	78.79			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		STUMP GRINDER PARTS		010 5.430.65122	EQUIPMENT PARTS	78.79
		=== VENDOR TOTALS ===	78.79			
01-2403	TREAT AMERICA FOOD SERVICES					
I-537083		MEALS FOR TRAINING ILEA	130.88			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MEALS FOR TRAINING ILEA		010 5.110.62300	TRAINING	130.88
		=== VENDOR TOTALS ===	130.88			
01-1802	TYLER TECHNOLOGIES					
I-025-165069		CASH RECEIPT & DRAWER MAINT.P	267.30			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		CASH RECEIPT & DRAWER MAINT.PD		010 5.110.63140	MAINTENANCE OF EQUIPMENT	267.30
I-025-165640		ON LINE PAYMENTS FEE-SEPT	184.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ON LINE PAYMENTS FEE-SEPT		601 5.810.64173	SOFTWARE & TECH SERVICES	92.00
		ON LINE PAYMENTS FEE-SEPT		631 5.815.64173	SOFTWARE & TECH SERVICES	92.00
		=== VENDOR TOTALS ===	451.30			

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-3251	UNIVERSAL PRINTING SERVICES					
I-43868		1200 MAILING/SHIPPING LABELS	212.38			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		1200 MAILING/SHIPPING LABELS		010 5.615.65160	OFFICE SUPPLIES	212.38
<hr/>						
I-43916		PLAGGE BUSINESS CARDS	32.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		PLAGGE BUSINESS CARDS		010 5.540.65160	OFFICE SUPPLIES	32.00
<hr/>						
I-44049		SANTI BUSINESS CARDS	32.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SANTI BUSINESS CARDS		601 5.810.65160	OFFICE SUPPLIES	16.00
		SANTI BUSINESS CARDS		631 5.815.65160	OFFICE SUPPLIES	16.00
<hr/>						
I-44080		2500 POSTCARDS	225.83			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		2500 POSTCARDS		010 5.540.65160	OFFICE SUPPLIES	225.83
		=== VENDOR TOTALS ===	502.21			
<hr/>						
01-2134	URBANDALE POLICE DEPARTMENT					
I-2017-40000052		URBANDALE RANGE FEE	107.14			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		URBANDALE RANGE FEE		010 5.110.62300	TRAINING	107.14
		=== VENDOR TOTALS ===	107.14			
<hr/>						
01-1944	VAN-WALL EQUIPMENT					
I-373099		BRAKE PADS FOR GATOR	51.30			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		BRAKE PADS FOR GATOR		010 5.430.65122	EQUIPMENT PARTS	51.30
		=== VENDOR TOTALS ===	51.30			
<hr/>						
01-1829	VERIZON WIRELESS					
I-9770152993		JULY 11-AUG 10	208.22			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		JULY 11-AUG 10		010 5.535.64290	TELECOMMUNICATIONS	208.22
<hr/>						
I-9770196521		JULY 11- AUG 10	680.17			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		JULY 11- AUG 10		010 5.110.64290	TELECOMMUNICATIONS	640.16
		JULY 11- AUG 10		010 5.617.65140	MINOR EQUIPMENT	40.01

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1829 VERIZON WIRELESS ( ** CONTINUED ** )						
I-9770246677		JULY 13-AUG 12	535.24			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		JULY 13-AUG 12		601 5.810.64290	TELECOMMUNICATIONS	267.62
		JULY 13-AUG 12		631 5.815.64290	TELECOMMUNICATIONS	267.62
=== VENDOR TOTALS ===			1,423.63			
01-1830 VERMEER SALES & SERVICE INC						
I-268392		DRIVE BELT-CHIPPER	157.98			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DRIVE BELT-CHIPPER		010 5.430.65122	EQUIPMENT PARTS	157.98
I-268470		EQUIPMENT PARTS/OUTSIDE LABOR	352.20			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		EQUIPMENT PARTS/OUTSIDE LABOR		010 5.430.65122	EQUIPMENT PARTS	112.20
		EQUIPMENT PARTS/OUTSIDE LABOR		010 5.430.64205	MISCELLANEOUS SERVICE	240.00
=== VENDOR TOTALS ===			510.18			
01-1838 WALSH DOOR & HARDWARE CO						
I-704102		SPRING FOR CR POINT DOOR	33.34			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SPRING FOR CR POINT DOOR		010 5.435.65136	MISCELLANEOUS SUPPLIES	33.34
=== VENDOR TOTALS ===			33.34			
01-2552 WASTE MANAGEMENT OF IOWA						
I-3159223-0516-6		RECYCLE TRASH	12.50			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		RECYCLE TRASH		010 5.430.63250	TRASH	12.50
=== VENDOR TOTALS ===			12.50			
01-1848 WILSON BROS						
I-201608312655		MOSQUITO CONTROL 072716	1,250.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MOSQUITO CONTROL 072716		010 5.350.64272	MOSQUITO CONTROL	1,250.00
I-201608312656		MOSQUITO CONTROL 080816	1,250.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MOSQUITO CONTROL 080816		010 5.350.64272	MOSQUITO CONTROL	1,250.00

PACKET: 05292 9/6/16 COUNCIL CLAIMS

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1848	WILSON BROS	( ** CONTINUED ** )				
I-201608312657		MOSQUITO CONTROL 080316	1,250.00			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MOSQUITO CONTROL 080316		010 5.350.64272	MOSQUITO CONTROL	1,250.00
		=== VENDOR TOTALS ===	3,750.00			
01-1868	ZIEGLER INC					
I-PC501144826		FILTERS & OIL FOR COADER #201	309.81			
9/06/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		FILTERS & OIL FOR COADER #201		140 5.210.65124	EQUIPMENT SUPPLIES	309.81
		=== VENDOR TOTALS ===	309.81			
		=== PACKET TOTALS ===	1,239,116.86			

PACKET: 05290 9/6/16 COUNCIL CLAIMS 6/3

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-1232		DELL MARKETING				
<hr/>						
I-XJXTJMJ83		MONITORS	595.96			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		MONITORS		010 5.615.67180	I.T. HARDWARE/SOFTWARE	297.98
		MONITORS		010 5.110.64173	SOFTWARE & TECH SERVICES	297.98
		--- VENDOR TOTALS ---	595.96			
<hr/>						
01-1887		DES MOINES ASPHALT AND PAVING				
<hr/>						
I-1338149		ASPHALT FOR TRAIL REPAIR	88.55			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ASPHALT FOR TRAIL REPAIR		010 5.430.65126	TRAIL MAINT SUPPLIES	88.55
		--- VENDOR TOTALS ---	88.55			
<hr/>						
01-2049		FOTH INFRASTRUCTURE & ENVIRONM				
<hr/>						
I-48598		GREENWOOD HILLS GREENBELT	3,307.50			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		GREENWOOD HILLS GREENBELT		350 5.770.64170	ENGINEERING	3,307.50
<hr/>						
I-48599		BEAVER CRK NATURAL AREA MONIT	250.50			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		BEAVER CRK NATURAL AREA MONITO		010 5.430.64170	CONSULTANT	250.50
<hr/>						
I-48600		MERLE HAY ROAD GATEWAY PERMIT	2,392.00			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MERLE HAY ROAD GATEWAY PERMIT		125 5.521.64210	CONSULTANT & PROFESSIONA	2,392.00
<hr/>						
I-48604		NW 55TH AVE IMPROVEMENTS	8,197.48			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 55TH AVE IMPROVEMENTS		334 5.760.64170	ENGINEERING	8,197.48
<hr/>						
I-48615		63RD PL CONST OBS	4,952.72			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		63RD PL CONST OBS		316 5.760.64170	ENGINEERING	4,952.72
<hr/>						
I-48616		NW 60TH AVE IMPROVEMENTS 4A	31,459.45			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 60TH AVE IMPROVEMENTS 4A		334 5.760.64170	ENGINEERING	31,459.45
<hr/>						
I-48617		SRF FUNDING ADMINISTRATION	12,090.00			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		SRF FUNDING ADMINISTRATION		334 5.760.64170	ENGINEERING	12,090.00
<hr/>						
I-48895		MERLE HAY RD - ICAAP	43.04			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MERLE HAY RD - ICAAP		335 5.760.64170	ENGINEERING	43.04

PACKET: 05290 9/6/16 COUNCIL CLAIMS 6/3

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-2049		FOTH INFRASTRUCTURE & ENVIRONM( ** CONTINUED ** )				
I-48896		MERLE HAY RD - ICAAP	665.32			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MERLE HAY RD - ICAAP		335 5.760.64170	ENGINEERING	665.32
I-48897		NW 86TH ST - ICAAP	145.52			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 86TH ST - ICAAP		335 5.760.64170	ENGINEERING	145.52
I-48900		JOHNSTON FIBER, PHASE 3	771.20			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		JOHNSTON FIBER, PHASE 3		325 5.730.64170	ENGINEERING	771.20
I-48908		NW 86TH ST - ICAAP	187.89			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 86TH ST - ICAAP		335 5.760.64170	ENGINEERING	187.89
I-48961		GREENWOOD HILLS GREENBELT	3,551.56			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		GREENWOOD HILLS GREENBELT		350 5.770.64170	ENGINEERING	3,551.56
I-48962		BEAVER CRK NATURAL AREA MONIT	1,590.82			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		BEAVER CRK NATURAL AREA MONITO		010 5.430.64170	CONSULTANT	1,590.82
I-48963		MERLE HAY RD GATEWAY PERMITTI	2,069.50			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MERLE HAY RD GATEWAY PERMITTIN		125 5.521.64210	CONSULTANT & PROFESSIONA	2,069.50
I-48968		NW 63RD PLACE EXTENSION	105.39			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 63RD PLACE EXTENSION		316 5.760.64170	ENGINEERING	105.39
I-48969		NW 57TH AVE IMPROVEMENTS	263.00			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 57TH AVE IMPROVEMENTS		334 5.760.64170	ENGINEERING	263.00
I-48970		NW 60TH AVE IMPROVEMENTS 4A	29,839.20			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 60TH AVE IMPROVEMENTS 4A		334 5.760.64170	ENGINEERING	29,839.20
I-48971		SRF FUNDING ADMINISTRATION EM	17,252.50			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		SRF FUNDING ADMINISTRATION EMH		334 5.760.64170	ENGINEERING	17,252.50
I-48978		NW 70TH AVE RECONSTRUCT, PH/	24,448.28			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 70TH AVE RECONSTRUCT, PH/ 2		346 5.760.64170	ENGINEERING	24,448.28

