



## **PLANNING AND ZONING COMMISSION**

### **Regular Meeting**

### **Monday, August 29, 2016**

Notice is hereby given that the **Planning and Zoning Commission** will hold a **Regular Meeting at 7:00 p.m. on Monday, August 29<sup>th</sup>, 2016**, in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road, Johnston, Iowa, to discuss the following business:

#### **AGENDA:**

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Approval of Meeting Minutes:** Regular Meeting of July 25<sup>th</sup>, 2016
- 5. PZ Case No. 16-22; Simpson Property Zoning Map Amendment:** The applicant, Simpson Enterprises, Inc. has requested an amendment to the Johnston 2030 Future Land Use Map and a rezoning of their property from A-R, Agricultural Reserve District to R-1(75) Single-Family Residential District, C-2 Community Retail Commercial District, PC Professional Commerce Park District, and R-3 Medium Density Multiple Family Residential District.
- 6. PZ Case No. 16-25; Northwoods Crossing Preliminary Plat & Final Plat:** The applicant, Simpson Enterprises, Inc. has requested a minor subdivision of the subject property to allow for property transfer of Outlot 'A'. As a minor subdivision, no extension of streets or utilities is proposed.
- 7. PZ Case No. 16-04; Wilkie Place Preliminary Plat:** The applicant, Capital City Development, LLC has submitted an amended preliminary plat that updates the original Wilkie Place Preliminary Plat to identify tree removal along the north, east, and south property boundaries.
- 8. PZ Case No. 16-23; Advantage Homes Warehouse Site Plan:** The applicant, Advantage Homes has submitted site plans for the development of a 4,000 square foot building, a 5,880 square foot building, and an 11,023 square foot outdoor storage area. The property is located on the northeast corner of NW 59th Avenue and NW 49th Street. The site is zoned M-1, Light Industrial, and is legally described as Lot 112 NW Beaver Business Park.
- 9. Other Business**
- 10. Adjournment**

**Next Scheduled Regular Meeting: Monday, September 12<sup>th</sup>, 2016.**

Posted on or before August 26<sup>th</sup>, 2016 at: Johnston City Hall, Johnston Public Library, Johnston Post Office, Johnston Public Works, Crown Point Community Center, and Johnston Website (<http://www.cityofjohnston.com/agendacenter>)



**PLANNING & ZONING COMMISSION**

City of Johnston  
6221 Merle Hay Road, Johnston, IA 50131

Minutes  
Regular Meeting: Monday, July 25, 2016

**AGENDA**

**1. Call to Order**

Chairman Petersma called the meeting to order at 7:00 p.m.

**2. Roll Call**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Present</b>			X	X	X	X	X
<b>Absent</b>	X	X					

**City Staff Present:** Aaron Wolfe, Clayton Ender, Rebekah Davis

**3. Election of Officers**

Motion by Anderson, seconded by Pavlovec to nominate Petersma as Chair and Johnson as Vice Chair.

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>			X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**4. Approval of Agenda**

Petersma called for a vote to approve the agenda.

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>			X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**5. Approval of Meeting Minutes:** Regular Meeting of June 13, 2016.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>			X	X	X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**6. PZ Case No. 16-21; Crosshaven Plat 7 Final Plat:** The applicant, Hubbell Properties I, L.L.C. (Series D and Hubbell Realty Company) is proposing to subdivide a 57.62 acre parcel into 71 lots, 1 street lot, and 2 outlots. The property is zoned PUD via ordinance 782. The Preliminary Plat for Crosshaven Plat 7 was approved March 7th, 2016. This plat will complete the development of the Crosshaven development lying south of Little beaver Creek.

Ender presented the staff report.

Petersma questioned how the requirement stated in condition #7 will be managed. Ender responded that each lot will need to certify the ditch and drainage way elevations. Wolfe clarified that once the home is built an engineer will need to certify that the ditch and drainage way elevations have been graded according to the plat. The elevation certification must be approved before a certificate of occupancy will be issued.

Motion by Anderson, second by Johnson to approve PZ Case No. 16-21; Crosshaven Plat 7 Final Plat: subject to the following conditions:

**The Planning & Zoning Commission recommends approval of PZ Case No. 16-21, the Final Plat for Crosshaven Plat 7 with the following conditions:**

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.
3. Pursuant to Chapter 180.42 of the Subdivision Regulations and Resolution 08-53, the applicant is responsible for participation in the reconstruction of NW 100th Street which may be addressed by the submission of a Petition and Waiver, such Petition and Wavier must be filed prior to the City Council's consideration of the plat.
4. All pedestrian trails required within the proposed residential lots shall be installed or bonded for prior to the City's acceptance of the public improvements for each phase of the plat.
5. Prior to City Council approval of the Final Plat, payment of the Little Beaver Creek Trunk Sewer Connection District Fee for the portion of the plat not within undevelopable outlots, which is a total of 23.11 acres in Plat 7, shall be made. The per acre fee is \$3,450 or \$79,729.50.
6. Pursuant to the PUD, a detailed management plan shall be provided with each plat for the outlot areas of the plat that are to be owned by a homeowners association, in addition, prior to City Council approval of the final plat, applicants shall provide a performance bond and maintenance bond to cover the cost of initial installation and maintenance to establish said areas as prairie.

**Prior to the issuance of a certificate of occupancy for any structure within the plat, the following items shall be completed:**

7. Pursuant to Chapter 145.05(4) the Erosion and Sediment Control Ordinance, an engineer's certification shall be provided certifying the elevation of the all designated ditch and drainage way elevations that are on or immediately adjacent to the lot under construction.
8. All structures located on lots that have a minimum protection elevations identified on the plat shall certify that the structure meets that elevation.

**Roll Call Vote:**

	<b>Spencer</b>	<b>Severino</b>	<b>Johnson</b>	<b>Smith</b>	<b>Pavlovec</b>	<b>Petersma</b>	<b>Anderson</b>
<b>Aye</b>			<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>
<b>Nay</b>							
<b>Abstain</b>							

**7. Other Business**

**8. Adjournment**

Meeting adjourned at 7:06 PM.

\_\_\_\_\_

**Chair**

\_\_\_\_\_

**Secretary**



# Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT  
August 29, 2016 Meeting

**SUBJECT:** Consider making a recommendation regarding the following items related to the Simpson Property located on the southwest corner of NW 86<sup>th</sup> Street and NW 70<sup>th</sup> Avenue:

- Amendment #10 to the Johnston 2030 Comprehensive Plan’s future land use map.
- An Official Zoning Map amendment for approximately 7.7 acres from A-R Agricultural Reserve District, to R-1(75) Single-Family Residential District and an Official Zoning Map amendment for approximately 28.2 acres from A-R Agriculture Reserve District, to C-2 Community Retail Commercial District and an Official Zoning Map amendment for approximately 17.9 acres and from A-R Agriculture Reserve District, to PC Professional Commerce Park District and an Official Zoning Map amendment for approximately 12.8 acres from A-R Agriculture Reserve District, to R-3 Medium Density Multiple Family Residential District.

**SYNOPSIS:**

Simpson Enterprises, Inc. has requested an amendment to the Johnston 2030 Future Land Use Map and a rezoning of their property from A-R, Agricultural Reserve District to R-1(75) Single-Family Residential District, C-2 Community Retail Commercial District, PC Professional Commerce Park District, and R-3 Medium Density Multiple Family Residential District. The City Council has directed this request to the Planning and Zoning Commission for review and recommendation.

**RECOMMENDATION:**

Staff recommends approval of both the amendment to the future land use map and the rezoning and provides the following two motions for the commission’s consideration:

**The Planning & Zoning Commission recommends approval amendment #10 to the Johnston 2030 Comprehensive Plan’s future land use map. This amendment would result in the following future land use classifications for the Simpson property; approximately 5.85 acres of low density residential, approximately 11.01 acres of medium density residential, approximately 10.64 acres of office, approximately 18.74 acres of commercial, approximately 1.87 acres of open water, approximately 2.01 acres of future right-of-way, and**

approximately 11.01 acres of parks and open space.

**The Planning & Zoning Commission recommends approval of PZ Case No. 16-22; an amendment to the Official Zoning Map for 7.7 acres from A-R Agricultural Reserve District, to R-1(75) Single-Family Residential District, and an amendment to the Official Zoning Map for 28.2 acres from A-R Agriculture Reserve District, to C-2 Community Retail Commercial District, and an amendment to the Official Zoning Map for 17.9 acres from A-R Agriculture Reserve District, to PC Professional Commerce Park District, and an amendment to the Official Zoning Map for 12.8 acres from A-R Agriculture Reserve District, to R-3 Medium Density Multiple Family Residential District. All zones shall extend to the centerline of adjacent right-of-way. The C-2 zoning district on the Simpson property shall be subject to the land use restrictions in the development agreement.**

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to recommend approval of amendment #10 to the Johnston 2030 Comprehensive Plan's future land use map.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to recommend approval of PZ Case No. 16-22; the Simpson property rezoning subject to restrictions as outlined in the development agreement.

Attachments:      Development Application;  
                            Aerial Vicinity Map;  
                            Current Johnston 2030 Comprehensive Plan's Future Land Use Map;  
                            Current Johnston 2030 Comprehensive Plan's Future Land Use Map (zoomed to subject property);  
                            Proposed Amended Johnston 2030 Comprehensive Plan Future Land Use Map;  
                            Proposed Amended Johnston 2030 Comprehensive Plan Future Land Use Map (zoomed to subject property);  
                            Current Official Zoning Map;  
                            Zoning Concept for Simpson Property;  
                            Draft Development Agreement;  
                            Simpson Enterprises, Inc and WesleyLife Neighborhood Meeting Minutes;  
                            Development Notice;  
                            Neighborhood Mailing Notice;  
                            Neighborhood Mailing List;

BACKGROUND &  
PRIOR APPROVALS:

The City Council initiated a future land use map amendment and rezoning for the Simpson property at their August 1 meeting. The Simpson property is legally described as such:

CORR PARCEL R BK 12609 PG 226 BEG NW COR THN E1841.13F S 60F E 446.01F SE235.9F SE 214.7F S 161.7F E 10F S 109.49F W 50F S 60F E 50F S 177.19F TO N LN CREEKSIDE ESTS W 216.68F SW 195.99F SW 153.23F SW 583.13F SW 1305.51F SW 211.06F TO W LN N 1227.58F TO POB N 1/2 NE FRL 1/4 LESS 3.51A RD SEC 3-79-25

This property was zoned A-R at time it was annexed into the City and since that time, no prior rezoning has been considered for this property.

COMPREHENSIVE  
PLAN:

The current Johnston 2030 Comprehensive Plan was adopted December 6, 2010. The future land use map has been amended four times since adoption of the plan, but none of the amendments impacted the Simpson property. The current future land use map identifies this property consisting of approximately 0.88 acres of low density residential, approximately 27.90 acres of medium density residential, approximately 16.40 acres of office, approximately 2.24 acres of open water, approximately 11.01 acres of parks and open space, and approximately 2.46 acres of right-of-way.

The applicant has requested an amendment to the future land use map so that the property may be rezoned. The amendment to the future land use map would increase the amount of low density residential to approximately 5.85 acres, decrease the amount of medium density residential to approximately 11.01 acres, reduce the office use to approximately 10.64 acres, reclassify approximately 18.74 acres for commercial uses, keep open space and parks at approximately 11.01 acres, reduce open water to approximately 1.87 acres in recognition of lack of open water in one area, and reduce right-of-way to approximately 2.01 acres in recognition of where right-of-way will likely be provided.

The Johnston 2030 Comprehensive Plan defines Low Density Residential (LDR) as including housing with densities that generally range from two to five units per acre. Neighborhood areas classified as LDR will typically be predominately single-family detached units with the potential for some doubles and other lower density attached housing products.

The Johnston 2030 Comprehensive Plan defines Medium Density Residential (MDR) as including residential uses at densities that range from five to eight units per acre. MDR accommodates a mix of housing types including single-family detached, townhomes, and lower density townhomes.

The Johnston 2030 Comprehensive Plan defines Office (O) as a land use category including lots or parcels that contain professional offices and services such as medical, law, real estate and financial businesses. In the 2030 Land Use Plan, office uses are designated along Merle Hay Road and other major road corridors as well as within the Business Park classification.

The Johnston 2030 Comprehensive Plan defines Commercial (C) as a land use category that includes retail and service commercial land uses that serve neighborhood, community and regional markets. The areas are located to provide convenient access for customers. Community and regional commercial has higher demands for traffic and accessibility, and are suitable for only certain areas, because they rely upon customers from outside the community.

In July 2015 the City Council adopted seven criteria to consider with any Comprehensive Plan Future Land Use Map amendment request. Below are the questions with the applicant's answers. The letter answering these questions is included as an attachment to this report along with the development application.

- 1. Is there a demand in the community for the proposed use? Current supply/demand, vacancy/occupancy rates, etc. and short and long-term projections for the existing and proposed uses.**

As the City of Johnston continues to grow, especially northward, there is demand for more residential, commercial, and office sites. The area around this location is being filled in now with new developments.

- 2. What benefits would be generated by the proposed use as compared to the existing use? What negative impacts would be caused by the proposed use?**

The existing vacant land would become useful and tax generating component of the city.

- 3. What is the history of the property? Are there impediments to marketing/developing the site pursuant to the existing use that are unique and distinguish the site from other properties in the community? Are there any factors of criteria unique to the site or area under study that would argue for or against the proposed use?**

This site has always been agricultural, however development has spread around this area and the agriculture use has become a land

locked use and restricted. It is time for this area to develop along with the land around it.

- 4. Is there or can adequate land use transitions be provided between existing uses and the proposed use? Can buffers and site design be incorporated to minimize the impact on neighboring property owners? What impact is there to existing development sight lines?**

The proposed zoning either matches neighboring zoning or gradually steps up from less intensive to more intensive uses. Buffers, as prescribed by city ordinance, will be used.

- 5. What are the impacts and is there capacity on the property and within the surrounding area to support the proposed use in the following areas:**

- **Roadway network/traffic**
- **Utilities (water, sewer, stormwater management)**
- **Services and amenities (typically available to support the proposed use)**
- **What are the property tax implications that would result from the proposed change?**

The impacts of the roadway, utility, and city amenities will be minimal, as the city has planned and installed many of the public improvements needed by this area and the requested zoning. NW 86<sup>th</sup> Street is currently a 4 lane street, and plans to improve NW 70<sup>th</sup> Avenue at this location are currently being designed. There are 12” water mains along the north and east side of this property. There are 15” sanitary sewer mains along the north and east side of the property. There are existing drainage channels along the north and south sides of the property that flow to box culverts under NW 86<sup>th</sup> Street that go to Beaver Creek. A park and trail would be developed for the city as this area develops. The tax base would increase as investment is made in commercial, office, and residential buildings.

- 6. What impacts would the proposed use have on existing neighboring properties? Would the proposed use have comparable impacts on neighboring properties as impact of a project that would be consistent with the current comprehensive plan?**

None of the neighboring properties would share direct access to the development of this area, so traffic concerns would be very minor. Buildings would back up to the rear of neighboring properties, but building setbacks as prescribed by city ordinance would be followed.

**7. What impact will the proposed use have on the balance of development mix in the community? What is the land availability within the community for uses similar to the proposed and existing land use designations?**

The land uses are a mix of residential, office, and commercial, so a balanced mix would be maintained in the community.

**EXISTING ZONING:**

A-R, Agricultural Reserve District. The A-R District is intended to provide for the protection and preservation of agriculture land within the incorporated area of the City. As an urban area, intensive agriculture is not considered appropriate. These uses would adversely effect adjacent development. This district recognized two distinct purposes for the A-R District.

- A. The district would protect agriculture areas that provide a stable and productive use until converted to urban land uses.
- B. The district would protect agriculture areas that have been identified in the Comprehensive Plan for long-term agriculture research and testing due to the unique soil characteristics present in the City.

**PROPOSED ZONING:**

The Simpson property is proposed to be split into four separate zoning classifications. The zoning districts would include R-1(75) Single Family Residential, R-3 Medium Density Multiple Family Residential, C-2 Community Retail Commercial, and PC Professional Commerce Park.