PACKET: 05290 9/6/16 COUNCIL CLAIMS 6/3

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-2049 FOTH INFRASTRUCTURE & ENVIRONM( ** CONTINUED ** )						
I-48979		NW 62ND AVE TO WCL CONSTRUCTI	1,274.32			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 62ND AVE TO WCL CONSTRUCTIO		315 5.760.64170	ENGINEERING	1,274.32
I-48981		NW 70TH IMP.-WCL TO NW 98TH S	131,456.88			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 70TH IMP.-WCL TO NW 98TH ST		346 5.760.64170	ENGINEERING	131,456.88
I-48983		GM FLUME REPAIR/WTR QUALITY I	3,090.38			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		GM FLUME REPAIR/WTR QUALITY IM		342 5.770.64170	ENGINEERING	3,090.38
I-48984		NW 78TH ST SAN SEWER EXTENS.	603.50			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 78TH ST SAN SEWER EXTENS.		638 5.817.64170	ENGINEERING	603.50
I-48990		JOHNSTON DEV. REVIEW ENGINEER	17,375.50			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		JOHNSTON DEV. REVIEW ENGINEERI		010 5.540.64170	CONSULTANT	17,375.50
I-48991		SWPPP REVIEWS	688.50			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		SWPPP REVIEWS		010 5.535.64130	EROSION CONTROL SERVICE	688.50
I-49046		NW 54TH CT IMPROVEMENTS	22,916.08			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 54TH CT IMPROVEMENTS		334 5.760.64170	ENGINEERING	22,916.08
I-49071		MERLE HAY RD - ICAAP	221.77			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MERLE HAY RD - ICAAP		335 5.760.64170	ENGINEERING	221.77
I-49072		MERLE HAY RD - ICAAP	1,583.00			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		MERLE HAY RD - ICAAP		335 5.760.64170	ENGINEERING	1,583.00
I-49073		NW 86TH ST - ICAAP	145.52			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		NW 86TH ST - ICAAP		335 5.760.64170	ENGINEERING	145.52
I-49075		JOHNSTON FIBER - PHASE 3	3,008.00			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		JOHNSTON FIBER - PHASE 3		325 5.730.64170	ENGINEERING	3,008.00
=== VENDOR TOTALS ===			325,946.32			

PACKET: 05290 9/6/16 COUNCIL CLAIMS 6/3

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
01-1	MISC					
I-201608302637		HOFMAN, ALEKSANDRA:DEPOSIT RE	520.00			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DEPOSIT RETURN - THE BARN		010 5.433.64700	REFUNDS	520.00
		=== VENDOR TOTALS ===	520.00			
01-1425	IOWA DEPT OF TRANSPORTATION					
I-34247		BRAKE & CLUTCH CLEANER	80.28			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		BRAKE & CLUTCH CLEANER		140 5.210.65136	MISCELLANEOUS SUPPLIES	80.28
I-34248		TRAFFIC PAINT	10,924.80			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TRAFFIC PAINT		140 5.240.65154	TRAFFIC PAINT	10,924.80
		=== VENDOR TOTALS ===	11,005.08			
01-1442	IOWA ONE CALL					
I-182298		ONE CALL LOCATE SERVICES	511.20			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		ONE CALL LOCATE SERVICES		601 5.810.64295	ONE-CALL	255.60
		ONE CALL LOCATE SERVICES		631 5.815.64295	ONE-CALL	255.60
		=== VENDOR TOTALS ===	511.20			
01-1497	LADEN & PEARSON P C					
I-201608302638		LEGALS (outside retainer)	97.50			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: Y		
		LEGALS (outside retainer)		334 5.760.64210	LEGAL SERVICES	97.50
		=== VENDOR TOTALS ===	97.50			
01-1	MISC					
I-201608302639		MARTENS, JAMES: METER REFUND	301.80			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		IRRIGATION METER REFUND		601 5.810.64700	REFUNDS	301.80
		=== VENDOR TOTALS ===	301.80			

PACKET: 05290 9/6/16 COUNCIL CLAIMS 6/3

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
<hr/>						
01-1522		MARTIN MARIETTA MATERIALS				
<hr/>						
I-18018585		CLASS "A" MATERIALS-STR. PATC	864.16			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		MATERIALS FOR STR. PATCHING		140 5.210.65154	STREET MAINT. SUPPLIES	864.16
		=== VENDOR TOTALS ===	864.16			
<hr/>						
01-1		MISC				
<hr/>						
I-201608302640		MAUDLIN, GABRIELLE: DEPOSIT R	390.00			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DEPOSIT RETURN - THE BARN		010 5.433.64700	REFUNDS	390.00
		=== VENDOR TOTALS ===	390.00			
<hr/>						
01-1		MISC				
<hr/>						
I-201608302641		MEFFERD, MICHELLE:DEPOSIT RET	325.00			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DEPOSIT RETURN - THE BARN		010 5.433.64700	REFUNDS	325.00
		=== VENDOR TOTALS ===	325.00			
<hr/>						
01-1		MISC				
<hr/>						
I-201608302642		MEINERS, MELISSA:DEPOSIT RETU	65.00			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DEPOSIT RETURN - THE BARN		010 5.433.64700	REFUNDS	65.00
		=== VENDOR TOTALS ===	65.00			
<hr/>						
01-2334		OFFICE DEPOT				
<hr/>						
I-6874320		VARIOUS OFFICE SUPPLIES	364.84			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		BINDERS, METAL SIGNS, INK STAMP		601 5.810.65160	OFFICE SUPPLIES	28.78
		BINDERS, METAL SIGNS, INK STAMP		631 5.815.65160	OFFICE SUPPLIES	157.04
		BINDERS, METAL SIGNS, INK STAMP		010 5.210.65160	OFFICE SUPPLIES	157.04
		BINDERS, METAL SIGNS, INK STAMP		140 5.210.65136	MISCELLANEOUS SUPPLIES	21.98
		=== VENDOR TOTALS ===	364.84			

PACKET: 05290 9/6/16 COUNCIL CLAIMS 6/3

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

-----ID-----			GROSS	P.O. #		
POST DATE	BANK CODE	-----DESCRIPTION-----	DISCOUNT	G/L ACCOUNT	-----ACCOUNT NAME-----	DISTRIBUTION
-----						
01-1661	PRAXAIR DISTRIBUTION INC					
I-73915147-6/30		RENTAL OF OXYGEN TANKS	48.20			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		RENTAL OF OXYGEN TANKS		010 5.160.65172	EMS SUPPLIES	48.20
=== VENDOR TOTALS ===			48.20			
-----						
01-1723	SENECA COMPANIES					
I-1179113 RI		DECALS FOR FUEL PUMPS	30.81			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DECALS FOR FUEL PUMPS		010 5.210.65120	BLDG & GROUNDS SUPPLIES	30.81
=== VENDOR TOTALS ===			30.81			
-----						
01-1747	SPRAYER SPECIALTIES INC					
I-0970244-IN		SPRAY WAND & FITTINGS	22.56			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		SPRAY WAND & FITTINGS		010 5.430.65136	MISCELLANEOUS SUPPLIES	22.56
=== VENDOR TOTALS ===			22.56			
-----						
01-1760	STIVERS FORD INC					
I-839890		WEATHER STRIP SEAL	20.72			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		WEATHER STRIP SEAL		140 5.210.65142	VEHICLE MAINT. SUPPLIES	20.72
I-840017		TPMS SENSORS	116.84			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		TPMS SENSORS		140 5.210.65142	VEHICLE MAINT. SUPPLIES	116.84
=== VENDOR TOTALS ===			137.56			
-----						
01-1	MISC					
I-201608302643		WEST, LINDSAY:DEPOSIT RETURN	292.50			
6/30/2016	AP	DUE: 9/06/2016 DISC: 9/06/2016		1099: N		
		DEPOSIT RETURN - THE BARN		010 5.433.64700	REFUNDS	292.50
=== VENDOR TOTALS ===			292.50			
=== PACKET TOTALS ===			341,607.04			

PACKET: 05290 9/6/16 COUNCIL CLAIMS 6/3

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

**\*\* T O T A L S \*\***

INVOICE TOTALS 341,607.04  
 DEBIT MEMO TOTALS 0.00  
 CREDIT MEMO TOTALS 0.00

BATCH TOTALS 341,607.04

**\*\* G/L ACCOUNT TOTALS \*\***

BANK	YEAR	ACCOUNT	NAME	AMOUNT	=====LINE ITEM=====				=====GROUP BUDGET=====	
					ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG	ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG		
2015-2016		010-2020	AP PENDING (DUE TO POOL)	22,440.94-*						
		010-5.110.64173	SOFTWARE & TECH SERVICES	297.98	14,524	867.26- Y				
		010-5.160.65172	EMS SUPPLIES	48.20	40,000	25,767.09- Y				
		010-5.210.65120	BLDG & GROUNDS SUPPLIES	30.81	5,000	309.12- Y				
		010-5.210.65160	OFFICE SUPPLIES	157.04	1,600	111.63- Y				
		010-5.430.64170	CONSULTANT	1,841.32	4,000	4,726.07- Y				
		010-5.430.65126	TRAIL MAINT SUPPLIES	88.55	6,000	2,749.88				
		010-5.430.65136	MISCELLANEOUS SUPPLIES	22.56	4,000	1,497.79				
		010-5.433.64700	REFUNDS	1,592.50	22,000	3,476.25- Y				
		010-5.535.64130	EROSION CONTROL SERVICE	688.50	5,000	264.50				
		010-5.540.64170	CONSULTANT	17,375.50	0	17,375.50- Y				
		010-5.615.67180	I.T. HARDWARE/SOFTWARE	297.98	10,500	3,453.09				
		125-2020	AP PENDING (DUE TO POOL)	4,461.50-*						
		125-5.521.64210	CONSULTANT & PROFESSIONA	4,461.50	50,000	13,297.54				
		140-2020	AP PENDING (DUE TO POOL)	12,028.78-*						
		140-5.210.65136	MISCELLANEOUS SUPPLIES	102.26	13,000	1,831.94- Y				
		140-5.210.65142	VEHICLE MAINT. SUPPLIES	137.56	11,000	502.78- Y				
		140-5.210.65154	STREET MAINT. SUPPLIES	864.16	120,000	4,358.07				
		140-5.240.65154	TRAFFIC PAINT	10,924.80	15,000	4,075.20				
		315-2020	AP PENDING (DUE TO POOL)	1,274.32-*						
		315-5.760.64170	ENGINEERING	1,274.32	0	43,424.01- Y				
		316-2020	AP PENDING (DUE TO POOL)	5,058.11-*						
		316-5.760.64170	ENGINEERING	5,058.11	139,600	25,260.28				
		325-2020	AP PENDING (DUE TO POOL)	3,779.20-*						
		325-5.730.64170	ENGINEERING	3,779.20	145,000	45,465.10				
		334-2020	AP PENDING (DUE TO POOL)	122,115.21-*						
		334-5.760.64170	ENGINEERING	122,017.71	500,000	132,592.41- Y				
		334-5.760.64210	LEGAL SERVICES	97.50	5,375	119.81- Y				
		335-2020	AP PENDING (DUE TO POOL)	2,992.06-*						
		335-5.760.64170	ENGINEERING	2,992.06	15,158	8,863.35- Y				
		342-2020	AP PENDING (DUE TO POOL)	3,090.38-*						