Residential zoning districts are intended and designed to preserve existing single family residential neighborhoods and to promote new single family residential neighborhoods with a desired diversity of single family housing sizes and costs.

The C-2 District is intended to provide a wide range of commercial and retail uses and services for residents of the community and outside the community, and has performance standards that encourage quality of building design, site design and construction aesthetically compatible with the desired character of the area.

The PC District is intended to be an area for accommodating the management, research, design, marketing and production needs of those professional-commerce enterprises which comply with the performance standards of this section, and are the interest of general community welfare, which recognizes that the community should be beautiful, as well as financially prosperous, spacious, and efficient. Within the PC District it shall be emphasized that the manner in which a use is accomplished is as

important as the use; detracting, detrimental, or other generally unacceptable characteristics, including ugliness of physical properties, shall be discouraged, and contemporary, modern and futuristic design techniques which yield visual attractiveness encouraged.

With this Official Zoning Map Amendment, 7.7 acres is proposed to be rezoned to R-1(75) Single Family Residential, 12.8 acres is proposed to be rezoned to R-3 Medium Density Residential, 28.2 acres is proposed to be rezoned to C-2 Community Retail Commercial, and 17.9 acres is proposed to be rezoned to PC Professional Commerce Park. All zones would extend to the centerline of adjacent right-of-way.

Within the R-3 district would be a skilled nursing and memory care facility, assisted living apartments, and independent living apartments. These uses are expected to be developed by WesleyLife. This use has prompted the property owner to request the rezoning of their property.

The following are the bulk regulations for each district:

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-1(75) Single Family Detached</b>	35'	9,500'	75'	35'	8'/17'	35'
*Maximum density of 3.44 dwelling units per acre						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-1(75) Single Family Bi-Attached</b>	35'	16,000'	100'	35'	10'/20'	35'
*Maximum density of 5.4 dwelling units per acre *Only permitted with a special use permit						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-3 Single Family Bi-Attached</b>	35'	12,500'	100'	50'	10'/20'	35'
*Maximum density of 7.0 dwelling units per acre						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-3 Townhomes, Condos, Multiple unit Dwellings</b>	35'	80,000'	200'	50'	35'/70'	55'
*Maximum density of 8.0 dwelling units per acre						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>Nursing, Convalescent, or Assisted Living</b>	50'	80,000'	200'	50'	25'/50'	55'
* Maximum density of 16.0 dwelling units per acre or 32 beds per acre						

Use	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>C-2 Community Retail Commercial</b>	20,000'	100'	30'	10'/20'	35'

Use	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>PC Professional Commerce Park</b>	40,000'	200'	50'	20'/40'	50'

**PROPOSED DEVELOPMENT AGREEMENT:**

The applicant is prepared to enter into a development agreement with the City for the rezoning of their property. A draft version of the development agreement is included as an attachment to this report. The development agreement would restrict the allowed land uses on the western portion of the proposed C-2 zoning district. The following land uses are allowed in the standard C-2 zoning district, but with the development agreement they would not be permitted in the western portion of the C-2 zoning district:

- Bars/Taverns
- Billiard Parlors and Pool Halls
- Hotel/Motel
- Convenience Store
- Gas Station
- Restaurants with Drive-in Facilities, unless otherwise approved by the City Council as part of the site plan approval process
  - Coffee shops are exempt from this restriction.
- Temporary or Seasonal amusement enterprises, including carnivals and circuses
- Commercial sport or recreational enterprises, including non-profit amphitheaters, convention halls, and auditoriums

**ADJACENT LAND USES:**

Adjacent land uses include single family residential in the R-1(90) district to the south, single family residential in the R-1(75) district to the south, southeast, and north, single family residential in the R-1(100) district to the west and northwest, undeveloped residential in the Northwood PUD to the north allowing R-3 uses, undeveloped C-1 Neighborhood Commercial property to the north, and conservation district to the east.

**BUFFERING:**

The use of physical barriers or buffers is considered a necessary requirement to allow for the transition from one zoning district or land use to another contrasting zoning district or land use in recognition of neighbor's rights, to promote the coordination of neighborhood efforts and compatibility of neighborhood elements, and to protect the value of buildings and property.

Where zoning districts or land uses requiring a buffer between them are vacant or underdeveloped, the burden shall be assumed equally by each developer as the land is improved or developed. Where one of the two different zoning districts or land uses requiring a buffer between them is developed, the developer of the vacant land shall assume the burden.

There will be buffer requirements for areas of this site as it develops. Buffers will vary in size from 20 to 50 feet depending on the adjacent land uses and zoning districts. Some of the buffer requirements will be shared with adjacent properties and other buffer requirements will have the burden entirely on the developer of the vacant land.

As part of a site plan or plat, an alternative buffer may be reviewed by the Planning and Zoning Commission and approved by the City Council provided that it meets the intent of the buffer section of the code of ordinances while recognizing unique conditions such as actual proposed layout of buildings and parking areas, site conditions, and use of the property.

**STREAM  
BUFFERING:**

The City of Johnston Watershed Assessment and Stormwater Management Action Plan identifies this property as part of the Wooded Point sub-watershed and the South NW 70<sup>th</sup> sub-watershed. Each sub-watershed includes a stream that conveys the flow through the sub-watershed to Beaver Creek. The City of Johnston Watershed Assessment and Stormwater Management Action Plan categorizes the two streams located on the Simpson property as “Type II” streams.

Type II Streams do not usually have established flood plains, but often have established baseflows in urban areas. These streams often have watersheds of 40 – 2000 acres and likely will require ongoing maintenance to prevent larger erosion issues from being created as development occurs. Such issues are difficult to be handled by either a private homeowner or an association of local property owners. As such, Type II Streams need to have buffers that protect against additional erosion, while allowing for corrective action to be taken at a future date. Reserved buffers should be wide enough to grade back steep slope areas from the existing stream flowline at grades of no steeper than 3:1 (6:1 preferred); while allowing for at least 20’ on either side for maintenance access.

Toward these ends, Chapter 145.19 of the City of Johnston Code of Ordinances requires Type II streams to be protected by a 50’ wide stream buffer on each side perpendicular to the waterway as measured from the centerline of the channel. Said area must be defined within recorded easement which includes a management plan, and must include dominant vegetation consisting of existing naturally regenerated or seeded planted native trees, shrubs, perennial grasses and forbs suited to the soil and hydrology of the site and intended purpose. Future platting efforts of the subject property must illustrate stream buffering sufficient to meet the above-listed requirements.

**TRAFFIC ACCESS &  
CIRCULATION:**

Peckham Street will be extended to the north to connect with NW 70<sup>th</sup> Avenue as this property develops. NW 69<sup>th</sup> Avenue would be extended east to connect with the future extension of Peckham Street. Access between the WesleyLife portion of the Simpson property and the remainder of the property may be maintained through ingress/egress easements depending on how the site develops. Additional streets with access points on NW 70<sup>th</sup> Avenue and NW 86<sup>th</sup> Street would be developed in the future as this property develops.

**UTILITIES:**

**Sanitary Sewer:** 15” sanitary sewer mains are available on the north and east side of this property. These mains will service any future development on this property.

**Water:** 12” water mains are available on the north and east side of this property. These mains will service any future development on this property.

FLOOD PLAIN:

This site is not located within the 100-year or 500-year floodplain.

PARKLAND  
DEDICATION:

Chapter 180.43 of the City of Johnston code of ordinances requires dedication of 5 acres of public parkland for each 1,000 residents added to the community. The necessary dedication will be tabulated with approval the final plat or site plan and is based on the number of lots/ dwelling units created. The applicant has indicated that a park and trail would be developed for the area as it develops.

The Johnston 2030 Comprehensive Plan identifies a trail extending easterly from Peckham Street along the south property boundary and a trail extending northerly along future Peckham Street. These trails would need to be developed as the site develops. Simpson Enterprises, Inc did provide to the City a Bike Path easement along their south property boundary in 2006. Within this easement the bike path spoken of above would be developed as the site develops.

NORTHWEST AREA  
WATER  
CONNECTION  
DISTRICT:

The subject property is within the Northwest Area Water District. Payment of district connection fees in the amount of \$1,750 per acre is required prior to City Council approval of any Final Plat creating a buildable lot.

NORTHWEST AREA  
SANITARY SEWER  
CONNECTION  
DISTRICT:

This property is within the Northwest Area Sanitary Sewer Connection District. Payment of the Northwest Area Sanitary Sewer Connection District Fee of \$3,200 per acre for the portion of the any plat not within undevelopable outlots would need to occur prior to Council approval of any Final Plat creating a buildable lot.

IMPROVEMENTS TO  
ADJACENT  
ROADWAYS:

Plans are being designed to improve NW 70<sup>th</sup> Avenue north of this property. The plans include a future round about at the intersection of NW 70<sup>th</sup> Avenue and Peckham Street.

PUBLIC NOTICE  
AND ADJACENT  
NEIGHBOR  
COMMENTS:

Signs advertising the public hearing have been placed along NW 70<sup>th</sup> Avenue and NW 86<sup>th</sup> Street, notice has been sent to all properties within 320 feet of the rezoning area, and staff has posted a proposed development notice to the city's website. Copies of the mailing and development notices are attached. As of publication of this report no public comments have been received. The applicant and WesleyLife did hold a neighborhood meeting prior to this meeting. I have included the meeting minutes for that meeting as an attachment to this report.



# DEVELOPMENT APPLICATION

City of Johnston, Iowa

Submission Date: 07/21/2010

Fee Amount: \$250

REC # 521052  
\*ATTACHED

No application will be accepted unless it complies with all the submittal requirements. Incomplete application will be returned to the applicant without further review.

**CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.**

TYPE OF REQUEST:

- Zoning Map Amendment
- Site Plan Review
- Planned Unit Development
- Grading Permit
- Administrative Approval
- Auditor's Plat
- Minor Subdivision
- Preliminary Plat
- Final Plat

DATE REC'D: 07/21/2010

CASE NO.: PZ 110-22

PROJECT NAME:

SIMPSON PROPERTY

PROJECT LOCATION:

SW of NW 70<sup>th</sup> Ave & NW 86<sup>th</sup> St.  
(Street Address or Project Location)

PROPERTY OWNER:

Simpson Enterprises Inc.  
Name

6108 Terrace Dr.  
Address

Johnston IA 50131  
City State Zip

707-3836 jsimpson/003@gmail.com  
Phone Fax Email Address

APPLICANT:

-owner-  
Name

Address

City State Zip

Phone Fax Email Address

CONSULTANT:  
(Architect, Engineer, etc.)

Bishop Engineering - Rick Baumhauer  
Name

3501 104<sup>th</sup> St.  
Address

Urbandale IA 50322  
City State Zip

276-0467 rbaumhauer@bishopengr.com  
Phone Fax Email Address

PERSON TO BE BILLED:

owner  
Name

Address

City State Zip

Phone Fax Email Address

DESCRIBE SCOPE OF PROJECT:

Rezoning of approx. 63 acres  
from A-R

LEGAL DESCRIPTION:

Parcel "R" - SK 12609, Pg 226  
(in NE 1/4 Sec. 3-29-25)  
(May be attached separately)

OWNER AND APPLICANT SIGNATURE AND CONSENT:

I/we hereby submit and consent to the development application in the City of Johnston. I/we acknowledge that I/we may be responsible for additional costs for plan review by a consulting engineer and/or attorney. I/we certify that I/we am/are familiar with applicable state and local codes and ordinances, the procedural requirements of the City of Johnston, and have submitted ALL required information.

Jeff Simpson  
Signature Property Owner

07/19/2016  
Date

Jeff Simpson, Pres  
Property Owner (Please Print)  
Simpson Enterprises, Inc

Jeff Simpson  
Signature of Applicant

07/19/2016  
Date

Jeff Simpson, Pres.  
Applicant (Please Print)  
Simpson Enterprises, Inc

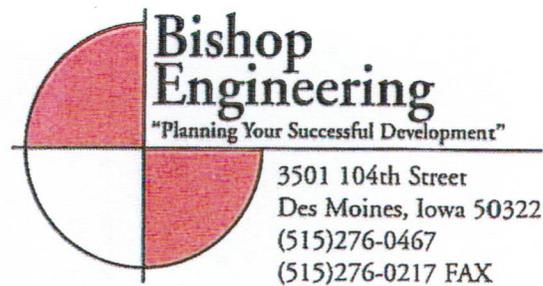
**NOTE: ALL APPLICATIONS MUST HAVE THE CURRENT PROPERTY OWNER'S SIGNATURE(S), OR THE PERSONS WITH THE PROPER POWER OF ATTORNEY.**

For questions concerning this Development Application please contact:

Johnston Community Development Department:  
6221 Merle Hay Road  
P.O. Box 410  
Johnston, IA 50131  
Phone (515) 278-2344  
Fax (515) 727-7776  
[www.cityofjohnston.com](http://www.cityofjohnston.com)

DATE REC'D: 07/21/2016

CASE NO.: PZ 16-22



July 20, 2016

David Wilwerding  
City of Johnston Community Development  
6221 Merle Hay Rd, PO Box 210  
Johnston, IA 50131

RE: Comp Plan Land Use Amendment- Simpson Property at SW quadrant of NW 70<sup>th</sup> Ave. & NW 86<sup>th</sup> St.

David,

On behalf of Simpson Enterprises Inc., we request a change to the city's Comprehensive Plan, Future Land Use plan.

The current plan shows medium density residential along the west portion of this site, and office along the eastern portion.

We request that additional types of land use be added to the site and existing types be adjusted. We request that single family be added along the western edge of the site; that commercial be added along the northern portion of the site; that office be increased along the southern portion; and that medium density residential be reduced to cover these additions and changes.

In support of this request we offer the following reasons:

As the City of Johnston continues to grow, especially northward, there is demand for more residential, commercial and office sites. The area around this location is being filled in now with new developments.

The existing vacant land would become a useful and tax generating component of the city.

This site has always been agricultural, however development has spread around this area and the agricultural use has become a land-locked use and restricted. It is time for this area to develop along with the land around it.

The proposed zoning either matches neighboring zoning or gradually steps up from less intensive to more intensive uses. Buffers, as prescribed by city ordinance will be used.

The impacts to the roadway, utility and city amenities will be minimal, as the city has planned and installed many of the public improvements needed by this area and the requested zoning. NW 86<sup>th</sup>

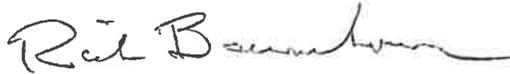
Street is currently a 4 lane street, and plans to improve NW 70<sup>th</sup> Avenue at this location are currently being designed. There are 12" water mains along the north and east side of this property. There are 15" sanitary sewer mains along the north and east side of this property. There are existing drainage channels along the north and south sides of the property that flow to box culverts under 86<sup>th</sup> St that go to Beaver Creek. A park and trail would be developed for the city as this area develops.

The tax base would increase as investment is made in commercial, office and residential buildings.

None of the neighboring properties would share direct access to the development of this area, so traffic concerns would be very minor. Buildings would back up to the rear of neighboring properties, but building setbacks as prescribed by city ordinance would be followed. The land uses are a mix of residential, office and commercial, so a balanced mix would be maintained in the community.

We respectfully ask the city's approval of this Comprehensive Plan future land use change. If you have any questions, please contact us.

Sincerely,  
Bishop Engineering

A handwritten signature in black ink, appearing to read "Rick Baumhover". The signature is fluid and cursive, with a long horizontal stroke at the end.

Rick Baumhover, PE / PLS  
Project Engineer

DATE REC'D: 07/21/2010

CASE NO.: PZ 10-22

PETITION FOR CHANGE IN ZONING CLASSIFICATION

To: Honorable Mayor and City Council  
Johnston City Hall  
6221 Merle Hay Road  
P.O. Box 410  
Johnston, IA 50131-0410

Date: \_\_\_\_\_

We, the owners of property located at SW of NW 70th Ave & NW 86th St.  
respectfully petition you to amend the Johnston Zoning Ordinance by rezoning the following legally  
described property:

\_\_\_\_\_  
\_\_\_\_\_

from the A-R District to the R1, R3, C-2 and Pac Districts.  
(Present Zoning) (Proposed Zoning)

N.A. Provided herewith on the attached pages are the signatures of the owners of at least fifty percent (50%) of  
the property within 250 feet of the petitioned area, all as property owners consenting to this petitioned  
rezoning.

Simpson Enterprises, Inc  
by Jeff Simpson, Pres  
Signature of Petitioner

6108 Terrace Drive  
Address Johnston, IA 50131

515-707-3836  
Phone Number

Attachments

\*\*\*\*\*  
FOR OFFICE USE ONLY

Petition Received By: \_\_\_\_\_ Date: \_\_\_\_\_

Petition Filed: \_\_\_\_\_ Fee Paid: \_\_\_\_\_ Receipt Number: \_\_\_\_\_

## Zoning Descriptions for Simpson Property

Rev 7-20-16

### To be Rezoned R-1(75):

Beginning at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less, to the centerline of future Peckham Street; thence southerly along the centerline of future Peckham Street, a distance of 1,264 feet more or less to the north line of Creekside Estates, an official plat in the City of Johnston; thence southwesterly along the north line of said plat, a distance of 180 feet more or less, to the west line of said N1/2 of the NE Fractional 1/4, said line also being the east line of Hidden Hills, an official plat in the City of Johnston; thence north along said line, a distance of 1,228 feet more or less, to the point of beginning.

### To be Rezoned to R-3:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less, to the centerline of future Peckham Street; thence southerly along the centerline of future Peckham Street, 310 feet more or less and to the point of beginning; thence east, a distance of 467 feet more or less to the east line of future Outlot A; thence south along said east line, a distance of 833 feet more or less to the north line of Creekside Estates, an official plat in the City of Johnston; thence southwesterly along said north line, a distance of 710 feet more or less to the centerline of future Peckham Street; thence northerly along the centerline of future Peckham Street, a distance of 954 feet more or less to the point of beginning.

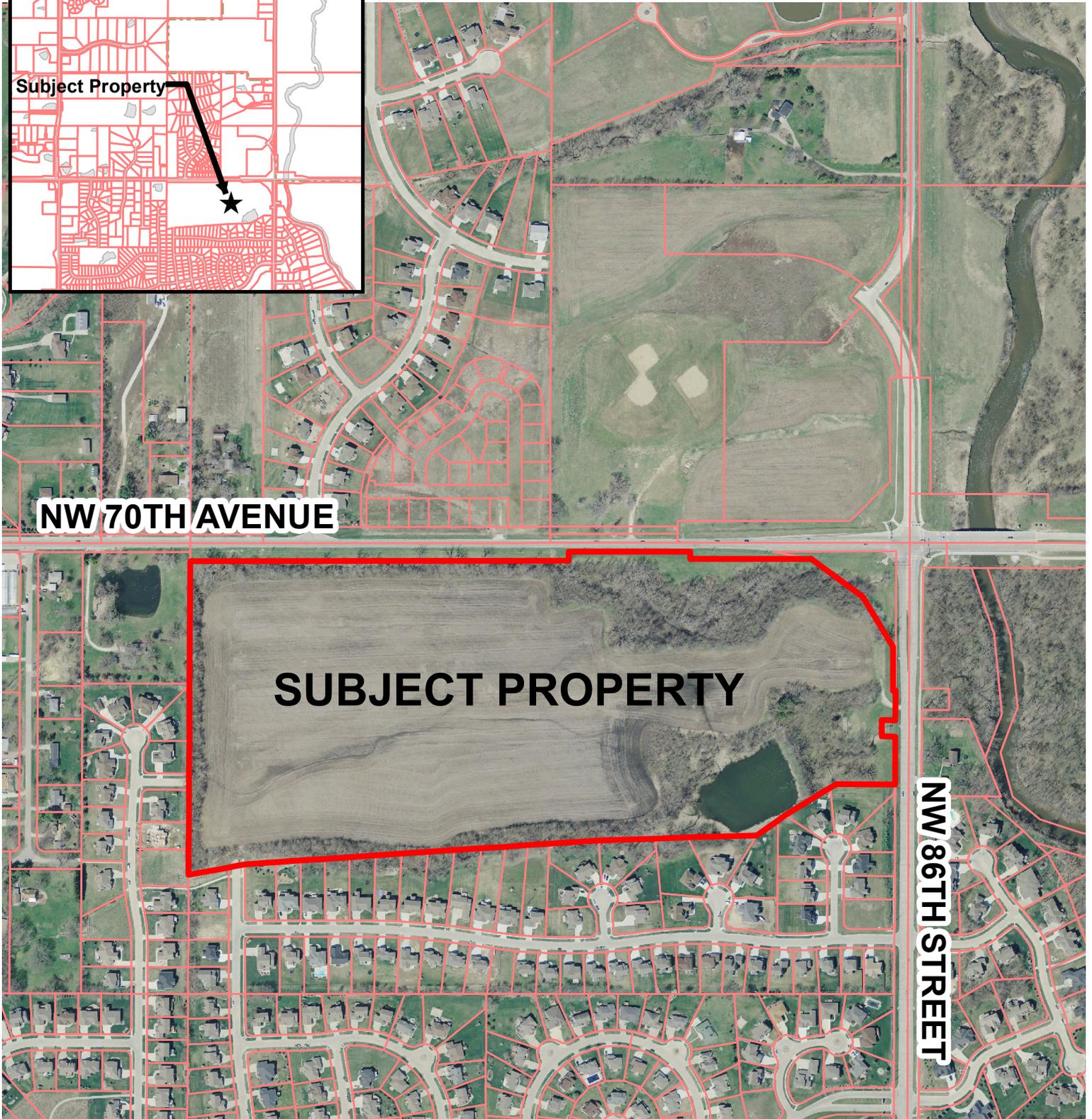
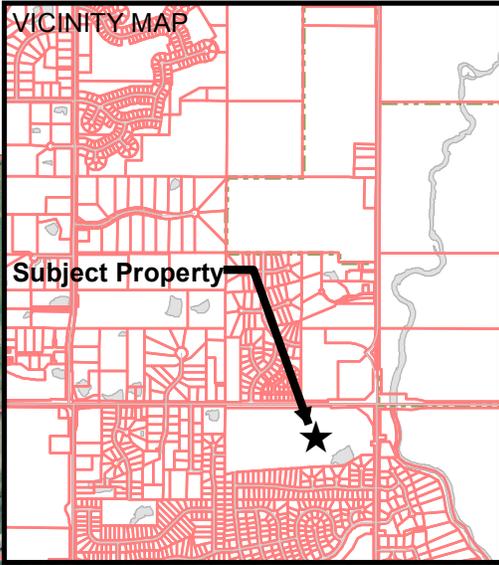
### To be Rezoned P-C:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 878 feet more or less to the east line of future Outlot A; thence south along said east line, a distance of 1,142 feet to the north line of Creekside Estates, an official plat in the City of Johnston, and the point of beginning; thence easterly along said north line, extended ahead to the centerline of NW 86<sup>th</sup> Street, a distance of 1,823 feet more or less; thence north along said centerline, a distance of 266 feet more or less to the centerline of a future street extended westerly from NW 86<sup>th</sup> Street; thence westerly along the centerline of the future street extended westerly, a distance of 1,768 feet to the east line of the future Outlot A; thence south along the east line of Outlot A, a distance of 537 feet more or less to the point of beginning.

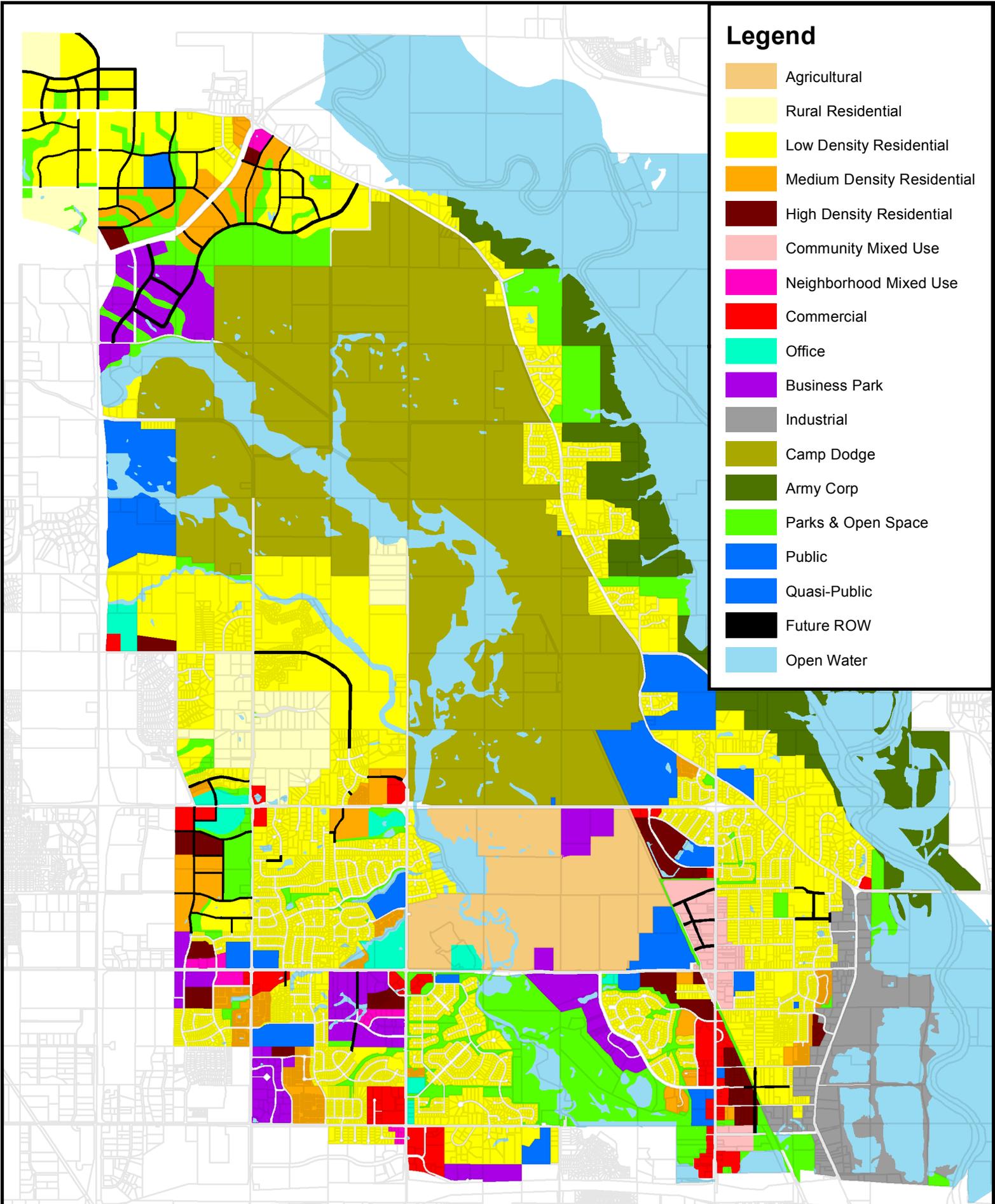
To be Rezoned C-2:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less to the centerline of future Peckham Street and the point of beginning; thence continuing east along said line, a distance of 2,234 feet more or less to the centerline of NW 86<sup>th</sup> Street and the east line of the N1/2 of the NE Fractional 1/4 of said Section 3; thence south along said line, a distance of 627 feet to the centerline of a future street extended westerly from NW 86<sup>th</sup> Street; thence westerly along the centerline of the future street extended westerly, a distance of 1,768 feet more or less to the east line of the future Outlot A; thence north along the east line of future Outlot A, a distance of 295 feet more or less; thence west, a distance of 466 feet more or less to the centerline of future Peckham Street; thence northerly along the centerline of future Peckham Street, 310 feet more or less to the point of beginning.

**PZ CASE 16-22  
SIMPSON PROPERTY ZONING MAP AMENDMENT**



Created by City of Johnston Department of Community Development  
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033



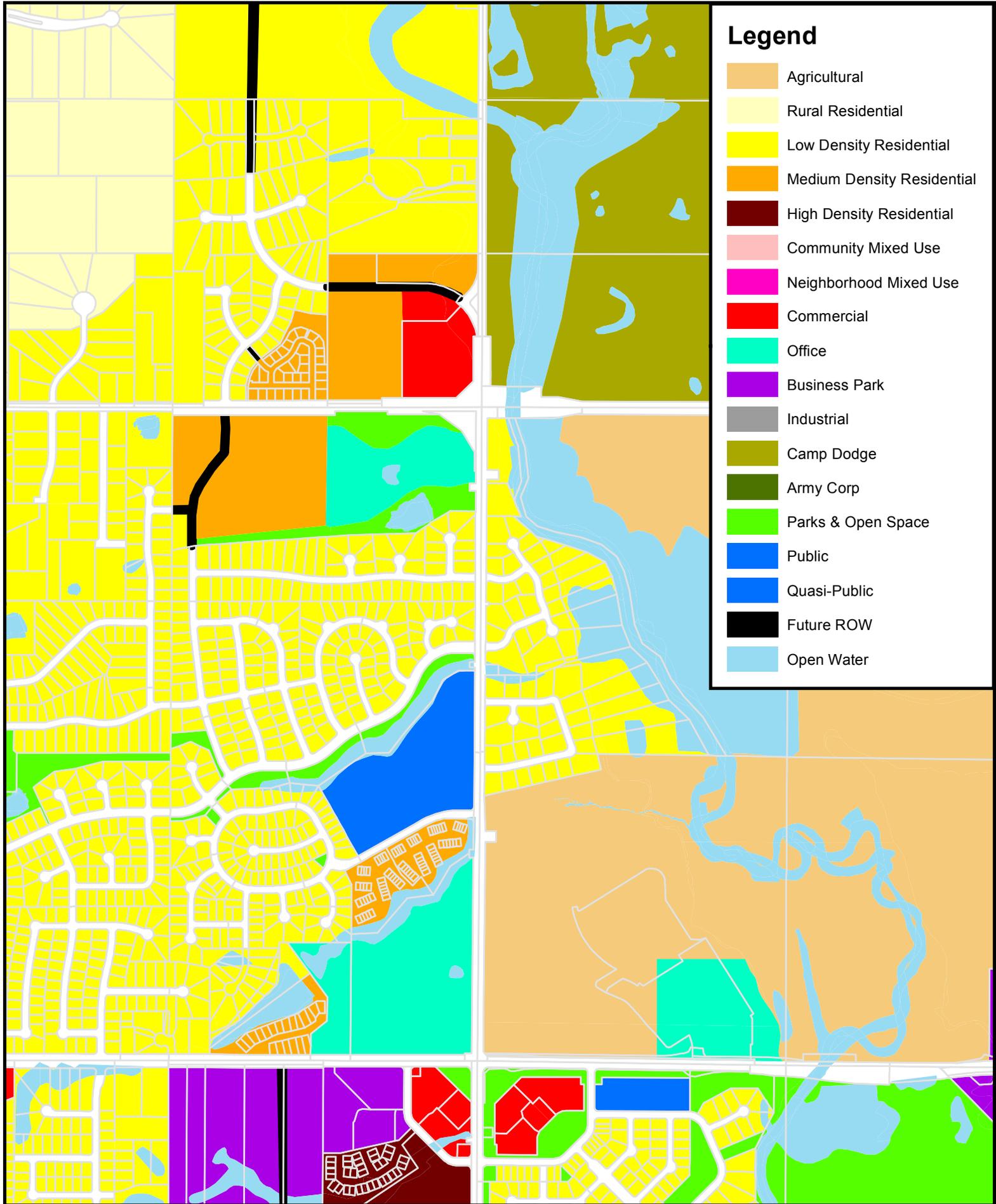
**Legend**

- Agricultural
- Rural Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Community Mixed Use
- Neighborhood Mixed Use
- Commercial
- Office
- Business Park
- Industrial
- Camp Dodge
- Army Corp
- Parks & Open Space
- Public
- Quasi-Public
- Future ROW
- Open Water