PACKET: 05290 9/6/16 COUNCIL CLAIMS 6/3

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* G/L ACCOUNT TOTALS \*\*

BANK	YEAR	ACCOUNT	NAME	AMOUNT	ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG	ANNUAL BUDGET	BUDGET OVER AVAILABLE BUDG
		342-5.770.64170	ENGINEERING	3,090.38	50,000	72,353.02- Y		
		346-2020	AP PENDING (DUE TO POOL)	155,905.16-*				
		346-5.760.64170	ENGINEERING	155,905.16	150,000	17,029.46- Y		
		350-2020	AP PENDING (DUE TO POOL)	6,859.06-*				
		350-5.770.64170	ENGINEERING	6,859.06	7,000	6,355.96- Y		
		601-2020	AP PENDING (DUE TO POOL)	586.18-*				
		601-5.810.64295	ONE-CALL	255.60	3,000	383.33		
		601-5.810.64700	REFUNDS	301.80	13,000	6,419.36- Y		
		601-5.810.65160	OFFICE SUPPLIES	28.78	9,500	1,373.43		
		631-2020	AP PENDING (DUE TO POOL)	412.64-*				
		631-5.815.64295	ONE-CALL	255.60	3,000	383.33		
		631-5.815.65160	OFFICE SUPPLIES	157.04	8,000	115.02- Y		
		638-2020	AP PENDING (DUE TO POOL)	603.50-*				
		638-5.817.64170	ENGINEERING	603.50	5,000	128.99		
		999-1330	DUE FROM OTHER FUNDS	341,607.04 *				
			** 2015-2016 YEAR TOTALS	341,607.04				

PACKET: 05290 9/6/16 COUNCIL CLAIMS 6/3

VENDOR SET: 01 City of Johnston

SEQUENCE : ALPHABETIC

DUE TO/FROM ACCOUNTS SUPPRESSED

\*\* POSTING PERIOD RECAP \*\*

FUND	PERIOD	AMOUNT
010	6/2016	22,440.94
125	6/2016	4,461.50
140	6/2016	12,028.78
315	6/2016	1,274.32
316	6/2016	5,058.11
325	6/2016	3,779.20
334	6/2016	122,115.21
335	6/2016	2,992.06
342	6/2016	3,090.38
346	6/2016	155,905.16
350	6/2016	6,859.06
601	6/2016	586.18
631	6/2016	412.64
638	6/2016	603.50

NO ERRORS

NO WARNINGS

\*\* END OF REPORT \*\*

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

VENDOR	INVOICE#	POST DATE/ BANK	PO #	LINES	G/L ACCOUNT	DESCRIPTION	DISTR/DISC AMOUNT	INVOICE AMOUNT	VENDOR TOTAL
01-3115	BENTLEY SYSTEMS								3,824.00
	47768956	9/06/2016				BENTLEY RENEWAL		3,824.00	
	47768956	AP	15-808	1	601 5.810.62110	BENTLEY RENEWAL	3,824.00		
01-1517	MANATT'S INC								8,148.25
	821848	9/06/2016				CONCRETE PURCHA		1,493.50	
	821848	AP	15-807	1	140 5.210.65154	CONCRETE	1,493.50		
	822042	9/06/2016				CONCRETE PURCHA		2,060.00	
	822042	AP	15-807	1	140 5.210.65154	CONCRETE	2,060.00		
	822337	9/06/2016				CONCRETE PURCHA		772.50	
	822337	AP	15-807	1	140 5.210.65154	CONCRETE	772.50		
	822338	9/06/2016				CONCRETE PURCHA		240.25	
	822338	AP	15-807	2	140 5.210.65154	CONCRETE	240.25		
	822783	9/06/2016				CONCRETE PURCHA		875.50	
	822783	AP	15-807	1	140 5.210.65154	CONCRETE	875.50		
	823025	9/06/2016				CONCRETE PURCHA		163.00	
	823025	AP	15-807	2	140 5.210.65154	CONCRETE	163.00		
	823039	9/06/2016				CONCRETE PURCHA		824.00	
	823039	AP	15-807	1	140 5.210.65154	CONCRETE	824.00		
	823982	9/06/2016				CONCRETE PURCHA		535.00	
	823982	AP	15-807	2	140 5.210.65154	CONCRETE	535.00		
	824062	9/06/2016				CONCRETE PURCHA		695.25	
	824062	AP	15-807	1	140 5.210.65154	CONCRETE	695.25		
	824811	9/06/2016				CONCRETE PURCHA		489.25	
	824811	AP	15-807	1	140 5.210.65154	CONCRETE	489.25		
01-1806	ULTRAMAX								3,885.60
	158798	9/06/2016				AMMUNITION ORD		105.60	
	158798	AP	15-813	1	010 5.110.65170		105.60		
	159902	9/06/2016				AMMUNITION ORD		2,628.00	
	159902	AP	15-813	1	010 5.110.65170		2,628.00		

SEQUENCE: VENDOR NAME (ALPHA)

AUDIT REPORT

SUMMARY REPORT

VENDOR	INVOICE#	POST DATE/ BANK	PO #	LINES	G/L ACCOUNT	DESCRIPTION	DISTR/DISC AMOUNT	INVOICE AMOUNT	VENDOR TOTAL
(CONTINUED)									
	160170	9/06/2016				AMMUNITION ORD		1,152.00	
	160170	AP	15-813	1	010 5.110.65170		1,152.00		

SEQUENCE: VENDOR NAME (ALPHA)

PO RECAP

SUMMARY REPORT

PO#	VENDOR	=====	NAME =====	STAT	ORDERED	PREVIOUSLY RECEIVED/ VOIDED	CURRENTLY RECEIVED/ VOIDED	ADJUSTMENT/ VARIANCE	OUTSTANDING	TOTAL
15-808	01-3115		BENTLEY SYSTEMS, INC	R	3,824.00	0.00 0.00	3,824.00 0.00			3,824.00
15-807	01-1517		MANATT'S INC	O	92,700.00	13,215.75 0.00	8,008.25 0.00	140.00	71,688.00	93,052.00
15-813	01-1806		ULTRAMAX	P	7,456.80	1,456.00 0.00	3,885.60 0.00	807.20	2,922.40	8,264.00
**** TOTALS ****					103,980.80	14,671.75 0.00	15,717.85 0.00	140.00 807.20	74,610.40	105,140.00

SEQUENCE: VENDOR NAME (ALPHA)

P.O.'S NOT RELEASED

SUMMARY REPORT

PO#	VENDOR	=====	NAME	=====	REL.	STAT	FLAG	ORDERED	PREVIOUSLY RECEIVED/ VOIDED	CURRENTLY RECEIVED/ VOIDED	ADJUSTMENT/ VARIANCE	OUTSTANDING	TOTAL
-----	--------	-------	------	-------	------	------	------	---------	-----------------------------------	----------------------------------	-------------------------	-------------	-------

---

-----RECEIVED AND RELEASED-----

-----RECEIVED AND NOT RELEASED-----

INVOICE COUNT: 14  
TOTAL AMOUNT RECEIVED: 15,857.85  
TOTAL AMOUNT VOIDED: 0.00  
TOTAL AMOUNT PREPAID: 0.00  
TOTAL DISCOUNT: 0.00  
TOTAL AMOUNT TO PAY: 15,857.85

TOTAL AMOUNT RECEIVED: 0.00  
TOTAL AMOUNT VOIDED: 0.00

\*\*\* BANK TOTALS \*\*\*

BANK	===== NAME =====	TOTAL RECEIVED	TOTAL PREPAID	TOTAL DISCOUNT	TOTAL TO PAY
AP	WELL FARGO PAYABLES	15,857.85	0.00	0.00	15,857.85
		15,857.85	0.00	0.00	15,857.85

GENERAL LEDGER ACCOUNT TOTALS

PERIOD	G/L ACCOUNT	===== NAME =====	ENCUMBRANCE REMOVED	ACTUAL AMOUNT	=====LINE ITEM=====			=====GROUP BUDGET=====		
					ANNUAL BUDGET	BUDGET AVAIL.	OVER BUDG	ANNUAL BUDGET	BUDGET AVAIL.	OVER BUDG
9/2016	010 5.110.65170	OPERATING SUPPLIES	3,078.40	3,885.60						
		** DEPT 110 TOTAL **	3,078.40	3,885.60						
		** FUND TOTAL **	3,078.40	3,885.60						
9/2016	140 5.210.65154	STREET MAINT. SUPPLIES	8,008.25	8,148.25	120,000	34,239-	Y			
		** DEPT 210 TOTAL **	8,008.25	8,148.25						
		** FUND TOTAL **	8,008.25	8,148.25						
9/2016	601 5.810.62110	DUES, SUBSCRIPTIONS	3,824.00	3,824.00	5,500	1,381-	Y			
		** DEPT 810 TOTAL **	3,824.00	3,824.00						
		** FUND TOTAL **	3,824.00	3,824.00						
		** TOTAL **	14,910.65	15,857.85						