0    2,500    5,000    10,000  
 Feet



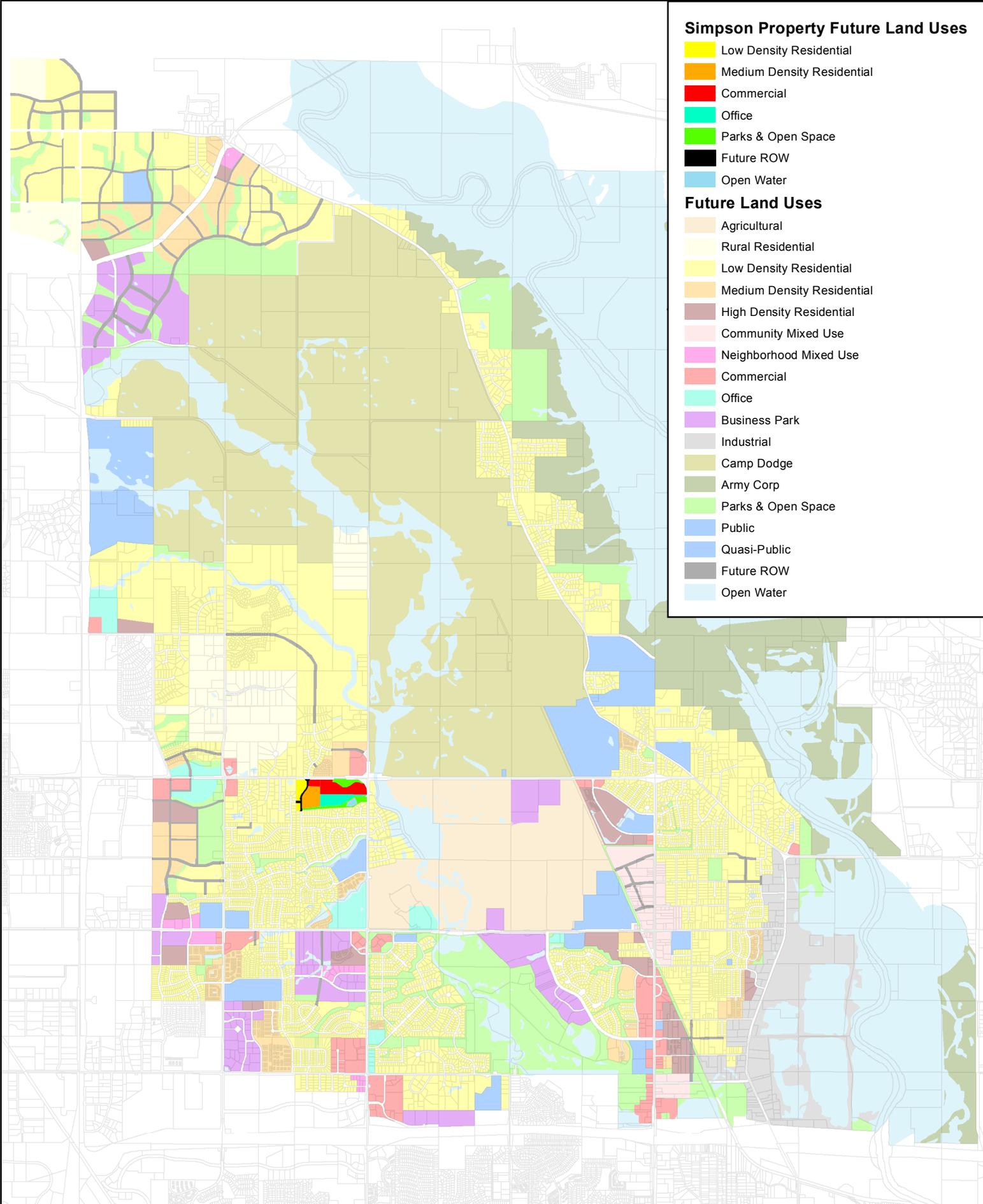
**Current Future Land Use Map**



0 625 1,250 2,500 Feet



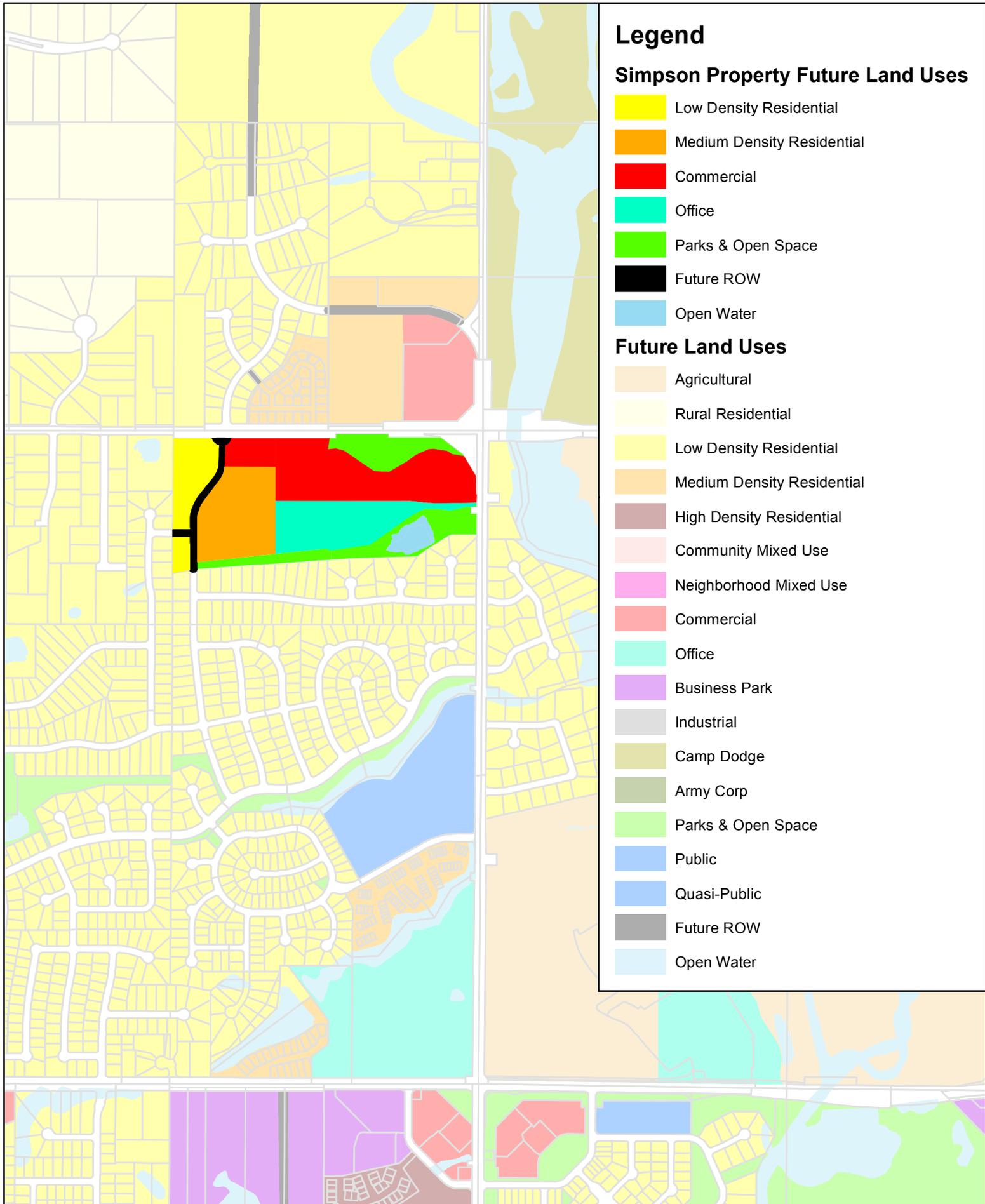
**Current Future Land Use Map  
(Zoomed In)**



0 2,500 5,000 10,000 Feet



# Amendment #10 To The Future Land Use Map



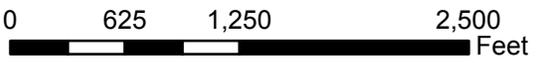
**Legend**

**Simpson Property Future Land Uses**

- Low Density Residential
- Medium Density Residential
- Commercial
- Office
- Parks & Open Space
- Future ROW
- Open Water

**Future Land Uses**

- Agricultural
- Rural Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Community Mixed Use
- Neighborhood Mixed Use
- Commercial
- Office
- Business Park
- Industrial
- Camp Dodge
- Army Corp
- Parks & Open Space
- Public
- Quasi-Public
- Future ROW
- Open Water



**Amendment #10 To The  
Future Land Use Map**



# Official Zoning District Map

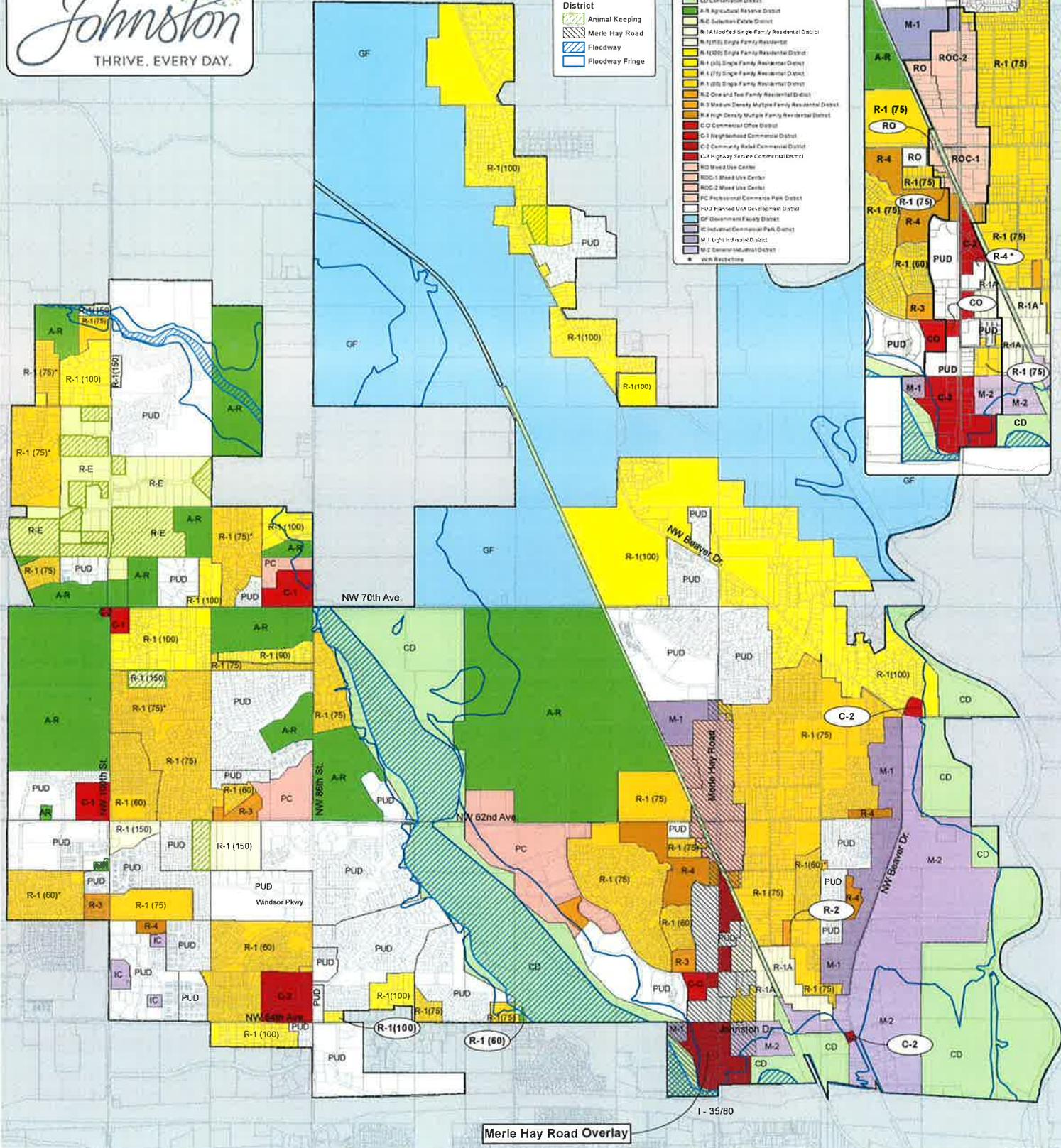
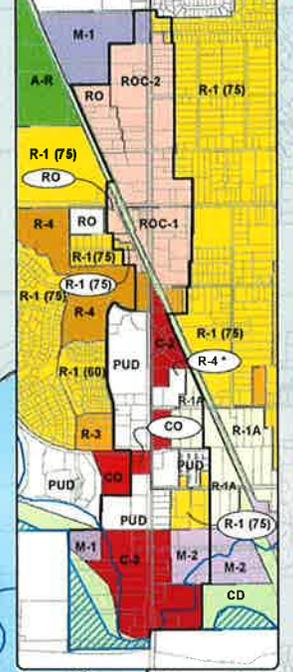
**Overlay Zones**

- District
- Animal Keeping
- Merle Hay Road
- Floodway
- Floodway Fringe

**Zoning District**

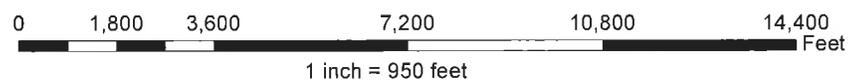
- CD Conservation District
- A-R Agricultural Reserve District
- AE Suburban Estate District
- R-1A Single-Family Residential District
- R-1B Single-Family Residential District
- R-1C Single-Family Residential District
- R-1D Single-Family Residential District
- R-1E Single-Family Residential District
- R-1F Single-Family Residential District
- R-2 One and Two-Family Residential District
- R-3 Medium Density Multiple-Family Residential District
- R-4 High Density Multiple-Family Residential District
- CO Commercial Office District
- C-1 Neighborhood Commercial District
- C-2 Community Retail Commercial District
- C-3 Highway Service Commercial District
- MD Mixed-Use Center
- ROC-1 Mixed-Use Center
- ROC-2 Mixed-Use Center
- PC Professional Commerce Park District
- PUD Planned Unit Development District
- GF Government Facility District
- IC Industrial Commerce Park District
- M-1 Light Industrial District
- M-2 General Industrial District
- W/R Restrictions

**Merle Hay Road Overlay**



Map, ARC, DocumentCity Map Project 0318 City Map 031 2004 From: SanZoning031803 2x3x1x6

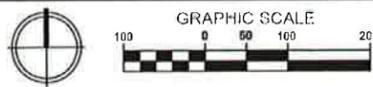
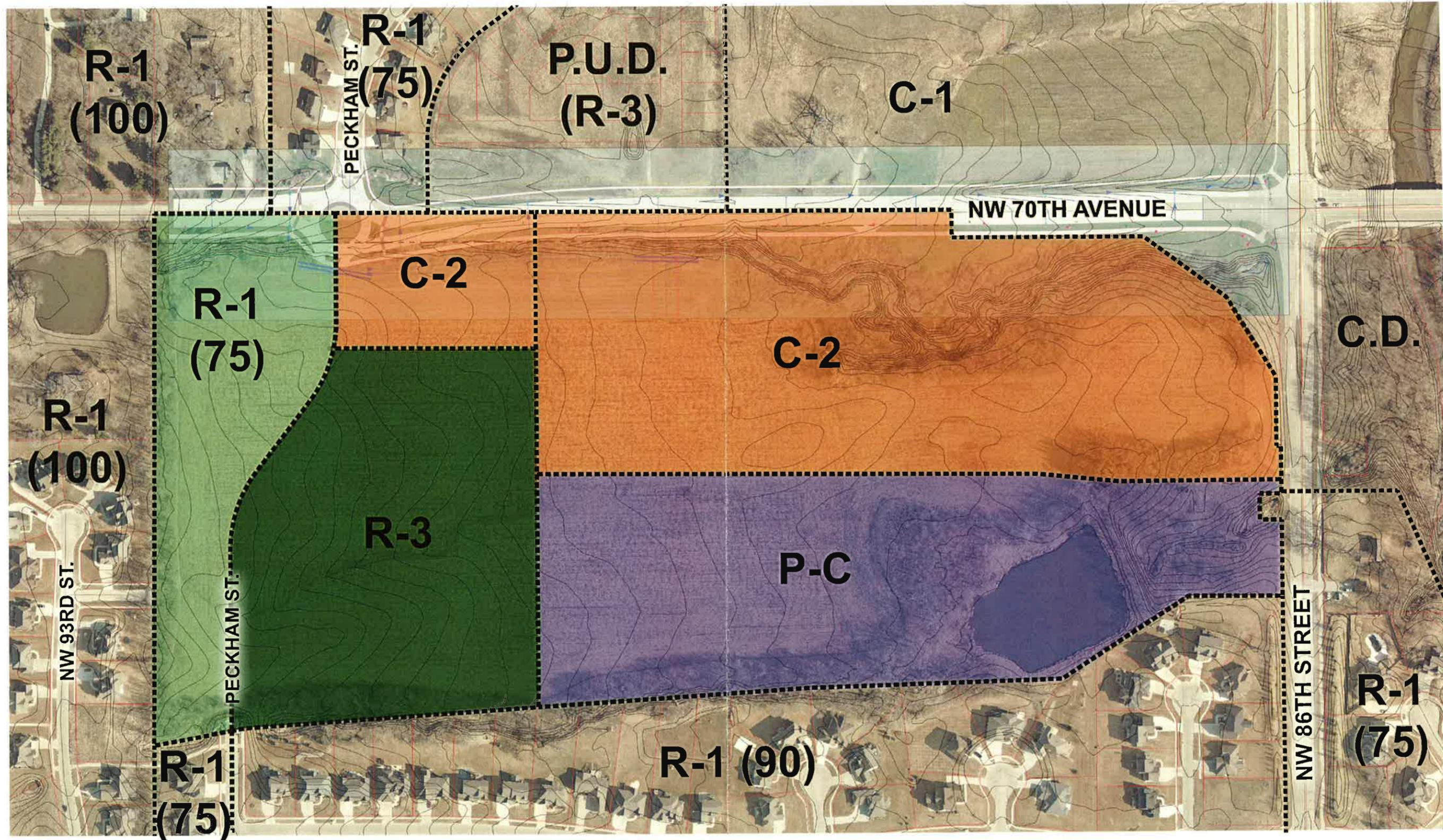
Map Date: Aug 10, 2014