NUMBER OF WARNINGS: 0  
NUMBER OF ERRORS: 0

\*\* END OF REPORT \*\*

*July Billing  
Days*

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
MID AMERICAN ENERGY	6373 MERLE HAY RD - PSB	GENERAL FUND	POLICE	1,484.86
	5604 NW 87TH ST - SIREN	GENERAL FUND	EMERGENCY MANAGEMENT	9.07
	9425 NW NEWGATE	GENERAL FUND	EMERGENCY MANAGEMENT	13.43
	9001 NW BEAVER	GENERAL FUND	EMERGENCY MANAGEMENT	13.86
	7001 NW BEAVER	GENERAL FUND	EMERGENCY MANAGEMENT	8.76
	5501 NW 57TH	GENERAL FUND	EMERGENCY MANAGEMENT	8.30
	9706 VALLEY PKWY - SIREN	GENERAL FUND	EMERGENCY MANAGEMENT	14.01
	6015 NW 62ND	GENERAL FUND	FIRE	0.00
	6015 NW 62ND	GENERAL FUND	FIRE	0.00
	10225 NW 62ND AVE-STAT. 2	GENERAL FUND	FIRE	249.55
	6373 MERLE HAY RD - PSB	GENERAL FUND	FIRE	671.72
	6015 NW 62ND	GENERAL FUND	AMBULANCE	0.00
	6015 NW 62ND	GENERAL FUND	AMBULANCE	0.00
	10225 NW 62ND AVE-STAT 2	GENERAL FUND	AMBULANCE	249.55
	6373 MERLE HAY RD - PSB	GENERAL FUND	AMBULANCE	671.72
	6400 NW BEAVER DR-MAIN BLD	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	92.96
	6400 NW BEAVER-STREET SHOP	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	213.23
	6400 NW BEAVER DR BLDG A	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	0.00
	6700 MERLE HAY ROAD	GENERAL FUND	LIBRARY	3,060.43
	5225 NW 64TH	GENERAL FUND	PARKS & TRAILS	46.21
	6400 NW BEAVER-PARKS BLDG	GENERAL FUND	PARKS & TRAILS	211.68
	5820 NW 86TH	GENERAL FUND	PARKS & TRAILS	14.09
	6400 NW BEAVER DR-MAIN BLD	GENERAL FUND	PARKS & TRAILS	92.86
	5964 WINWOOD	GENERAL FUND	PARKS & TRAILS	70.87
	5701 COLUMBINE	GENERAL FUND	PARKS & TRAILS	101.95
	6400 PIONEER	GENERAL FUND	PARKS & TRAILS	0.00
	7500 NW 54TH AVE	GENERAL FUND	PARKS & TRAILS	41.11
	7376 NW 54TH AVE	GENERAL FUND	PARKS & TRAILS	7.03
	6169 NORTHGLENN BARN	GENERAL FUND	SIMPSON BARN	74.57
	6191 NORTHGLENN	GENERAL FUND	SIMPSON BARN	7.24
	6161 NORTHGLENN	GENERAL FUND	SIMPSON BARN	162.41
	6300 PIONEER	GENERAL FUND	CROWN POINT	688.01
	5625 NW 100TH	GENERAL FUND	CITY ADMINISTRATOR	0.00
	6385 MERLE HAY RD	GENERAL FUND	CITY ADMINISTRATOR	0.00
	5730 NW 64TH PLACE	GENERAL FUND	CITY ADMINISTRATOR	0.00
	<del>9402 NW 62ND AVE</del>	<del>GENERAL FUND</del>	<del>CITY ADMINISTRATOR</del>	<del>25.82</del>
	7205 NW 107TH ST	GENERAL FUND	CITY ADMINISTRATOR	14.50
	ELE. SERVICES - CITY HALL	GENERAL FUND	CITY HALL	21.14
	6221 MERLE HAY ROD	GENERAL FUND	CITY HALL	2,055.26
	7303 NW 62ND AVE	ROAD USE TAX	STREET LIGHTING	0.00
	5398 NW 86TH	ROAD USE TAX	STREET LIGHTING	17.85
	9213 NEWGATE	ROAD USE TAX	STREET LIGHTING	25.17
	8601 NW NEWGATE	ROAD USE TAX	STREET LIGHTING	99.70
	10001 NW 70TH	ROAD USE TAX	STREET LIGHTING	0.00
	8500 NW 62ND	ROAD USE TAX	STREET LIGHTING	97.19
	5402 FOXBORO	ROAD USE TAX	STREET LIGHTING	55.59
	7001 NW 62ND	ROAD USE TAX	STREET LIGHTING	0.00
	8652 CRESCENT CHASE	ROAD USE TAX	STREET LIGHTING	0.00
	8599 CHAMBERY	ROAD USE TAX	STREET LIGHTING	188.67
	8691 LYNDBURST	ROAD USE TAX	STREET LIGHTING	31.20
	6998 NW 86TH	ROAD USE TAX	STREET LIGHTING	47.90
	STREET LIGHTS	ROAD USE TAX	STREET LIGHTING	8,547.55
	6112 CRESCENT CHASE	ROAD USE TAX	STREET LIGHTING	156.17
	8599 WINDSOR	ROAD USE TAX	STREET LIGHTING	52.62
	5722 NW 86TH ST- STR. LGT	ROAD USE TAX	STREET LIGHTING	21.92
	ELE. SERVICES - TRAFFIC CA	ROAD USE TAX	TRAFFIC CONTROL	13.39

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
	7301 NW 62ND AVE	ROAD USE TAX	TRAFFIC CONTROL	0.00
	6600 NW BEAVER	ROAD USE TAX	TRAFFIC CONTROL	25.84
	6748 NW 86TH	ROAD USE TAX	TRAFFIC CONTROL	7.10
	5171 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	24.72
	6150 NW BEAVER	ROAD USE TAX	TRAFFIC CONTROL	14.26
	6198 NW 86TH	ROAD USE TAX	TRAFFIC CONTROL	18.77
	6705 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	12.13
	5401 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	17.28
	6203 NW 62ND	ROAD USE TAX	TRAFFIC CONTROL	12.27
	5561 NW 86TH ST	ROAD USE TAX	TRAFFIC CONTROL	23.44
	5988 NW 100TH ST FL	ROAD USE TAX	TRAFFIC CONTROL	7.09
	7098 NW 70TH	ROAD USE TAX	TRAFFIC CONTROL	21.54
	5862 NW 62ND	ROAD USE TAX	TRAFFIC CONTROL	43.99
	5201 NW 86TH	ROAD USE TAX	TRAFFIC CONTROL	24.27
	5801 NW 70TH	ROAD USE TAX	TRAFFIC CONTROL	27.92
	6503 NW 62ND	ROAD USE TAX	TRAFFIC CONTROL	69.36
	6191 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	15.81
	5603 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	26.38
	5923 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	19.00
	5398 NW BEAVER	ROAD USE TAX	TRAFFIC CONTROL	13.04
	5748 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	23.40
	5827 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	24.99
	7249 NW 54TH AVE	ROAD USE TAX	TRAFFIC CONTROL	7.03
	7887 NW 62ND AVE-TUNNEL LI	ROAD USE TAX	TRAFFIC CONTROL	47.24
	7418 NW 62ND AVE - SURV. C	ROAD USE TAX	TRAFFIC CONTROL	10.00
	6198 NW 100TH ST - SIGNAL	ROAD USE TAX	TRAFFIC CONTROL	16.40
	5134 MERLE HAY ROAD	WATER O/M	WATER	39.02
	7789 NW BEAVER	WATER O/M	WATER	2,410.60
	6144 NW 86TH	WATER O/M	WATER	109.18
	6900 PIONEER	WATER O/M	WATER	79.59
	5625 NW 100TH	WATER O/M	WATER	25.73
	6640 MERLE HAY RD	WATER O/M	WATER	992.75
	5102 NW BEAVER	WATER O/M	WATER	0.00
	7821 NW 54TH	WATER O/M	WATER	1,891.05
	6600 NW BEAVER	WATER O/M	WATER	8.00
	6400 NW BEAVER DR-MAIN BLD	WATER O/M	WATER	92.86
	5136 MERLE HAY ROAD	WATER O/M	WATER	7.03
	6400 NW BEAVER DR - WTR/SW	WATER O/M	WATER	97.02
	5277 NW BEAVER	WATER O/M	WATER	9.36
	8688 NW BEAVER DR - PUMP	WATER O/M	WATER	19.24
	8418 LAKEVIEW	SEWER O/M	WASTEWATER	58.49
	8708 OVERLOOK CT	SEWER O/M	WASTEWATER	61.31
	6400 NW BEAVER DR-MAIN BLD	SEWER O/M	WASTEWATER	92.85
	8716 NW 84TH	SEWER O/M	WASTEWATER	227.03
	6400 NW BEAVER DR - WTR/SW	SEWER O/M	WASTEWATER	97.02
	5817 WINWOOD	SEWER O/M	WASTEWATER	0.00
	6601 NW BEAVER	SEWER O/M	WASTEWATER	36.49
	7605 NW 107TH STREET	SEWER O/M	WASTEWATER	0.00
	8414 LAKEVIEW DRIVE	SEWER O/M	WASTEWATER	8.08
	7605 NW 107TH STREET	SEWER O/M	WASTEWATER	42.42
	10628 CANTERBURY PL-LIFT S	SEWER O/M	WASTEWATER	33.69
			TOTAL:	26,742.99



*June*

*Billing Days*

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
MID AMERICAN ENERGY	6373 MERLE HAY RD - PSB	GENERAL FUND	POLICE	404.07
	5604 NW 87TH ST - SIREN	GENERAL FUND	EMERGENCY MANAGEMENT	3.96
	9425 NW NEWGATE	GENERAL FUND	EMERGENCY MANAGEMENT	5.76
	9001 NW BEAVER	GENERAL FUND	EMERGENCY MANAGEMENT	5.94
	7001 NW BEAVER	GENERAL FUND	EMERGENCY MANAGEMENT	3.78
	5501 NW 57TH	GENERAL FUND	EMERGENCY MANAGEMENT	3.51
	9706 VALLEY PKWY - SIREN	GENERAL FUND	EMERGENCY MANAGEMENT	6.03
	6015 NW 62ND	GENERAL FUND	FIRE	0.00
	6015 NW 62ND	GENERAL FUND	FIRE	0.00
	10225 NW 62ND AVE-STAT. 2	GENERAL FUND	FIRE	106.97
	6373 MERLE HAY RD - PSB	GENERAL FUND	FIRE	404.07
	6015 NW 62ND	GENERAL FUND	AMBULANCE	0.00
	6015 NW 62ND	GENERAL FUND	AMBULANCE	0.00
	10225 NW 62ND AVE-STAT 2	GENERAL FUND	AMBULANCE	106.96
	6373 MERLE HAY RD - PSB	GENERAL FUND	AMBULANCE	404.07
	6400 NW BEAVER DR-MAIN BLD	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	39.81
	6400 NW BEAVER-STREET SHOP	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	91.44
	6400 NW BEAVER DR BLDG A	GENERAL FUND	ROADS, BRIDGES, SIDEWALK	0.00
	6700 MERLE HAY ROAD	GENERAL FUND	LIBRARY	1,311.57
	5225 NW 64TH	GENERAL FUND	PARKS & TRAILS	19.05
	6400 NW BEAVER-PARKS BLDG	GENERAL FUND	PARKS & TRAILS	90.72
	5820 NW 86TH	GENERAL FUND	PARKS & TRAILS	6.03
	6400 NW BEAVER DR-MAIN BLD	GENERAL FUND	PARKS & TRAILS	39.80
	5964 WINWOOD	GENERAL FUND	PARKS & TRAILS	30.33
	5701 COLUMBINE	GENERAL FUND	PARKS & TRAILS	43.65
	6400 PIONEER	GENERAL FUND	PARKS & TRAILS	0.00
	7500 NW 54TH AVE	GENERAL FUND	PARKS & TRAILS	17.64
	7376 NW 54TH AVE	GENERAL FUND	PARKS & TRAILS	2.97
	6169 NORTHGLENN BARN	GENERAL FUND	SIMPSON BARN	31.95
	6191 NORTHGLENN	GENERAL FUND	SIMPSON BARN	3.15
	6161 NORTHGLENN	GENERAL FUND	SIMPSON BARN	69.66
	6300 PIONEER	GENERAL FUND	CROWN POINT	294.84
	5625 NW 100TH	GENERAL FUND	CITY ADMINISTRATOR	0.00
	6385 MERLE HAY RD	GENERAL FUND	CITY ADMINISTRATOR	0.00
	5730 NW 64TH PLACE	GENERAL FUND	CITY ADMINISTRATOR	0.00
	9402 NW 62ND AVE	GENERAL FUND	CITY ADMINISTRATOR	11.07
	7205 NW 107TH ST	GENERAL FUND	CITY ADMINISTRATOR	6.30
	6221 MERLE HAY ROD	GENERAL FUND	CITY HALL	816.45
	7303 NW 62ND AVE	ROAD USE TAX	STREET LIGHTING	0.00
	5398 NW 86TH	ROAD USE TAX	STREET LIGHTING	7.65
	9213 NEWGATE	ROAD USE TAX	STREET LIGHTING	75.27
	8601 NW NEWGATE	ROAD USE TAX	STREET LIGHTING	42.75
	10001 NW 70TH	ROAD USE TAX	STREET LIGHTING	0.00
	8500 NW 62ND	ROAD USE TAX	STREET LIGHTING	41.76
	5402 FOXBORO	ROAD USE TAX	STREET LIGHTING	23.85
	7001 NW 62ND	ROAD USE TAX	STREET LIGHTING	0.00
	8652 CRESCENT CHASE	ROAD USE TAX	STREET LIGHTING	0.00
	8599 CHAMBERY	ROAD USE TAX	STREET LIGHTING	80.91
	8691 LYNDBURST	ROAD USE TAX	STREET LIGHTING	13.41
	6998 NW 86TH	ROAD USE TAX	STREET LIGHTING	20.52
	STREET LIGHTS	ROAD USE TAX	STREET LIGHTING	9,768.48
	6112 CRESCENT CHASE	ROAD USE TAX	STREET LIGHTING	66.96
	8599 WINDSOR	ROAD USE TAX	STREET LIGHTING	22.59
	5722 NW 86TH ST- STR. LGT	ROAD USE TAX	STREET LIGHTING	9.36
	7301 NW 62ND AVE	ROAD USE TAX	TRAFFIC CONTROL	0.00
	6600 NW BEAVER	ROAD USE TAX	TRAFFIC CONTROL	11.16

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
	6748 NW 86TH	ROAD USE TAX	TRAFFIC CONTROL	3.15
	5171 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	10.62
	6150 NW BEAVER	ROAD USE TAX	TRAFFIC CONTROL	6.21
	6198 NW 86TH	ROAD USE TAX	TRAFFIC CONTROL	8.10
	6705 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	5.31
	5401 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	7.38
	6203 NW 62ND	ROAD USE TAX	TRAFFIC CONTROL	5.31
	5561 NW 86TH ST	ROAD USE TAX	TRAFFIC CONTROL	9.99
	5988 NW 100TH ST FL	ROAD USE TAX	TRAFFIC CONTROL	3.06
	7098 NW 70TH	ROAD USE TAX	TRAFFIC CONTROL	9.27
	5862 NW 62ND	ROAD USE TAX	TRAFFIC CONTROL	18.81
	5201 NW 86TH	ROAD USE TAX	TRAFFIC CONTROL	10.35
	5801 NW 70TH	ROAD USE TAX	TRAFFIC CONTROL	11.97
	6503 NW 62ND	ROAD USE TAX	TRAFFIC CONTROL	29.79
	6191 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	6.84
	5603 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	11.34
	5923 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	8.19
	5398 NW BEAVER	ROAD USE TAX	TRAFFIC CONTROL	5.58
	5748 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	10.08
	5827 MERLE HAY ROAD	ROAD USE TAX	TRAFFIC CONTROL	10.71
	7249 NW 54TH AVE	ROAD USE TAX	TRAFFIC CONTROL	2.97
	7887 NW 62ND AVE-TUNNEL LI	ROAD USE TAX	TRAFFIC CONTROL	20.34
	7418 NW 62ND AVE - SURV. C	ROAD USE TAX	TRAFFIC CONTROL	4.23
	6198 NW 100TH ST - SIGNAL	ROAD USE TAX	TRAFFIC CONTROL	7.02
	5134 MERLE HAY ROAD	WATER O/M	WATER	16.83
	7789 NW BEAVER	WATER O/M	WATER	74.56
	6144 NW 86TH	WATER O/M	WATER	46.89
	6900 PIONEER	WATER O/M	WATER	34.20
	5625 NW 100TH	WATER O/M	WATER	10.98
	6640 MERLE HAY RD	WATER O/M	WATER	425.52
	5102 NW BEAVER	WATER O/M	WATER	0.00
	7821 NW 54TH	WATER O/M	WATER	810.45
	6600 NW BEAVER	WATER O/M	WATER	3.42
	6400 NW BEAVER DR-MAIN BLD	WATER O/M	WATER	39.80
	5136 MERLE HAY ROAD	WATER O/M	WATER	2.97
	<del>6400 NW BEAVER DR - WTR/SW</del>	<del>WATER O/M</del>	<del>WATER</del>	<del>41.58</del>
	5277 NW BEAVER	WATER O/M	WATER	3.96
	8688 NW BEAVER DR - PUMP	WATER O/M	WATER	8.19
	8418 LAKEVIEW	SEWER O/M	WASTEWATER	25.02
	8708 OVERLOOK CT	SEWER O/M	WASTEWATER	26.28
	6400 NW BEAVER DR-MAIN BLD	SEWER O/M	WASTEWATER	39.80
	8716 NW 84TH	SEWER O/M	WASTEWATER	97.29
	6400 NW BEAVER DR - WTR/SW	SEWER O/M	WASTEWATER	41.58
	5817 WINWOOD	SEWER O/M	WASTEWATER	0.00
	6601 NW BEAVER	SEWER O/M	WASTEWATER	15.66
	7605 NW 107TH STREET	SEWER O/M	WASTEWATER	0.00
	8414 LAKEVIEW DRIVE	SEWER O/M	WASTEWATER	3.42
	7605 NW 107TH STREET	SEWER O/M	WASTEWATER	18.18
	10628 CANTERBURY PL-LIFT S	SEWER O/M	WASTEWATER	14.49
			TOTAL:	16,593.91

<u>VENDOR NAME</u>	<u>DESCRIPTION</u>	<u>FUND</u>	<u>DEPARTMENT</u>	<u>AMOUNT</u>
--------------------	--------------------	-------------	-------------------	---------------

## ===== FUND TOTALS =====

010	GENERAL FUND	4,381.55		
140	ROAD USE TAX	10,411.29		
601	WATER O/M	1,519.35		
631	SEWER O/M	281.72		

---

	GRAND TOTAL:	16,593.91		
--	--------------	-----------	--	--

---

TOTAL PAGES: 3

VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
BANKERS TRUST	2016A REGISTRAR INITIAL FE	2016A \$7,695M OF \$	COMBIN/TRAILS BEAVER D	250.00
			TOTAL:	250.00