Created by the City of Johnston Department of Community Development  
 6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033  
 As of Ordinance/Resolution 14-215; Sept. 15, 2014

This is to certify that this is the Official Zoning Map referred to in Chapter 165.02 of the Johnston Municipal Code of 2007.  
 Honorable Mayor Paula B. Owenfeldt 9/15/2014  
 Date





**SIMPSON PROPERTY - JOHNSTON, IOWA**

**CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.**  
 DATE REC'D: 07/21/10  
 CASE NO.: PZ 10-22

**REZONING - EXHIBIT 'A'**

## **DEVELOPMENT AGREEMENT**

This Development Agreement made this 19<sup>th</sup> day of September, 2016, by and between Simpson Enterprises, Inc. (hereinafter collectively referred to as "OWNER"), and the City of Johnston, an Iowa municipality with city offices at P.O. Box 410, Johnston, Iowa, 50131-0410 (hereinafter referred to as "City").

**WHEREAS**, OWNER wishes to develop certain property lying within the City of Johnston, Iowa described as follows:

Commencing at the North Corner of Section 3, T79, R25W, in the City of Johnston, said point being on the centerline of NW 70<sup>th</sup> Street; thence east along said centerline and the north line of the N1/2 of the NE Fractional 1/4 of said Section 3, a distance of 417 feet more or less to the center line of future Peckham Street and the point of beginning; thence continuing east along said line, a distance of 906 feet more or less to a point on the southerly extension of the east line of Northwood Trail Plat 1, an official plat in the City of Johnston, extended to said center line of NW 70<sup>th</sup> St.; thence south along said southerly extension of the east line of Northwood Trail Plat 1, a distance of 607 feet more or less to the centerline of a future street extended westerly from NW 86<sup>th</sup> Street; thence westerly along the centerline of the future street extended westerly, a distance of 445 feet more or less to the east line of the future Outlot A; thence north along the east line of future Outlot A, a distance of 295 feet more or less; thence west, a distance of 466 feet more or less to the centerline of future Peckham Street; thence northerly along the centerline of future Peckham Street, 310 feet more or less to the point of beginning.

(hereinafter referred to as the "OWNER'S PROPERTY") as depicted as C-2 (West) on the map, which is hereby attached and made a part of this document as Exhibit "A".

**WHEREAS**, it is OWNER'S intent to have OWNER'S PROPERTY rezoned to the C-2, Community Retail Commercial District, to facilitate the development of OWNER'S PROPERTY, and

**WHEREAS**, the City is willing to rezone the OWNER'S PROPERTY to facilitate its development as long as OWNER agrees to certain conditions; and

**WHEREAS**, the parties agree that the City has a right to require this Development Agreement under the provisions of Iowa Code Section 414.5 and that all requirements of said Section 414.5 have been met and complied with; and

**NOW THEREFORE**, pursuant to the authority granted to the City of Johnston by Iowa Code Section 414.5 and in consideration of the proposed development and increased tax base to the City and other good and valuable

consideration, receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. **RESTRICTIONS.** OWNER agrees to the following:

The following uses shall not be permitted on OWNER'S PROPERTY:

- Bars/Taverns
- Billiard Parlors and Pool Halls
- Hotel/Motel
- Convenience Store
- Gas Station
- Restaurants with Drive-in Facilities, unless otherwise approved by the City Council as part of the site plan approval process
  - Coffee shops are exempt from this restriction.
- Temporary or Seasonal amusement enterprises, including carnivals and circuses
- Commercial sport or recreational enterprises, including non-profit amphitheaters, convention halls, and auditoriums

2. **AUTOMATIC REVERSION OF ZONING.** The parties further agree that if any area of OWNER'S property ceases to be used in conformance with the above conditions, that area of OWNER'S PROPERTY not in conformance with the above conditions shall have the property's zoning automatically revert to that of the A-R, Agricultural Reserve District, without further action of the Johnston City Council.

3. **AMENDMENTS.** No amendments or variations of the terms of this Agreement shall be valid or binding unless made in writing and executed by a duly authorized representative of each party to be bound thereto.

4. **BINDING EFFECT.** This Agreement is binding upon the parties hereto and their respective successors and assigns. The parties further agree that this Agreement may be filed with the Polk County Recorder so as to be part of a public record and notify third parties of the terms contained herein.

5. **VALIDITY OF AGREEMENT.** If any term of this Agreement is deemed or ruled invalid by a court of law for any reason, the parties agree that there would be a failure of consideration and that this Agreement would be null and void.

**WHEREFORE,** the parties have executed this Agreement on the date and year written above.

CITY OF JOHNSTON

ATTEST:

By: \_\_\_\_\_

By: \_\_\_\_\_

Paula S. Dierenfeld, Mayor

Cyndee Rhames, City Clerk

**STATE OF IOWA, POLK COUNTY, ss:**

On this \_\_\_\_ day of \_\_\_\_\_, 2016, before me the undersigned, a Notary Public in and for the State of Iowa, personally appeared Paula S. Dierenfeld and Cyndee Rhames, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the **City of Johnston, Iowa**; that the seal affixed to the foregoing instrument to which this is attached is the corporate seal of the City; that the instrument was signed and sealed on behalf of the City by authority of its City Council, as contained in Resolution No. \_\_\_\_\_ passed the City Council on the \_\_\_\_ day of \_\_\_\_\_, 2016, and that Paula S. Dierenfeld and Cyndee Rhames, as such officers, acknowledged the execution of the instrument to be the voluntary act and deed of the City, by it and by them voluntarily executed.

\_\_\_\_\_  
Notary Public in and for the State of Iowa

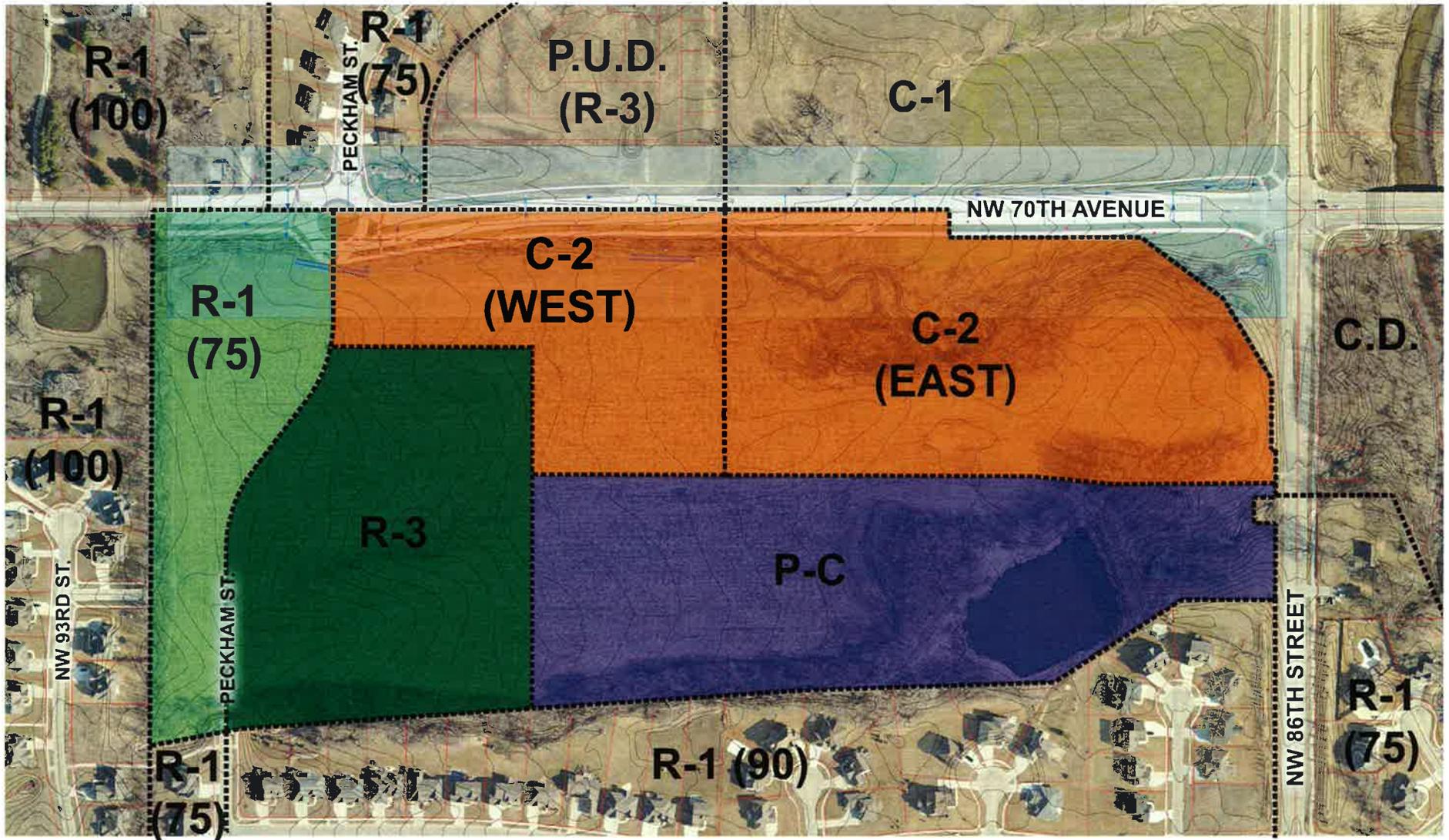
Simpson Enterprises, Inc.

\_\_\_\_\_ (Signature and Title)

BY: \_\_\_\_\_ (Print Name and Title)

On this \_\_\_\_ day of \_\_\_\_\_, 2016, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared \_\_\_\_\_ (Print Name) to me personally known, who, being by me duly sworn, did say that he/she is the \_\_\_\_\_ (Title) of Simpson Enterprises, Inc. executing the within and foregoing instrument; and that he/she acknowledged the execution of said instrument to be his/her voluntary act and deed of the members and managers of said corporation.

\_\_\_\_\_  
Notary Public, In and For the State of Iowa



**SIMPSON PROPERTY - JOHNSTON, IOWA**  
DEVELOPMENT AGREEMENT- EXHIBIT 'A'

SIMPSON ENTERPRISES & WESLEYLIFE NEIGHBORHOOD MEETING  
07.28.2016 – 7:00 PM  
WesleyLife Home Office – 5508 NW 88<sup>th</sup> Street, Johnston

### ATTENDEES

Simpson Enterprises, representing the owner of 63 acre parcel:

Jeff Simpson, President of Simpson Enterprises  
Matt Simpson(son of Jeff), member Simpson Enterprises  
AJ Simpson(nephew of Jeff), member Simpson Enterprises  
Rick Baumhover, Bishop Engineering

WesleyLife, as party to purchase agreement with Simpson Enterprises for western 1/3<sup>rd</sup> of 63 acre Simpson parcel:

Rob Kretzinger, President & CEO  
Matt McNeill, VP of Marketing & Sales  
Calvin Shelangoski, Director of Finance

Neighborhood, as residents within 320 feet of parcel for which rezoning application has been made:

John De Phillips, Resident #1  
Eric Coleman, Resident #2  
Luke Freml, Resident #3  
Kurt Labenz, Resident #4  
Bob & Donna Fisher, Resident #5 & #6  
Paul Hartman, Resident #7  
Eduardo Carlin, Resident #8  
Unknown, Resident #9  
Unknown, Resident #10

### MINUTES

WesleyLife opened the meeting by welcoming and thanking everyone for attending. WesleyLife, introduced Jeff Simpson as the owner of the 63 acre property immediately southwest of the intersection of 86<sup>th</sup> & 70<sup>th</sup>, for which application has made for rezoning. Simpson Enterprises proceeded to introduce two other members of Simpson Enterprises.

A brief history of the relationship between WesleyLife and Simpson Enterprises, explaining that discussions began fall of 2015 around WesleyLife developing a senior community on the property. Simpson Enterprises expressed excitement for WesleyLife's development on the western 1/3<sup>rd</sup> of the property and explained that no development is currently planned for the eastern 2/3<sup>rd</sup> of the property.

Rick Baumhover, Bishop Engineering, was introduced by Simpson Enterprises as the civil engineer engaged with the rezoning of the property. Rick explained that the property is currently zoned A-R for Agriculture while the 2030 city of Johnston comprehensive plan calls for R-3 Medium Density housing on the west and Commerce Office Park on the east. Development to the north of 70<sup>th</sup> was alluded to, identifying that a lot of development has been happening in the area with townhomes and other single family homes.

A question from a neighborhood resident was raised as to the meaning of the various zoning codes or acronyms displayed on the zoning map (attachment #1). Rick answered moving west to east on the map, identifying: R-1 (75) as 75 feet wide single family home lots on the western edge to be developed for single family homes; R-3 as Medium Density Residential, to be developed by WesleyLife for a senior living community; C-2 as commercial immediately south and adjacent to the 70<sup>th</sup> avenue arterial, to be developed for future use, which is unknown at this time; P-C as Professional Commerce, to be developed in the future by whomever purchases the eastern 2/3<sup>rd</sup> of the property from Simpson Enterprises. Rick clarified that WesleyLife was transacting on the western three lots (western 1/3<sup>rd</sup>) labeled R-1 (75) shaded in light green, R-3 shaded in green, and C-2 shaded in orange comprised of approximately 22 acres.

Questions regarding the pond on the eastern 2/3<sup>rd</sup> of the property were raised by a few residents. Rick explained that the future of the pond is unknown at this time. Simpson Enterprises added that there have been discussions with the City of Johnston to explore the possibility of the pond and the land immediately east of the pond becoming a park. Jeff reiterated that there has been no decision from the City and that a park is simply being explored as a possibility at this point.

Further questions and comments, unrelated to the zoning application, regarding the current state of the pond were discussed. Simpson Enterprises responded that the pond is under a treatment plan that he began in 2013.

Discussion circled back to detention accommodation with question as to whether or not watershed from the western 1/2 of the 63 acre property is going to the pond. Rick explained that WesleyLife would be responsible for accommodating storm water from the western 1/3<sup>rd</sup> of the 63 acre property. Additional comments were made about past experiences of extraordinary rainfall alluding to the various streams from 100<sup>th</sup> street that eventually feed into the pond.

WesleyLife presented a preliminary site plan showing early massing a medium-density market rate rental concept of the community. As presently contemplated for massing the community will offer (50) independent living apartments, (32) assisted living apartments, (18) memory care units, and (18) skilled nursing care units. The southernmost section of the site is being reserved for potential single family lots. Detention facilities are being planned for on the southeast portion of the site, just south of the entrance to the underground parking.

Potential new single family home lots are contemplated to the east of Peckham and comprise approximately 14 acres. The single family lots to the south of the senior living community may or may not be marketed towards WesleyLife's typical consumer, but the intent would be to attract a younger senior aged 55+.

Discussion shifted to the tree line to the south of the 63 acre property. Bishop Engineering explained that the tree line would stay and serve as a buffer. It was clarified that a bike trail would be required to be extended on the north side of the creek/tree line.

Questions on the size, scale, and character of WesleyLife's community were fielded as a neighborhood resident compared to WesleyLife's Edgewater community. WesleyLife's Johnston community will house approximately 130 residents as contemplated and will be residential in style. Pope Architects, project architect for WesleyLife, is currently working on a conceptual modern farmhouse design, reiterating that the intent is to blend the development into the community. Positive feedback from neighborhood residents was received on WesleyLife's reputation and the concept/design style of the senior living development.

The Development Team thanked everyone for attending and encouraged the neighborhood residents to leave their email address for future communications on the WesleyLife development. Meeting concluded at approximately 6:55 p.m..



# Notice of Proposed Development *City of Johnston, Iowa*

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August 15, 2016

## **PZ Case No. 16-22; Simpson Property Comprehensive Plan Future Land Use Map Amendment and Simpson Property Zoning Map Amendment**

The property owner has requested an amendment to the Johnston 2030 Comprehensive Plan Future Land Use Map and a rezoning of 7.7 acres from A-R, Agricultural Reserve District, to R-1(75), Single-Family Residential District, and a rezoning of 28.2 acres from A-R, Agriculture Reserve District, to C-2, Community Retail Commercial District, and a rezoning of 17.9 acres from A-R, Agriculture Reserve District, to PC, Professional Commerce Park District, and a rezoning of 12.8 acres from A-R, Agriculture Reserve District, to R-3, Medium Density Multiple Family Residential District. The property is located on the southwest corner of NW 70th Avenue and NW 86th Street.

### **Applicant / Property Owner:**

Simpson Enterprises, Inc.  
6108 Terrace Dr  
Johnston, IA, 50131

### **Meeting Schedule:**

Planning and Zoning Commission, Monday, August 29, 2016  
City Council Meeting for First Reading (tentative), Monday, September 19, 2016

Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road and begin at 7:00 p.m. The public is welcome and invited to attend the above noted meetings and an opportunity will be provided for you to make comments on the proposed request.

### **Staff Contact:**

Comments and questions about this application may be directed to:

Clayton Ender, Planner  
City of Johnston  
6221 Merle Hay Road, Box 410  
Johnston, IA 50131  
Phone: (515) 727-7763  
Email: [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com)

### **Attachments:**

Aerial Vicinity Map  
Proposed Future Land Use Map Amendment  
Proposed Zoning Districts Map

## Notice of Public Meeting

August 15, 2016

The Johnston Planning and Zoning Commission will hold a Public Meeting at 7:00 p.m. on Monday, August 29, 2016 in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road to consider the following item:

### **PZ Case No. 16-22; Simpson Property Comprehensive Plan Future Land Use Map Amendment and Simpson Property Official Zoning Map Amendment**

The property owner has requested an amendment to the Johnston 2030 Comprehensive Plan's Future Land Use Map and a rezoning of 7.7 acres from A-R Agricultural Reserve District, to R-1(75) Single-Family Residential District, and a rezoning of 28.2 acres from A-R Agriculture Reserve District, to C-2 Community Retail Commercial District, and a rezoning of 17.9 acres from A-R Agriculture Reserve District, to PC Professional Commerce Park District, and a rezoning of 12.8 acres from A-R Agriculture Reserve District, to R-3 Medium Density Multiple Family Residential District. The property is located on the southwest corner of NW 70th Avenue and NW 86th Street.

If you have questions or comments on the above-described action, please contact the city staff person listed at the bottom of this card, or attend the meeting at the above-listed date and time. Additional information is available under the "proposed development" section of the City's website: <http://www.cityofjohnston.com/proposeddevelopment>.

**Clayton Ender, Planner**  
**Johnston City Hall; 6221 Merle Hay Road; Johnston, IA 50131**  
**Phone: 727-7763; Email: [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com)**

## PZ Case # 16-22 P&Z Meeting Mailing List

OWNER	ADDRESS	CITY, STATE, ZIP CODE
SIMPSON ENTERPRISES INC	6108 TERRACE DR	JOHNSTON, IA 50131-1590
LUTHER SHAWHAN	9350 NW 70TH AVE	JOHNSTON, IA 50131-1871
STATE OF IOWA	800 LINCOLN WAY	AMES, IA 50010-6915
AUGUSTINE HOMEOWNERS' ASSOCIATION	1820 NW 118TH ST	CLIVE, IA 50325-8265
TMI HOLDINGS LLC	512 NE MAIN ST	GRIMES, IA 50111-2188
DENNIS THILGES	9128 WOODDED POINT DR	JOHNSTON, IA 50131-4724
DAVID BRIGGS	6818 PECKHAM ST	JOHNSTON, IA 50131-3056
ALLEN STOYE	6824 NW 87TH CT	JOHNSTON, IA 50131-4745
ROGER SANDERS	6825 NW 87TH CT	JOHNSTON, IA 50131-4745
KATHLEEN DE PHILLIPS (TRUSTEE)	9131 WOODDED POINT DR	JOHNSTON, IA 50131-4724
JONATHAN THOMPSON	9115 WOODDED POINT DR	JOHNSTON, IA 50131-4724
NICHOLAS PARENZA	9112 WOODDED POINT DR	JOHNSTON, IA 50131-4724
THOMAS NEWTON	9120 WOODDED POINT DR	JOHNSTON, IA 50131-4724
PAUL HARTMAN	9123 WOODDED POINT DR	JOHNSTON, IA 50131-4724
DARYL DELL'ANNO	6826 NW 93RD ST	JOHNSTON, IA 50131-3079
ROBERTA KELTING	6814 PECKHAM ST	JOHNSTON, IA 50131-3056
DARREN SCHNEIDER	6871 NW 86TH ST	JOHNSTON, IA 50131-1760
JASON MIDDENDORF	6822 PECKHAM ST	JOHNSTON, IA 50131-3056
POLK COUNTY	5885 NE 14TH ST	DES MOINES, IA 50313-1202
MARILYN FINNEY	4717 WOODLAND AVE	WEST DES MOINES, IA 50266-1766
MICHAEL BREWINGTON	7109 NW 95TH CT	JOHNSTON, IA 50131-1812
SREEDHAR SOMISETTY	6728 AUGUSTINE CT	JOHNSTON, IA 50131-4700
NEIL MANDSAGER	6733 AUGUSTINE CT	JOHNSTON, IA 50131-4700
CRAIG CLASEN	6732 AUGUSTINE CT	JOHNSTON, IA 50131-4700
ABLN LLC	2900 DELAWARE AVE	DES MOINES, IA 50317-3545
NORTHWOOD TRAIL OWNERS ASSOCIATION	2900 DELAWARE AVE	DES MOINES, IA 50317-3545
ABLN LLC	2900 DELAWARE AVE	DES MOINES, IA 50317-3545
RICHARD PERLBERG	6812 NW 93RD ST	JOHNSTON, IA 50131-3079
DEREK NELSON	6816 NW 93RD ST	JOHNSTON, IA 50131-3079
GREGORY VINES	6907 NW 93RD ST	JOHNSTON, IA 50131-3094
THOMAS FOLDES	6908 NW 93RD ST	JOHNSTON, IA 50131-3131
KRAUSE HOLDINGS INC	6400 WESTOWN PKWY	WEST DES MOINES, IA 50266-7717
JUSTIN BOLES	7003 PECKHAM ST	JOHNSTON, IA 50131-4774
DAVID BOEGE	9035 WOODDED POINT DR	JOHNSTON, IA 50131-4742
MIA BOOM-IBES	9032 WOODDED POINT DR	JOHNSTON, IA 50131-4742
MICHELLE CONANT	6823 NW 88TH CT	JOHNSTON, IA 50131
EDUARDO CARLIN	6829 NW 87TH CT	JOHNSTON, IA 50131-4745
BRIAN TIGGES	9024 WOODDED POINT DR	JOHNSTON, IA 50131-4742

<b>OWNER</b>	<b>ADDRESS</b>	<b>CITY, STATE, ZIP CODE</b>
CARL HARRIS	6822 NW 88TH CT	JOHNSTON, IA 50131-4746
TIMOTHY SALMON	6837 NW 87TH CT	JOHNSTON, IA 50131-4745
CHRISTOPHER KROEGER	7007 PECKHAM ST	JOHNSTON, IA 50131-4774
HEATHER PEMBLE	6822 NW 89TH CT	JOHNSTON, IA 50131-4743
GREG BALDNER	9107 WOODDED POINT DR	JOHNSTON, IA 50131-4724
DOUGLAS JESKE	6827 NW 88TH CT	JOHNSTON, IA 50131-4746
GARY SCHENKELBERG	6833 NW 87TH CT	JOHNSTON, IA 50131-4745
KEVIN ALLEMAGNE	9027 WOODDED POINT DR	JOHNSTON, IA 50131-4742
JEREMY RENGER	6826 NW 89TH CT	JOHNSTON, IA 50131-4743
GREGORY ELMING	6826 NW 88TH CT	JOHNSTON, IA 50131-4746
JAMES HOYT (TRUSTEE)	6831 NW 88TH CT	JOHNSTON, IA 50131-4746
CINDY SOUTHARD	7002 PECKHAM ST	JOHNSTON, IA 50131-4774
HARLEE OLAFSON	6813 NW 93RD ST	JOHNSTON, IA 50131-3079
GARY LONGNECKER	7070 FOREST DR	JOHNSTON, IA 50131-1283
MARK KRAUSE	6833 NW 93RD ST	JOHNSTON, IA 50131-3079
BRADLEY MEYER	6834 NW 93RD ST	JOHNSTON, IA 50131-3079
DENISE HOBT (TRUSTEE)	6911 NW 93RD ST	JOHNSTON, IA 50131-3094
DALE WOODS	6822 NW 93RD ST	JOHNSTON, IA 50131-3079
PHILLIP MCKEE	6830 NW 93RD ST	JOHNSTON, IA 50131-3079
EDGAR CABRERA	6903 NW 93RD ST	JOHNSTON, IA 50131-3094
MATTHEW KUBOVICH	6900 NW 93RD ST	JOHNSTON, IA 50131-3131
SCOTT LANG	6819 NW 89TH CT	JOHNSTON, IA 50131-4743
GREG ARMITAGE	9019 WOODDED POINT DR	JOHNSTON, IA 50131-4742
ROBERT FISHER	6827 NW 89TH CT	JOHNSTON, IA 50131-4743
KURT LABENZ	6836 NW 87TH CT	JOHNSTON, IA 50131-4745
CHRISTOPHER MANNING	6821 NW 93RD ST	JOHNSTON, IA 50131-3079
CHRISTOPHER YOUNG	6825 NW 93RD ST	JOHNSTON, IA 50131
JOVETH MANESE	9104 WOODDED POINT DR	JOHNSTON, IA 50131-4724
KEVIN WAETKE	9136 WOODDED POINT DR	JOHNSTON, IA 50131-4724
DOUG GARDNER	9816 MCWILLIAMS DR	JOHNSTON, IA 50131-2913
ERIC COLEMAN	8929 WOODDED POINT DR	JOHNSTON, IA 50131-4751
CHRISTIAN HOWELL	7006 PECKHAM ST	JOHNSTON, IA 50131-4774
ABLN LLC	2900 DELAWARE AVE	DES MOINES, IA 50317-3545
DAVID COSLIN	9139 WOODDED POINT DR	JOHNSTON, IA 50131-4724
TYLER RUPP	6828 NW 87TH CT	JOHNSTON, IA 50131-4745
SAMUEL ACHESON (TRUSTEE)	6832 NW 87TH CT	JOHNSTON, IA 50131-4745
CAMP DODGE DEVELOPMENT COMPANY LC	9813 ILTIS DR	DES MOINES, IA 50322-1390
ALLEN HENTSCHER	6904 NW 93RD ST	JOHNSTON, IA 50131-3131
LUKE FREML	6818 NW 89TH CT	JOHNSTON, IA 50131-4743

<b>OWNER</b>	<b>ADDRESS</b>	<b>CITY, STATE, ZIP CODE</b>
WILLIAM MC GINN	6823 NW 89TH CT	JOHNSTON, IA 50131-4743
KRISTINE VOORHEES	9011 WOODDED POINT DR	JOHNSTON, IA 50131-4742
JASON FOX	8921 WOODDED POINT DR	JOHNSTON, IA 50131-4751
JOHN STOVER	6829 NW 93RD ST	JOHNSTON, IA 50131-3079



# Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT  
August 29, 2016 Meeting

**SUBJECT:** Consider recommending approval of the Preliminary and Final Plat for Northwoods Crossing, a minor subdivision of approximately 63.39 acres west of NW 86<sup>th</sup> Street and south of NW 70<sup>th</sup> Avenue (PZ Case 16-25).

**SYNOPSIS:**

Simpson Enterprises, Inc. has requested a minor subdivision of the subject property to allow for property transfer of Outlot 'A'. As a minor subdivision, no extension of streets or utilities is proposed.

**RECOMMENDATION:**

Staff recommends approval of the preliminary and final plats subject to the following conditions of approval:

**The Planning & Zoning Commission recommends approval of PZ Case No. 16-25, the Preliminary and Final Plat for Northwoods Crossing, with the following conditions:**

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. Address comments from Foth's review letter dated 8/9/16.
3. The Preliminary and Final Plats must be revised to provide street lots for additional right-of-way adjacent to NW 70<sup>th</sup> Avenue.
4. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.
5. The following documents must be recorded with the final plat:
  - Attorney's Title Opinion
  - Polk County Treasurer's Tax Certificate
  - Consent to Plat (Owner)
  - Consent to Plat [Lender (If Applicable)]
  - Trail easement as necessary
  - Stream buffer easements
  - Petition and Waiver for NW 70<sup>th</sup> Avenue.
  - Warranty Deed Street Lots
  - Ground water hazard statement
  - Lender's partial release of Mortgage

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to recommend approval of the Preliminary and Final Plat for Northwoods Crossing with the noted conditions.

Attachments:     Aerial Vicinity Map;  
                      Preliminary and Final Plats  
                      Development Review Comments

APPLICANT/  
PROPERTY OWNER:

Simpson Enterprises Inc.  
6108 Terrace Drive  
Johnston, IA 50131

REPRESENTATIVE:

Rick Baumhover, Bishop Engineering  
3501 104<sup>th</sup> Street  
Urbandale, IA 50322

BACKGROUND &  
PRIOR APPROVALS:

This property was zoned A-R at time it was annexed into the City of Johnston.

On August 1, 2016, the City Council initiated an Official Zoning Map amendment for the subject property to amend approximately 7.7 acres from A-R Agricultural Reserve District, to R-1(75) Single-Family Residential District and an Official Zoning Map amendment for approximately 28.2 acres from A-R Agriculture Reserve District, to C-2 Community Retail Commercial District and an Official Zoning Map amendment for approximately 17.9 acres and from A-R Agriculture Reserve District, to PC Professional Commerce Park District and an Official Zoning Map amendment for approximately 12.8 acres from A-R Agriculture Reserve District, to R-3 Medium Density Multiple Family Residential District.

The above-mentioned rezoning must be considered by the city council on three separate occasions. The third and final reading of the ordinance to rezone the property is scheduled for October 17, 2016.

ZONING DISTRICT &  
BULK  
REQUIREMENTS:

The property is currently zoned A-R, Agricultural Reserve District with a minimum lot size requirement of 60 acres; however, a rezoning request has been submitted (see proposed zoning below), and, as outlots the properties cannot be developed without further platting action.