===== FUND TOTALS =====			
278	2016A \$7,695M OF \$8,521M		250.00
GRAND TOTAL:			250.00

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
-----										
01-1070	WELLS FARGO									
C	201608172627	PAYPAL RETURN G/L ACCOUNT	AP		R	7/05/2016		275.00CR 275.00CR	275.00	
	010 5.410.67250	OFFICE EQUIPMENT						275.00CR	RETURN - MTG. ROOM AMP	
I	0010-6875-6066-304	PAYPAL INTERNATIONAL G/L ACCOUNT	AP		R	8/11/2016		250.00 250.00	250.00CR	
	010 5.150.62300	FIRE TRAINING					250.00	IAAI REGISTRATION FEE		
I	0521390	AG EXPRESS ELECTRONICS G/L ACCOUNT	AP		R	8/11/2016		399.00 399.00	399.00CR	
	140 5.210.65136	MISCELLANEOUS SUPPLIES					399.00	WIRE/CONNECTORS FOR BRINE SHED		
I	10025671288	JOANN STORES.COM G/L ACCOUNT	AP		R	8/11/2016		101.63 101.63	101.63CR	
	170 5.440.65136	SENIOR CITIZENS SUPPLIES					101.63	YARN FOR SENIORS SEWING CLUB		
I	102-6301183-904904	AMAZON.COM G/L ACCOUNT	AP		R	8/11/2016		1,173.98 1,173.98	1,173.98CR	
	010 5.615.65140	MINOR EQUIPMENT					1,173.98	SHREDDER		
I	103-3423043-797063	AMAZON.COM G/L ACCOUNT	AP		R	8/11/2016		59.84 59.84	59.84CR	
	010 5.430.65171	SAFETY SUPPLIES					59.84	EARMUFFS & SAFETY GOGGLES		
I	109-6025548-917945	AMAZON.COM G/L ACCOUNT	AP		R	8/11/2016		35.86 35.86	35.86CR	
	010 5.150.65170	OPERATING SUPPLIES					35.86	WTR FILTERS FOR REFRIGERATOR		
I	109-6381064-010426	AMAZON.COM G/L ACCOUNT	AP		R	8/11/2016		51.75 51.75	51.75CR	
	010 5.150.65170	OPERATING SUPPLIES					51.75	HAND CLEANER & LIGHT BULBS		
I	111-5079452-345383	AMAZON.COM G/L ACCOUNT	AP		R	8/11/2016		79.25 79.25	79.25CR	
	170 5.440.65136	SENIOR CITIZENS SUPPLIES					79.25	TENNIS BALLS FOR SENIOR CENTER		
I	111-6287926-394660	AMAZON.COM G/L ACCOUNT	AP		R	8/11/2016		77.00 77.00	77.00CR	
	010 5.430.65120	BLDG & GROUNDS SUPPLIES					77.00	WALL CLOCK FOR CROWN POINT		
I	130120	IA TURFGRASS INSTITUTE G/L ACCOUNT	AP		R	8/11/2016		130.00 130.00	130.00CR	
	010 5.430.62300	TRAINING					130.00	TURFGRASS CONF. REGISTRATION		
I	1832650-92820257	BLAUER TACTICAL SYSTEMS G/L ACCOUNT	AP		R	8/11/2016		675.00 675.00	675.00CR	
	010 5.110.62300	TRAINING					675.00	INSTRUCTOR CERTIFICATION-HANSS		

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
I 1Z2R8E294205759613		UPS STORE	AP		R	8/11/2016		130.08	130.08CR	
		G/L ACCOUNT						130.08		
	631 5.815.65180	POSTAGE & SHIPPING					130.08	SHIPPING CHARGES-CAMERA REPAIR		
I 2-64879		INLAND TRUCK PARTS & SERVIC	AP		R	8/11/2016		939.47	939.47CR	
		G/L ACCOUNT						939.47		
	601 5.810.65142	VEHICLE MAINT. SUPPLIES					469.73	REPAIR BROKEN CHASSIS SPRING		
	631 5.815.65142	VEHICLE MAINT. SUPPLIES					469.74	REPAIR BROKEN CHASSIS SPRING		
I 20-025939960		FRED PRYOR SEMINARS	AP		R	8/11/2016		99.00	99.00CR	
		G/L ACCOUNT						99.00		
	010 5.110.62300	TRAINING					99.00	EXCEL TRAINING - COGIL		
I 200416		TRANSPORTATION SAFETY APPAR	AP		R	8/11/2016		152.63	152.63CR	
		G/L ACCOUNT						152.63		
	010 5.110.65170	OPERATING SUPPLIES					152.63	SAFETY VEST - PATROL		
I 201608082520		UNITED, TOWN/COUNTRY RESORT	AP		R	8/11/2016		1,456.93	1,456.93CR	
		G/L ACCOUNT						1,456.93		
	010 5.540.62400	TRAVEL					1,456.93	TRAVEL EXPENSES- ESRI CONFEREN		
I 201608082521		UNITED AIRLINES/EXPEDIA	AP		R	8/11/2016		1,640.86	1,640.86CR	
		G/L ACCOUNT						1,640.86		
	010 5.610.62400	TRAVEL					1,640.86	KOSOVO FLIGHT - ASWEGAN		
I 201608082522		KUM & GO IN JOHNSTON	AP		R	8/11/2016		36.68	36.68CR	
		G/L ACCOUNT						36.68		
	010 5.110.65144	VEHICLE OPERATION SUPPLIES					36.68	FUEL PURCHASE		
I 201608082523		CASEY'S IN JOHNSTON	AP		R	8/11/2016		92.05	92.05CR	
		G/L ACCOUNT						92.05		
	010 5.430.65144	VEHICLE OPERATION SUPPLIES					92.05	GAS FOR MOWERS		
I 201608082524		HOBBY-LOBBY	AP		R	8/11/2016		76.17	76.17CR	
		G/L ACCOUNT						76.17		
	170 5.440.65136	SENIOR CITIZENS SUPPLIES					76.17	YARN FOR SENIOR SEWERS		
I 201608082526		WALMART	AP		R	8/11/2016		102.71	102.71CR	
		G/L ACCOUNT						102.71		
	010 5.150.65170	OPERATING SUPPLIES					51.35	CLEANING SUPPLIES- STAT. 40		
	010 5.160.65170	OPERATING SUPPLIES					51.36	CLEANING SUPPLIES- STAT. 40		
I 201608082527		HOME DEPOT	AP		R	8/11/2016		67.12	67.12CR	
		G/L ACCOUNT						67.12		
	010 5.150.63110	MAINT. BUILDINGS & GROUNDS					67.12	SPRING HINGE FOR STAT. 40		
I 201608082528		TARGET	AP		R	8/11/2016		47.65	47.65CR	
		G/L ACCOUNT						47.65		
	170 5.440.65136	SENIOR CITIZENS SUPPLIES					47.65	STORAGE CART FOR SEWING ROOM		

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
I	201608082529	LIED LODGE & CONFERENCE CEN AP G/L ACCOUNT 010 5.430.62400 TRAVEL	AP		R	8/11/2016		133.33 133.33 133.33	133.33CR	
								LOGGING-ARBOR CONVENTION-IRWIN		
I	201608082530	MCDONALD'S G/L ACCOUNT 010 5.430.62400 TRAVEL	AP		R	8/11/2016		8.68 8.68 8.68	8.68CR	
								MEAL-ARBOR CONVENTION-IRWIN		
I	201608082531	CASEY'S IN JOHNSTON G/L ACCOUNT 010 5.430.65144 VEHICLE OPERATION SUPPLIES	AP		R	8/11/2016		40.90 40.90 40.90	40.90CR	
								GAS FOR MOWERS		
I	201608082532	CASEY'S IN JOHNSTON G/L ACCOUNT 010 5.430.65144 VEHICLE OPERATION SUPPLIES	AP		R	8/11/2016		19.50 19.50 19.50	19.50CR	
								GAS FOR MOWERS		
I	201608082533	CASEY'S IN JOHNSTON G/L ACCOUNT 010 5.430.65144 VEHICLE OPERATION SUPPLIES	AP		R	8/11/2016		52.50 52.50 52.50	52.50CR	
								GAS FOR MOWERS		
I	201608082534	HY-VEE IN JOHNSTON G/L ACCOUNT 170 5.440.65136 SENIOR CITIZENS SUPPLIES	AP		R	8/11/2016		169.60 169.60 169.60	169.60CR	
								CUPS FOR SENIOR PROGRAMS		
I	201608082535	HY-VEE IN JOHNSTON G/L ACCOUNT 170 5.440.65136 SENIOR CITIZENS SUPPLIES	AP		R	8/11/2016		63.54 63.54 63.54	63.54CR	
								LEMONADE FOR SENIOR PROGRAMS		
I	201608082536	BUCKY'S EXPRESS G/L ACCOUNT 010 5.430.62400 TRAVEL	AP		R	8/11/2016		4.88 4.88 4.88	4.88CR	
								MEAL-ARBOR CONVENTION-IRWIN		
I	201608082537	MEDIACOM G/L ACCOUNT 010 5.150.64290 TELECOMMUNICATIONS 010 5.160.64290 TELECOMMUNICATIONS	AP		R	8/11/2016		119.00 119.00 59.50 59.50	119.00CR	
								INTERNET FOR STAT. 40 INTERNET FOR STAT. 40		
I	201608122572	PARTY CITY, GUSTO PIZZA, 12 AP G/L ACCOUNT 010 5.410.65304 ADULT PROGRAM SUPPLIES	AP		R	8/11/2016		102.43 102.43 102.43	102.43CR	
								BOOKCLUB TREATS, PROG. SUPPLIE		
I	201608122573	NATIONAL REC. AND PARK ASSO AP G/L ACCOUNT 010 5.430.62110 DUES, SUBSCRIPTIONS	AP		R	8/11/2016		165.00 165.00 165.00	165.00CR	
								2016/17 NRPA MEMBER DUES		
I	201608122574	HY-VEE IN JOHNSTON G/L ACCOUNT 010 5.430.65136 MISCELLANEOUS SUPPLIES	AP		R	8/11/2016		6.99 6.99 6.99	6.99CR	
								BREAKROOM SUPPLIES		