PROPOSED ZONING:

The Simpson property is proposed to be split into four separate zoning classifications: 7.7 acres is proposed to be rezoned to R-1(75) Single Family Residential, 12.8 acres is proposed to be rezoned to R-3 Medium Density Residential, 28.2 acres is proposed to be rezoned to C-2 Community Retail Commercial, and 17.9 acres is proposed to be rezoned to PC Professional Commerce Park.

Within the R-3 district would be a skilled nursing and memory care facility, assisted living apartments, and independent living apartments. These uses are expected to be developed by WesleyLife. This use has prompted the property owner to request the rezoning of their property.

The following are the bulk regulations for each district:

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-1(75) Single Family Detached</b>	35'	9,500'	75'	35'	8'/17'	35'
*Maximum density of 3.44 dwelling units per acre						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-1(75) Single Family Bi-Attached</b>	35'	16,000'	100'	35'	10'/20'	35'
*Maximum density of 5.4 dwelling units per acre *Only permitted with a special use permit						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-3 Single Family Bi-Attached</b>	35'	12,500'	100'	50'	10'/20'	35'
*Maximum density of 7.0 dwelling units per acre						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>R-3 Townhomes, Condos, Multiple unit Dwellings</b>	35'	80,000'	200'	50'	35'/70'	55'
*Maximum density of 8.0 dwelling units per acre						

Use	Maximum Building Height	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>Nursing, Convalescent, or Assisted Living</b>	50'	80,000'	200'	50'	25'/50'	55'

\* Maximum density of 16.0 dwelling units per acre or 32 beds per acre

Use	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>C-2 Community Retail Commercial</b>	20,000'	100'	30'	10'/20'	35'

Use	Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Yard Setback
<b>PC Professional Commerce Park</b>	40,000'	200'	50'	20'/40'	50'

**TRAFFIC ACCESS & CIRCULATION:**

The proposed creation of Outlots 'A' and 'B' will not impact existing traffic access or circulation patterns. Future platting endeavors must facilitate an extension of Peckham Street north to NW 70<sup>th</sup> Avenue and NW 69<sup>th</sup> Avenue would be extended east to connect with Peckham Street.

**UTILITIES:**

No extension of utilities is proposed with this minor subdivision. Future platting action will provide for the extension of utilities to serve development of the property. Currently, sanitary sewer and water are available along the north and east property boundaries and at the existing termination of Peckham Street.

**FLOOD PLAIN:**

This site is not located within the 100-year or 500-year floodplain.

**PARKLAND DEDICATION:**

Chapter 180.43 of the City of Johnston code of ordinances requires dedication of 5 acres of public parkland for each 1,000 residents added to the community. The necessary dedication will be tabulated with future platting process or site plan and is based on the number of lots/ dwelling units created.

**NORTHWEST AREA WATER CONNECTION DISTRICT:**

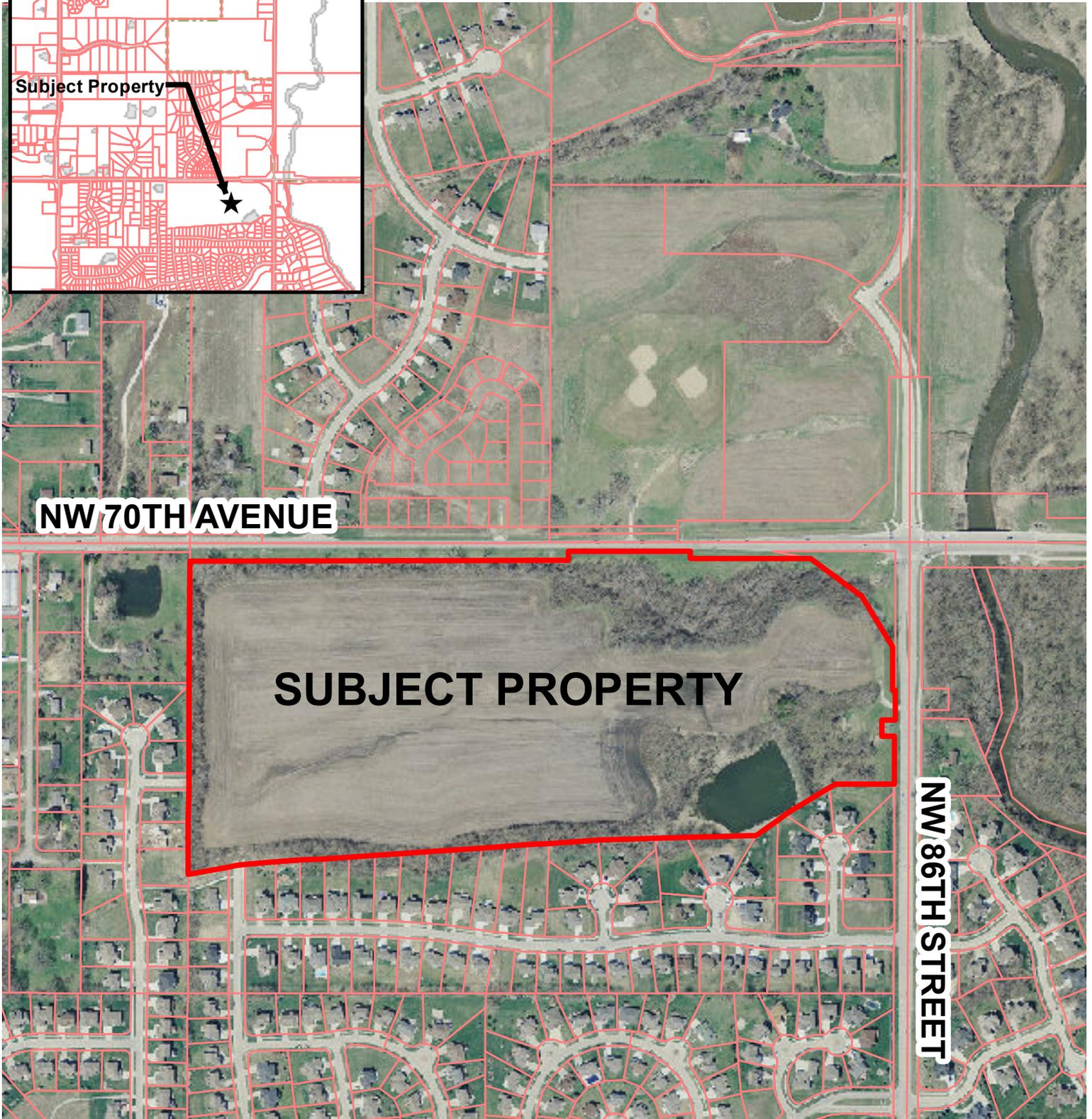
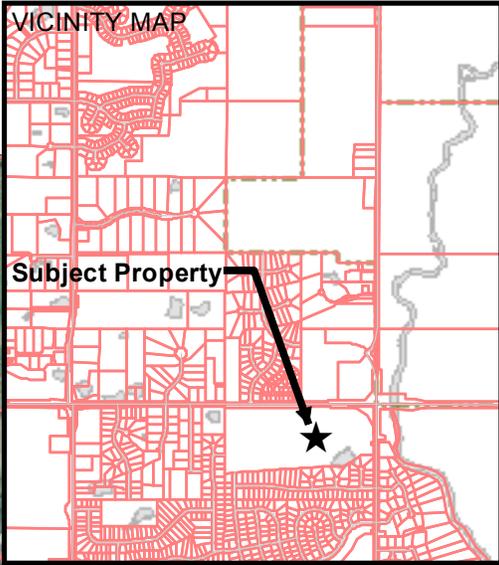
The subject property is within the Northwest Area Water District. Payment of district connection fees in the amount of \$1,750 per acre is required prior to City Council approval of any Final Plat creating a buildable lot (not applicable to subject plat).

**NORTHWEST AREA SANITARY SEWER CONNECTION**

This property is within the Northwest Area Sanitary Sewer Connection District. Payment of the Northwest Area Sanitary Sewer Connection District Fee of \$3,200 per acre for the portion of the any plat not within

DISTRICT:	undevelopable outlots would need to occur prior to Council approval of any Final Plat creating a buildable lot (not applicable to subject plat).
IMPROVEMENTS TO ADJACENT ROADWAYS:	Plans are being designed to improve NW 70 <sup>th</sup> Avenue north of this property. The plans include a future round about at the intersection of NW 70 <sup>th</sup> Avenue and Peckham Street. The applicant is required to provide a petition and waiver for future improvements prior to council approval of the final plat.
CONSULTANT COMMENTS:	Foth Infrastructure & Environment, LLC has reviewed the Preliminary and Final Plats. Staff recommends a condition of approval requiring all outstanding issues be addressed prior to recordation of the final plat.
DOCUMENTS REQUIRED WITH THE FINAL PLAT:	<p>In order to proceed to the City Council with the Final Plat, the following documents/payments are required:</p> <ul style="list-style-type: none"> <li>• Attorney's Title Opinion</li> <li>• Polk County Treasurer's Tax Certificate</li> <li>• Consent to Plat (Owner)</li> <li>• Consent to Plat [Lender (If Applicable)]</li> <li>• Trail easement as necessary</li> <li>• Stream buffer easements</li> <li>• Petition and Waiver for improvements to NW 70<sup>th</sup> Avenue.</li> <li>• Warranty Deed Street Lots</li> <li>• Ground water hazard statement street lots</li> <li>• Lender's partial release of Mortgage street lots</li> </ul>

**PZ CASE 16-25  
Northwoods Crossing**



**NW 70TH AVENUE**

**SUBJECT PROPERTY**

**NW 86TH STREET**



1 inch = 500 feet

Created by City of Johnston Department of Community Development  
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033



## MEMORANDUM *City of Johnston, Iowa*

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### **SENT VIA EMAIL**

**DATE:** August 10, 2016

**TO:** Jeff Simpson, Simpson Enterprises, Inc.  
Rick Baumhover, Bishop Engineering

**FROM:** Aaron Wolfe, Senior Planner

**RE: Simpson Property Minor Subdivision**

Staff offers the following comments relevant to the requested rezoning for the 63-acre Simpson property (additional comments to be provided by consulting engineer Foth Infrastructure and Environment):

1. Chapter 180.43 of our code of ordinances requires dedication of 5 acres of public parkland for each 1,000 residents added to the community. The number of residents added by a particular development is estimated by multiplying a given value for the type of dwelling unit proposed by the number of lots proposed. This requirement will be imposed with future platting process.
2. The subject property is within the Northwest Expansion Area Benefited Water District. Payment of the \$1,750 per acre fee is required prior to City Council approval of any Final Plat or Site Plan (to be imposed with future platting process)
3. The subject property is within the Northwest Area Sanitary Sewer Connection District. Payment of the \$3,200 per acre fee is required prior to City Council approval of any Final Plat or Site Plan (to be imposed with future platting process).
4. Create street lots for dedication of ROW with subject plat.
5. The Johnston 2030 Comprehensive Plan indicates future trails extending from Peckham to NW 86<sup>th</sup> Street along the south edge of the subject property, north/south adjacent to Peckham from the south property line to NW 70<sup>th</sup> Avenue, and East/West along the north property boundary. It is anticipated the trail adjacent to Peckham and NW 70<sup>th</sup> Avenue will be accommodated in right-of-way. However, the trail along the south property line must be within a trail easement. This easement can be provided with this platting process or future platting process.

6. The stream that enters into the drainage pond and stream on north end of property are both classified as a type II streams by the City of Johnston and as such requires a 50' buffer on each side of the stream as measured from the centerline of the channel. This will require a stream buffer easement to be provided and shown on the preliminary plat. The composition of the required buffer is defined in City of Johnston code of ordinances chapter 145.19.4.
7. While landscape buffer easements are not required of this plat, staff will note various buffers will be required during later platting stages or site plan approvals. For instance, a 20' buffer is required between C-2 and R-3 uses, a 30' buffer is required between P-C and R-1(90). A 50' buffer is required between C-2 and R-1. This requirements may impact buildable area and future platting processes.
8. Aside from this minor subdivision, the subject properties cannot be further subdivided until such time the rezoning has been approved as the minimum lot size in the Agricultural Reserve district is 30 acres. Further, no site plan may be approved until such time that the rezoning is final (both may occur at same meeting as third reading of rezoning).
9. Please note, in order to proceed to the City Council with the final plat, the following documents/payments will be required:
  - Attorney's Title Opinion
  - Polk County Treasurer's Tax Certificate
  - Consent to Plat (Owner)
  - Consent to Plat [Lender (If Applicable)]
  - Trail easement as necessary
  - Stream buffer easements
  - Petition and Waiver for improvements to NW 70<sup>th</sup> Avenue.
  - Warranty Deed Street Lots
    - Ground water hazard statement street lots
    - Lender's partial release of Mortgage street lots

All original executed final plat legal documentation must be submitted to the Community Development Department a minimum of 6 working days prior to the City Council meeting date. Copies of the final plat documents will then be routed to the City Attorney by the Community Development Department.

A development review meeting has been scheduled for Wednesday, August 10, 2016 at 2:30 p.m. to review this project.

Please submit 2, 11 x 17 inch copies and 4 full sized revisions with cover letter detailing all changes by August 17<sup>th</sup>, 2016 to proceed to the Planning and Zoning Commission on August 29<sup>th</sup>, 2016. The City Council will thereafter consider approval at their September 6<sup>th</sup>, 2016 meeting. If you have any questions, please contact me at 727-7766 or by email at [awolfe@ci.johnston.ia.us](mailto:awolfe@ci.johnston.ia.us).



August 9th, 2016

Aaron Wolfe, Senior Planner  
City of Johnston, P.O. Box 410  
6221 Merle Hay Road  
Johnston, IA 50131

RE: Simpson Property Minor Subdivision  
Development Review 1  
Case No. PZ 16-25

Foth Infrastructure and Environment, LLC has completed a review of the preliminary and final plat submittal received August 1st, 2016 for the above referenced project. Based on our review, the following comments are offered:

**Preliminary Plat**

1. Display all existing easements.
2. Add storm sewer and overland flowage easement and permeant ROW as needed for NE 70<sup>th</sup> Ave public improvements. Coordinate with Andy Floy(Foth).
3. Area shown as Zone X but after reviewing the FIRM map, site is outside of Zone X.
4. Add sizes of existing sanitary sewer.
5. Display existing water main.
6. Display area to the north of NW 70<sup>th</sup> Ave to north ROW.

**Final Plat**

7. Display all existing easements.

Please contact me at 515.251.2552 if you have questions or comments.

Sincerely,

**Foth Infrastructure & Environment, LLC**

A handwritten signature in blue ink that reads "Tyler Anderson".

Tyler Anderson, P.E.  
*Civil Engineer*

TMA : file



# Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT

August 29<sup>th</sup>, 2016 Meeting

**SUBJECT:** Consider making a recommendation of an amended preliminary plat for PZ Case No. 16-04, Wilkie Place Preliminary Plat. The amended preliminary plat updates the original preliminary plat to include tree removal along the north, east, and south property boundaries.

**SYNOPSIS:**

The applicant, Capital City Development, LLC has submitted an amended preliminary plat that updates the original Wilkie Place Preliminary Plat to identify tree removal along the north, east, and south property boundaries.

**RECOMMENDATION:**

Staff recommends approval and provides the following motion for the commission’s consideration:

**The Planning & Zoning Commission recommends approval of the amended preliminary plat for PZ Case No. 16-04, Wilkie Place Preliminary Plat, subject to the following conditions:**

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. All other conditions of Resolution 16-69; A Resolution Approving the Preliminary Plat for Wilkie Place, shall remain in full force and effect.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to recommend approval of the amended preliminary plat for Wilkie Place, PZ Case No. 16-04.