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
I 201608122575		CASEY'S IN JOHNSTON G/L ACCOUNT	AP		R	8/11/2016		58.38 58.38	58.38CR	
	010 5.430.65144	VEHICLE OPERATION SUPPLIES					58.38	GAS FOR MOWERS		
I 201608122576		AMAZON.COM G/L ACCOUNT	AP		R	8/11/2016		380.64 380.64	380.64CR	
	010 5.615.67180	I.T. HARDWARE/SOFTWARE					380.64	NETWRK SWITCH, PORT REPLICATORS		
I 201608122577		IA DEPT. PUBLIC SAFETY G/L ACCOUNT	AP		R	8/11/2016		200.00 200.00	200.00CR	
	010 5.615.64205	MISCELLANEOUS SERVICE					200.00	DCI BACKGROUND CHECKS ACCT.		
I 201608122578		CARBONITE BACKUP G/L ACCOUNT	AP		R	8/11/2016		59.99 59.99	59.99CR	
	010 5.615.64205	MISCELLANEOUS SERVICE					59.99	NETWORK BACKUP SUBSCRIPTION		
I 201608122579		FIREHOUSE G/L ACCOUNT	AP		R	8/11/2016		520.00 520.00	520.00CR	
	010 5.150.64120	ADS & LEGAL PUBLICATIONS					260.00	FEATURED JOB LISTING (Chief)		
	010 5.160.64120	ADS & LEGAL PUBLICATIONS					260.00	FEATURED JOB LISTING (Chief)		
I 201608122580		CASEY'S G/L ACCOUNT	AP		R	8/11/2016		4.99 4.99	4.99CR	
	010 5.160.65170	OPERATING SUPPLIES					4.99	ICE (rehab for firefighters)		
I 201608122581		CASEY'S G/L ACCOUNT	AP		R	8/11/2016		46.85 46.85	46.85CR	
	010 5.430.65144	VEHICLE OPERATION SUPPLIES					46.85	GAS FOR MOWERS		
I 201608122582		BIAGGIS G/L ACCOUNT	AP		R	8/11/2016		13.59 13.59	13.59CR	
	010 5.430.62400	TRAVEL					13.59	PRKS/REC DIRECTORS MTG. MEAL		
I 201608152583		WINDSTREAM G/L ACCOUNT	AP		R	8/11/2016		2,890.76 2,890.76	2,890.76CR	
	010 5.110.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.150.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.160.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.210.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.410.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.430.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.535.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.540.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.615.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.619.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	010 5.621.64303	INTERNET SERVICES					222.36	FIBER OPTIC SERVICES		
	601 5.810.64303	INTERNET SERVICES					222.40	FIBER OPTIC SERVICES		

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
		631 5.815.64303						222.40		FIBER OPTIC SERVICES
I 201608152584		GROUPON, INC G/L ACCOUNT	AP		R	8/11/2016		68.99	68.99CR	
		010 5.617.65140						68.99		CANVAS PRINT FOR CONF. ROOM
I 201608152585		WINDSOR VACUUM G/L ACCOUNT	AP		R	8/11/2016		53.00	53.00CR	
		010 5.435.65136						53.00		VACUUM CLEANER PLATE
I 201608152586		CASEY'S IN JOHNSTON G/L ACCOUNT	AP		R	8/11/2016		31.34	31.34CR	
		010 5.430.65144						31.34		GAS FOR MOWERS
I 201608152587		AMERICAN & EXPEDIA G/L ACCOUNT	AP		R	8/11/2016		361.20	361.20CR	
		010 5.617.62400						361.20		FLIGHT/BOOKING FEE- 3CMA CONF,
I 201608152588		COSTCO G/L ACCOUNT	AP		R	8/11/2016		76.80	76.80CR	
		340 5.764.65136						76.80		SUPPLIES- DONOR APPREC. DINNER
I 201608152589		ICMA ONLINE PURCHASES G/L ACCOUNT	AP		R	8/11/2016		260.37	260.37CR	
		010 5.150.62110						130.18		FIRE CHIEF AD
		010 5.160.62110						130.19		FIRE CHIEF AD
I 201608152590		HY-VEE IN JOHNSTON G/L ACCOUNT	AP		R	8/11/2016		51.41	51.41CR	
		010 5.615.65136						51.41		REFRESHMNTS- CHAMBER BREAKFAST
I 201608152591		HOME DEPOT G/L ACCOUNT	AP		R	8/11/2016		127.10	127.10CR	
		140 5.210.65152						127.10		INTAKE BOARDS
I 201608152592		NORTHERN TOOL G/L ACCOUNT	AP		R	8/11/2016		25.98	25.98CR	
		601 5.810.65136						25.98		PIPE WRENCHES
I 201608152593		HOME DEPOT G/L ACCOUNT	AP		R	8/11/2016		9.67	9.67CR	
		601 5.810.65136						9.67		PAINT BRUSHES FOR HYDRANTS
I 201608152594		HOME DEPOT G/L ACCOUNT	AP		R	8/11/2016		21.49	21.49CR	
		601 5.810.65136						10.74		PEST CONTROL SPRAY
		631 5.815.65136						10.75		PEST CONTROL SPRAY
I 201608152595		BOMGAARS G/L ACCOUNT	AP		R	8/11/2016		55.62	55.62CR	
		601 5.810.65136						55.62		RATCHET AND SCREW DRIVER SET

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
I 201608152596		HOME DEPOT G/L ACCOUNT 140 5.210.62110	AP		R	8/11/2016		104.54 104.54	104.54CR	
		DUES, SUBSCRIPTIONS					104.54	HOME DEPOT		
I 201608152597		HY-VEE IN JOHNSTON G/L ACCOUNT 010 5.210.65136	AP		R	8/11/2016		27.96 27.96	27.96CR	
		MISCELLANEOUS SUPPLIES					27.96	BREAKROOM SUPPLIES		
I 201608152598		HOME DEPOT G/L ACCOUNT 140 5.210.65152	AP		R	8/11/2016		161.93 161.93	161.93CR	
		STORM DRAINAGE					161.93	INTAKE SUPPLIES FOR STORMWTR		
I 201608152599		STAPLES G/L ACCOUNT 010 5.615.65160	AP		R	8/11/2016		55.64 55.64	55.64CR	
		OFFICE SUPPLIES					55.64	MARKERS & HANGING FILES		
I 201608152600		WINDSTREAM G/L ACCOUNT 010 5.430.64290	AP		R	8/11/2016		177.48 177.48	177.48CR	
		TELECOMMUNICATIONS					177.48	PHONE SERVICES - CP		
I 201608172612		OKOBOJI GRILL G/L ACCOUNT 010 5.110.64205	AP		R	8/11/2016		14.49 14.49	14.49CR	
		MISCELLANEOUS SERVICE					14.49	POLICE CHIEFS MEETING MEAL		
I 201608172613		PANERA BREAD G/L ACCOUNT 010 5.110.64205	AP		R	8/11/2016		8.46 8.46	8.46CR	
		MISCELLANEOUS SERVICE					8.46	LUNCH MTG-SCHOOL SUPERINTENDEN		
I 201608172614		INSTYLE, BIRDS/BLOOM, KIPLI G/L ACCOUNT 010 5.410.65322	AP		R	8/11/2016		72.93 72.93	72.93CR	
		PERIODICALS, NEWSPAPERS					72.93	VARIOUS MAGAZINE SUBSCRIPTIONS		
I 201608172615		UPS STORE G/L ACCOUNT 010 5.410.65180	AP		R	8/11/2016		9.71 9.71	9.71CR	
		POSTAGE					9.71	SHIPPING SERVICES - BOOK		
I 201608172616		TECHSOUP.ORG G/L ACCOUNT 010 5.410.67250	AP		R	8/11/2016		60.00 60.00	60.00CR	
		OFFICE EQUIPMENT					60.00	HOT SPOTS FOR PATRON CHECKOUT		
I 201608172617		HY-VEE IN JOHNSTON G/L ACCOUNT 010 5.410.65302	AP		R	8/11/2016		28.14 28.14	28.14CR	
		CHILDRENS PROGRAM SUPPLIES					28.14	HY-VEE IN JOHNSTON		
I 201608172618		JOHNSTON ACE HARDWARE G/L ACCOUNT 010 5.410.65120	AP		R	8/11/2016		8.46 8.46	8.46CR	
		BLDG & GROUNDS SUPPLIES					8.46	STRAP FOR BOOK DROP CART		

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
I 201608172619		WORKSMAN CYCLES	AP		R	8/11/2016		39.93	39.93CR	
		G/L ACCOUNT						39.93		
	010 5.410.65120	BLDG & GROUNDS SUPPLIES					39.93	BRAKE CALIPER FOR BOOK BIKE		
I 201608172620		FACEBOOK	AP		R	8/11/2016		77.90	77.90CR	
		G/L ACCOUNT						77.90		
	010 5.410.64120	ADS & LEGAL PUBLICATIONS					77.90	FACEBOOK ADS FOR PROGRAMS		
I 201608172621		VARIOUS VENDORS,HOME DEPOT	AP		R	8/11/2016		304.48	304.48CR	
		G/L ACCOUNT						304.48		
	010 5.410.65120	BLDG & GROUNDS SUPPLIES					304.48	CHAIR CASTERS, DISPLAY SIGNAGE		
I 201608172622		MOBLEBEACON & TING	AP		R	8/11/2016		385.00	385.00CR	
		G/L ACCOUNT						385.00		
	010 5.410.64303	INTERNET SERVICES					385.00	MOBILE HOT SPOTS		
I 201608172623		CONSUMER RPTS, CHEESE SHOP	AP		R	8/11/2016		40.99	40.99CR	
		G/L ACCOUNT						40.99		
	010 5.410.65310	LIBRARY BOOKS-ADULT					26.50	ALL ABOUT CHEESE BOOK		
	010 5.410.65310	LIBRARY BOOKS-ADULT					14.49	CONSUMER REPORTS BOOK		
I 201608172624		ORION TELESCOPES	AP		R	8/11/2016		6.95	6.95CR	
		G/L ACCOUNT						6.95		
	010 5.410.65300	PROCESSING SUPPLIES					6.95	TELESCOPE CAP		
I 201608172625		JACEY GUTKNECHT	AP		R	8/11/2016		10.00	10.00CR	
		G/L ACCOUNT						10.00		
	010 5.410.65330	C.D.'S					10.00	LOCAL MUSIC CD		
I 201608172626		DIGITAL RIVER VIA PAYPAL	AP		R	8/11/2016		888.89	888.89CR	
		G/L ACCOUNT						888.89		
	010 5.410.67250	OFFICE EQUIPMENT					888.89	VIRTUAL REALITY HEADSET		
I 201608172628		MANUFACTURERS' NEWS, INC	AP		R	8/11/2016		122.90	122.90CR	
		G/L ACCOUNT						122.90		
	010 5.410.65320	LIBRARY BOOKS-REFERENCE					122.90	IA MANUFACTURERS REGISTER BK		
I 201608172629		ORIENTAL TRADING CO.	AP		R	8/11/2016		123.10	123.10CR	
		G/L ACCOUNT						123.10		
	010 5.410.65302	CHILDRENS PROGRAM SUPPLIES					123.10	CHILDREN'S PROG. SUPPLIES/PRIZ		
I 201608172630		GARETHSTEVE	AP		R	8/11/2016		61.94	61.94CR	
		G/L ACCOUNT						61.94		
	010 5.410.65310	LIBRARY BOOKS-ADULT					61.94	ADULT LIBRARY BOOKS		
I 201608172631		THE LEARNING POST	AP		R	8/11/2016		101.69	101.69CR	
		G/L ACCOUNT						101.69		
	010 5.410.65302	CHILDRENS PROGRAM SUPPLIES					101.69	CHILDREN'S PROG, SUPPLIES		

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
I 201608172632		WALGREEN'S & BARNES & NOBLE AP G/L ACCOUNT			R	8/11/2016		160.95 160.95	160.95CR	
	010 5.410.65302	CHILDRENS PROGRAM SUPPLIES					160.95	CHILDREN'S PROG. PRIZES		
I 201673485		MID-STATES ORGANIZED CRIME AP G/L ACCOUNT			R	8/11/2016		195.00 195.00	195.00CR	
	010 5.110.62300	TRAINING					195.00	MOCIC TRAINING-HANSSSEN		
I 2714546-0516-0		WASTE MANAGEMENT AP G/L ACCOUNT			R	8/11/2016		49.65 49.65	49.65CR	
	010 5.430.63250	TRASH					49.65	TRASH COLLECTION-PARKS SHOP		
I 2825333-0516-9		WASTE MANAGEMENT AP G/L ACCOUNT			R	8/11/2016		455.47 455.47	455.47CR	
	010 5.433.63250	TRASH,RECYCLING					455.47	TRASH COLLECTION - THE BARN		
I 287266261274X06282	AT & T	AP G/L ACCOUNT			R	8/11/2016		400.74 400.74	400.74CR	
	010 5.430.64290	TELECOMMUNICATIONS					400.74	CELL PHONE SERVICES - PARKS		
I 2893		AMERICAN PUBLIC WORKS ASSOC AP G/L ACCOUNT			R	8/11/2016		799.00 799.00	799.00CR	
	140 5.210.62110	DUES, SUBSCRIPTIONS					799.00	2016 APWA PWX REGISTRATION		
I 2922		AMERICAN PUBLIC WORKS ASSOC AP G/L ACCOUNT			R	8/11/2016		799.00 799.00	799.00CR	
	140 5.210.62110	DUES, SUBSCRIPTIONS					799.00	2016 APWA PWX REGISTRATION		
I 2944129-0516-7		WASTE MANAGEMENT AP G/L ACCOUNT			R	8/11/2016		228.20 228.20	228.20CR	
	010 5.433.63250	TRASH,RECYCLING					228.20	TRASH COLLECTION - THE BARN		
I 3054844-0516-5		WASTE MANAGEMENT AP G/L ACCOUNT			R	8/11/2016		41,736.08 41,736.08	41,736.08CR	
	010 5.290.64289	GARBAGE PICK-UP					41,736.08	CITY WIDE TRASH COLLECTION		
I 30759233		METRO WASTE AUTHORITY AP G/L ACCOUNT			R	8/11/2016		224.06 224.06	224.06CR	
	140 5.210.65136	MISCELLANEOUS SUPPLIES					224.06	DISPOSAL-STR. SWEEPING DEBRIS		
I 30759234		METRO WASTE AUTHORITY AP G/L ACCOUNT			R	8/11/2016		167.82 167.82	167.82CR	
	140 5.210.65136	MISCELLANEOUS SUPPLIES					167.82	DISPOSAL-STR. SWEEPING DEBRIS		
I 37745		4 WIRE BOLT FASTENER AP G/L ACCOUNT			R	8/11/2016		12.00 12.00	12.00CR	
	601 5.810.65124	EQUIPMENT SUPPLIES					12.00	4 WIRE BOLT FASTENER		

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
I 5158		ESRI ONLINE-SOUND OF KNOWLE AP G/L ACCOUNT			R	8/11/2016		309.00 309.00	309.00CR	
	010	5.540.62300 TRAINING					309.00	ESRI CONF. MATERIALS, FLASH DR		
I 5457PRB8T03XQVT		AT & T PREMIER G/L ACCOUNT	AP		R	8/11/2016		1,479.54 1,479.54	1,479.54CR	
	010	5.210.64290 TELECOMMUNICATIONS					859.98	CELL PHONE SERVICES - PW		
	601	5.810.64290 TELECOMMUNICATIONS					309.78	CELL PHONE SERVICES - PW		
	631	5.815.64290 TELECOMMUNICATIONS					309.78	CELL PHONE SERVICES - PW		
I 63140		PARKING - APA IOWA MTG G/L ACCOUNT	AP		R	8/11/2016		6.50 6.50	6.50CR	
	010	5.540.62400 TRAVEL					6.50	PARKING - APA IOWA MTG		
I 70007117		METRO WASTE AUTHORITY G/L ACCOUNT	AP		R	8/11/2016		16,350.08 16,350.08	16,350.08CR	
	010	5.290.64222 MET WASTE,CURB-IT,TAX LEVY					16,350.08	MONTHLY CURB-IT FEE		
I 7158725528		STAPLES G/L ACCOUNT	AP		R	8/11/2016		69.11 69.11	69.11CR	
	010	5.615.65160 OFFICE SUPPLIES					69.11	FILING TABS, BINDERS & STAPLES		
I 7159487500-00001		STAPLES G/L ACCOUNT	AP		R	8/11/2016		94.52 94.52	94.52CR	
	010	5.615.65160 OFFICE SUPPLIES					79.54	BINDERS, RUBBERBANDS, SCISSORS		
	601	5.810.65160 OFFICE SUPPLIES					7.49	VOICE MAIL MESSAGE BOOK		
	631	5.815.65160 OFFICE SUPPLIES					7.49	VOICE MAIL MESSAGE BOOK		
I 7159613425-00002		STAPLES G/L ACCOUNT	AP		R	8/11/2016		49.99 49.99	49.99CR	
	010	5.621.65160 OFFICE SUPPLIES					49.99	POCKET HANGING FILES		
I 7159613425-0001		STAPLES G/L ACCOUNT	AP		R	8/11/2016		21.98 21.98	21.98CR	
	010	5.621.65160 OFFICE SUPPLIES					21.98	PRINTABLE TABS		
I 732268032		ADOBE SYSEMS, INC G/L ACCOUNT	AP		R	8/11/2016		359.88 359.88	359.88CR	
	010	5.617.65144 OPERATING SUPPLIES					359.88	DESIGN SOFTWARE		
I 853262401-001		OFFICEMAX/OFFICE DEPOT G/L ACCOUNT	AP		R	8/11/2016		62.47 62.47	62.47CR	
	010	5.430.65160 OFFICE SUPPLIES					62.47	PAPER CLIPS, TAPE, LETTER PADS		
I 853262544-001		OFFICE DEPOT G/L ACCOUNT	AP		R	8/11/2016		19.60 19.60	19.60CR	
	010	5.430.65160 OFFICE SUPPLIES					19.60	FLASH DRIVE		

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

VENDOR SEQUENCE

VENDOR	ITEM NO#	DESCRIPTION	BANK	CHECK	STAT	DUE DT	DISC DT	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
I 926572594122418-19		FACEBOOK, INC G/L ACCOUNT 010 5.617.64176	AP		R	8/11/2016		623.92 623.92 623.92	623.92CR	
		MARKETING SERVICES						FACBOOK ADS/PD RECRUITMNT VIDE		
I ASOAE6AB6AD6		ICMA ONLINE PURCHASES G/L ACCOUNT 010 5.621.62300	AP		R	8/11/2016		730.00 730.00	730.00CR	
		601 5.810.62300		TRAINING			243.34	2016 ICMA ANNUAL CONFERENCE		
		631 5.815.62300		TRAINING			243.33	2016 ICMA ANNUAL CONFERENCE		
I ASOAE6D28--8		ICMA ONLINE PURCHASES G/L ACCOUNT 010 5.615.62300	AP		R	8/11/2016		515.00 515.00	515.00CR	
		TRAINING					515.00	2016 ICMA ANNUAL CONF. REGISTR		
I INV300206120		COMPX FORT G/L ACCOUNT 010 5.160.63140	AP		R	8/11/2016		274.31 274.31	274.31CR	
		MAINTENANCE OF EQUIPMENT					274.31	E-LOCKS FOR AMBULANCE		
I R22817073		YOURMEMBER-CAREERS.COM G/L ACCOUNT 010 5.150.64120	AP		R	8/11/2016		295.00 295.00	295.00CR	
		010 5.160.64120		ADS & LEGAL PUBLICATIONS			147.50	FIRE CHIEF JOB POSTING		
				ADS & LEGAL PUBLICATIONS			147.50	FIRE CHIEF JOB POSTING		
I S9083598		NORTH AMERICAN RESCUE G/L ACCOUNT 010 5.110.65140	AP		R	8/11/2016		201.95 201.95	201.95CR	
		MINOR EQUIPMENT					201.95	TOURNIQUETS AND HOLDERS		
I kb90451		KYLE'S BIKES G/L ACCOUNT 010 5.110.65140	AP		R	8/11/2016		79.96 79.96	79.96CR	
		MINOR EQUIPMENT					79.96	KICKSTANDS FOR BIKES		
REG. CHECK								83,468.47	83,468.47CR	0.00
								83,468.47	0.00	

PACKET: 05264 8/11/2016 WELLS FARGO CLAIMS

VENDOR SET: 01

REPORT TOTALS

FUND DISTRIBUTION

FUND NO#	FUND NAME	AMOUNT
010	GENERAL FUND	77,311.07CR
140	ROAD USE TAX	2,782.45CR
170	SENIOR CITIZENS	537.84CR
340	TERRA LAKE	76.80CR
601	WATER O/M	1,366.74CR
631	SEWER O/M	1,393.57CR
** TOTALS **		83,468.47CR

---- TYPE OF CHECK TOTALS ----

	NUMBER	GROSS BALANCE	PAYMENT DISCOUNT	OUTSTANDING
HAND CHECKS		0.00	0.00	0.00
		0.00	0.00	
DRAFTS		0.00	0.00	0.00
		0.00	0.00	
REG-CHECKS		83,468.47	83,468.47CR	0.00
		83,468.47	0.00	
EFT		0.00	0.00	0.00
		0.00	0.00	
NON-CHECKS		0.00	0.00	0.00
		0.00	0.00	
ALL CHECKS		83,468.47	83,468.47CR	0.00
		83,468.47	0.00	

TOTAL CHECKS TO PRINT: 1

ERRORS: 0 WARNINGS: 0