**Attachments:**

- Resolution 16-69, A Resolution Approving the Preliminary Plat for Wilkie Place;
- Original Wilkie Place Preliminary Plat, prepared by Cooper Crawford & Associates LLC, dated June 20, 2016;
- Proposed Amended Preliminary Plat prepared by Cooper Crawford & Associates LLC, dated August 18, 2016;
- Vicinity Map;
- Notice of Public Meeting;
- Mailing List for Notice of Public Meeting;
- Public Comments;

<b>PROPERTY OWNER:</b>	Capital City Development, LLC 2936 104 <sup>th</sup> Street Urbandale, IA 50322
<b>APPLICANT:</b>	Capital City Development, LLC ATTN: Timothy Schutte 2936 104 <sup>th</sup> Street Urbandale, IA 50322
<b>REPRESENTATIVE:</b>	Cooper Crawford & Associates, LLC 435 S 50 <sup>th</sup> Street, Suite 800 West Des Moines, IA 50265
<b>BACKGROUND &amp; PRIOR APPROVALS:</b>	<p>The subject property is legally described as Lot 5 Rittger’s Acres. Said property is included on the Rittger’s Acres Plat which was recorded on June 21, 1938, pre-dating incorporation of the City of Johnston. The Wilkie Place Preliminary Plat was approved by the City Council on April 18<sup>th</sup>, 2016. Approval of this preliminary plat is still valid, but an amended preliminary plat is required to allow for tree removal that was not identified on the original preliminary plat for Wilkie Place.</p> <p>Due to the nature of the proposed amendment to the original preliminary plat, staff had determined that this could not be approved administratively and would be required to receive a recommendation from the Planning and Zoning Commission and final approval from the City Council.</p>
<b>TREE REMOVAL:</b>	<p>Johnston’s Erosion and Sediment Control Ordinance requires that any tree identified to be protected on a plat must be protected. The original preliminary plat approved for Wilkie Place identified limited tree removal along the north property boundary and limited tree removal along the southwest property boundary. A note was included on the plat stating that “all other trees greater than 6” or larger to remain”. It has come to the applicant’s and staff’s attention that further tree removal would be required to construct the stormwater detention basins as designed for the original preliminary plat. Because of the note on the original preliminary plat and the limited tree removal identified on the original preliminary plat all other trees are greater than 6” are to remain on the site unless the plat is amended to allow for the tree removal.</p> <p>The applicant has submitted an amended preliminary plat for consideration so they may complete the construction of the stormwater detention basins as shown on the preliminary plat. The amended preliminary plat identifies tree removal along the northwest, east, and south property boundaries. Substantial tree removal did occur along the north property line at the beginning of August which was in violation of Johnston’s Erosion and Sediment Control Ordinance. The unauthorized removal of trees is being</p>

dealt with through a separate process, but the amended preliminary plat does identify that tree removal did occur in that area. The applicant is seeking to have the preliminary plat amended so that further tree removal may occur without it being in violation of Johnston's Erosion and Sediment Control Ordinance.

A recent conversation with the applicant and the project's engineer has revealed that tree removal will be necessary to complete the improvements for the plat and that the reason the original preliminary plat did not identify this tree removal was because it did not get properly updated prior to approval. This amended preliminary plat updates the tree removal sheet of the preliminary plat and identifies the current property owner. No other major changes have been made with this amended preliminary plat.

**NEIGHBOR NOTICE:**

A notice for the meeting regarding this item was mailed to all adjacent property owners and those nearby on NW 64<sup>th</sup> Place and NW 51<sup>st</sup> Street. A copy of this notice is attached. As of publication of this report, comments have been received from Joe Wakeman. His comments have been included as an attachment to this report.

## **RESOLUTION 16-69**

### **A RESOLUTION APPROVING THE PRELIMINARY PLAT FOR WILKIE PLACE**

**WHEREAS**, the Planning & Zoning Commission has reviewed this request during its regular meeting on March 14<sup>th</sup>, 2016, and recommended approval of PZ Case No. 16-04 with noted conditions;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA**, that the Preliminary Plat for Wilkie Place is hereby approved subject to the following conditions,

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.
2. Council acceptance of a development agreement reflecting a credit for installation of a recreational trail toward satisfaction of the parkland dedication requirement provided said improvement represents a value equivalent to the required contribution (\$11,264.40).
3. Council deferral on approval of the street name for the street currently named “Walker Circle” until the time of Final Plat approval.
4. Address all comments from Foth’s memo dated April 14, 2016.
5. **Prior to City Council approval of Construction Plans for any phase of the development, the following items shall be included on the Construction Plans:**
  - a. The Construction Plans and subsequent Final Plat(s) shall include critical spot elevations for all roadside ditches and drainage ways constructed throughout the site. As built elevations shall be provided for these areas prior to the City’s acceptance of public improvements to verify construction at the appropriate elevations.
6. **Prior to City Council approval of a Final Plat for any phase of the development, the following items shall be addressed:**
  - a. Applicant shall submit a Petition and Waiver regarding property assessment for future improvements to NW 51<sup>st</sup> Street.
  - b. Minimum opening elevations shall be provided for all lots, adjacent to drainage ways, detention/retention ponds or other areas where inundation is possible, such elevations shall be identified on the final plat(s).
  - c. Applicant shall submit a stormwater management maintenance agreement to be recorded with the final plat.
  - d. Provide evidence of the creation of a Home Owner Association to manage and maintain stormwater management facilities within the plat.

**PASSED AND APPROVED** this 18<sup>th</sup> day of April, 2016.

  
\_\_\_\_\_  
PAULA S. DIERENFELD, MAYOR

ATTEST:   
\_\_\_\_\_  
CYNDEE RHAMES, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>	<u>Absent</u>	<u>Abstain</u>
Brown	✓	—	—	—
Clabaugh	✓	—	—	—
Cope	✓	—	—	—
Lindeman	—	✓	—	—
Temple	—	✓	—	—

# PRELIMINARY PLAT WILKIE PLACE

SHEET 1 OF 4

**DEVELOPER**  
CAPITAL CITY DEVELOPMENT, LLC  
2936 104th STREET  
URBANDALE, IOWA 50322

**OWNER**  
DEE ANN WALKER-KING  
5880 NW 54TH CT  
JOHNSTON, IA 50131

**ZONING**  
RI-75 SINGLE FAMILY RESIDENTIAL

**SETBACKS**  
FRONT YARD = 35 FEET  
REAR YARD = 35 FEET  
SIDE YARD = 8' MIN. (17' TOTAL)

**LEGAL DESCRIPTION**  
LOT 5, RITTGER'S ACRES, AN OFFICIAL PLAT, CITY OF JOHNSTON, POLK COUNTY, IOWA, CONTAINING 9.72 ACRES MORE OR LESS

SAID TRACT OF LAND BEING SUBJECT TO ANY AND ALL EASEMENTS OF RECORD

**UTILITIES**  
WATER JOHNSTON WATER SYSTEM  
SANITARY SEWER CITY OF JOHNSTON SANITARY SEWER SYSTEM

**NOTES**  
1. LOTS 'A' & 'B' TO BE DEDICATED TO THE CITY OF JOHNSTON FOR STREET USE  
2. WORK WILL BE PERFORMED TO THE 2014 SUDAS SPECIFICATIONS AND THE 2014 SUPPLEMENTAL SPECIFICATIONS  
3. AN ADDITIONAL 5' ALONG NW 51ST STREET KNOWN AS LOT 'C' WILL BE DEEDED TO THE CITY FOR FUTURE ROW  
4. IF DURING CONSTRUCTION OF THE DETENTION BASINS FIELD CONDITIONS DEEM IT NECESSARY SUBSURFACE INTERCEPTOR DRAIN LINES WILL BE REQUIRED PER ALLENDER BUTZKE ENGINEERS INC REPORT PM 161224

**FIRM DESIGNATION**  
COMMUNITY PANEL NUMBER 190745 0006D, JULY 19, 2000  
ZONE 'X', AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN

**LEGEND**

EXISTING/PROPOSED	
—	PLAT BOUNDARY
— ST <sup>6"</sup>	STORM SEWER & SIZE
— SAN <sup>6"</sup>	SANITARY SEWER & SIZE
— W <sup>6"</sup>	WATER MAIN & SIZE
○	MANHOLE
⊕	STORM INTAKE
⊕	FIRE HYDRANT
⊕	VALVE
△	F.E.S.
○	EXISTING CONTOURS
○	PROPOSED CONTOURS
⊗	SILT FENCE OR APPROVED FILTRATION SOCK
OL	OUTLOT

**CERTIFICATION**

HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA

*Bradley R. Cooper* 6-20-16  
BRADLEY R. COOPER, IOWA LICENSE NO 12980  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017  
PAGES OR SHEETS COVERED BY THIS SEAL  
Sheets 1-4

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
REVISIONS: 3-18-2016  
4-6-2016  
6-3-2016  
6-20-2016

JOB NUMBER  
**CC 1823**

APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_  
**PRELIMINARY PLAT  
WILKIE PLACE**

SHEET  
1 OF 4



VICINITY SKETCH

**FINAL COPY**

Date: 6-21-16

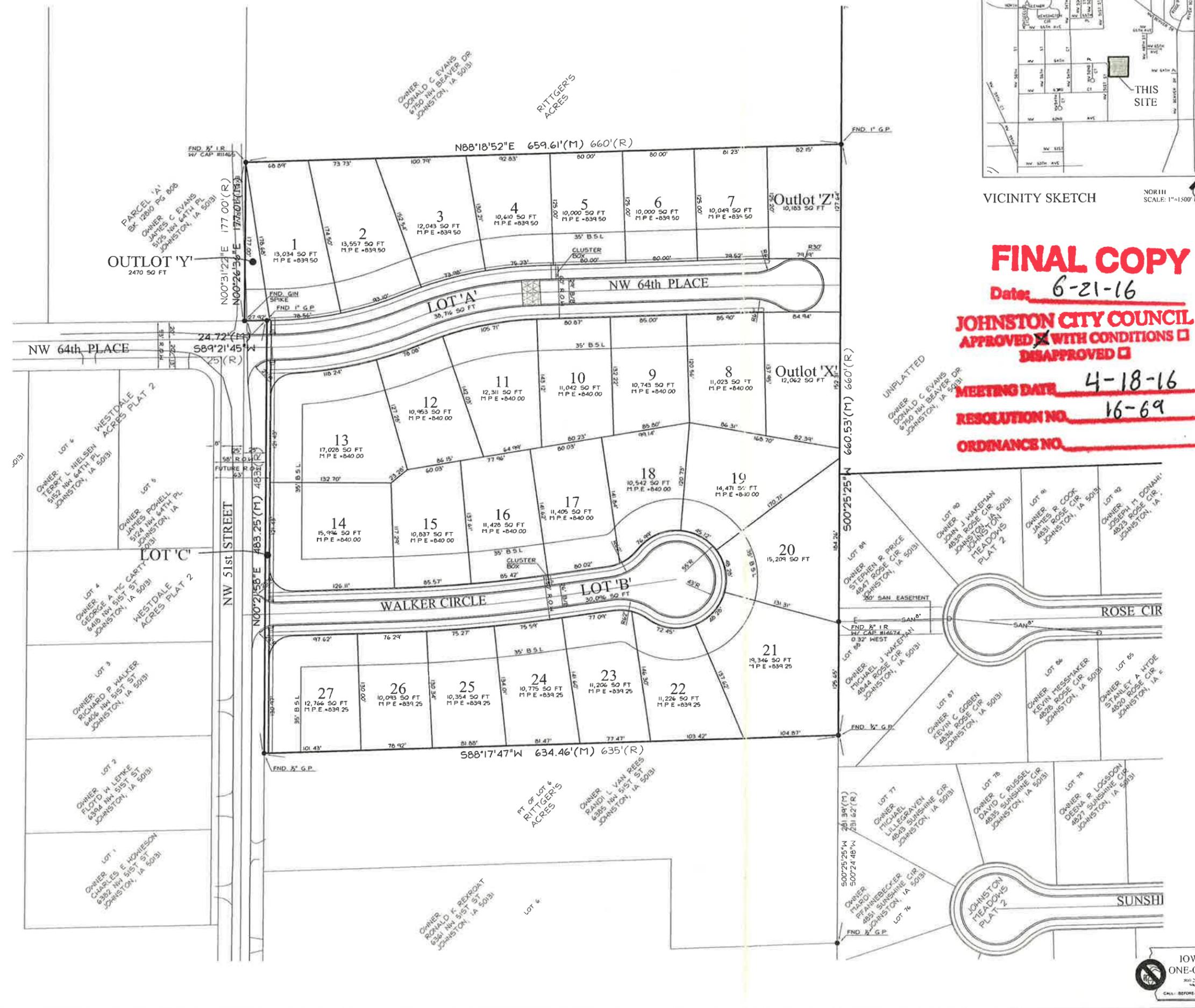
**JOHNSTON CITY COUNCIL**  
APPROVED  WITH CONDITIONS   
DISAPPROVED

MEETING DATE: 4-18-16

RESOLUTION NO: 16-69

ORDINANCE NO: \_\_\_\_\_

UNPLATTED  
OWNER: DONALD C. EVANS  
6750 NW BEAVER DR  
JOHNSTON, IA 50131



# PRELIMINARY PLAT WILKIE PLACE

## SHEET 2 OF 4

### STORM WATER POLLUTION PREVENTION PLAN

#### SITE DESCRIPTION

Location: Part of the SE 1/4 of Sec 3, T19N, R25W  
 Nature of Construction Activity: Residential development  
 Area: Total site area = 9.72 acres  
 Site area affected = 9.72 acres  
 Runoff coefficient = 0.40 (rational method)  
 Approximate slopes anticipated: 3:1, or flatter  
 Runoff from this project will flow into unnamed tributaries  
 which will flow into the Beaver Creek

- #### Erosion and sediment controls
- Stabilization practices
  - Existing vegetation is preserved whenever possible
  - Permanent seeding and/or sodding
  - Structural practices
  - Silt fences
  - Drainage swales
  - Rock outlet protection (riprap)
  - Storm water management
  - Infiltration of runoff onsite
  - Velocity dissipation devices at discharge locations to provide non-erosive velocity flows
  - Waste disposal
  - All building material wastes must be removed from the site
  - Off-site vehicle tracking of sediments shall be minimized

#### MAINTENANCE

- Maintain effective operating conditions of all protective measures identified in the plan
- Silt fencing is cleaned when they have lost 50% of their capacity
- Drainage swales remain undisturbed
- Rock outlet protection (riprap) remains intact

#### INSPECTIONS

- Qualified personnel shall inspect disturbed areas of the construction site that have not been finally stabilized at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater
- Inspect site for evidence of, or the potential of, pollutants entering the drainage system from stored materials
- Observe erosion and sediment controls to ensure that they are operating correctly
- Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking
- Inspect discharge locations to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters
- Any modifications to the plan as a result of an inspection shall be implemented within 7 calendar days of the inspection
- An inspection report shall be prepared and retained as part of the prevention plan until project termination, this report will contain the following:
  - A summary of the scope of the inspection
  - Qualifications of the personnel making the inspection
  - Major observations relating to the implementation of the prevention plan
  - Any actions taken
  - Signature

#### NON-STORM WATER DISCHARGES

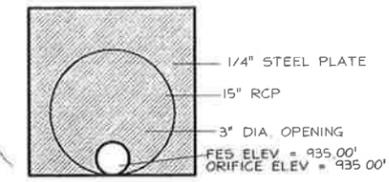
- Water main flushing
  - Flushed water will be discharged into the storm sewer system where, when discharged, it will undergo erosion and sediment controls consisting of:
    - Rock outlet protection (riprap)
    - Silt fencing
    - Existing vegetation

#### CONTRACTORS

- The grading contractor shall have the responsibility of implementing the measures contained in this plan
- All contractors and subcontractors shall sign a certification statement before conducting any professional service at the site relating to the National Pollution Discharge Elimination System (NPDES) permit
- Topsoil stripped from the disturbed area will be stockpiled
- After construction has been completed the stockpile will be re-spread at a minimum thickness of 8 inches

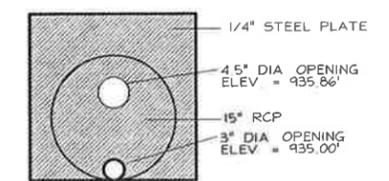
#### LEGEND

- ##### EXISTING/PROPOSED
- PLAT BOUNDARY
  - ST<sup>12"</sup> STORM SEWER # SIZE
  - SAN<sup>8"</sup> SANITARY SEWER # SIZE
  - W<sup>8"</sup> WATER MAIN # SIZE
  - MANHOLE
  - STORM INTAKE
  - ⊕ FIRE HYDRANT
  - ⊕ VALVE
  - △ F.E.S.
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - SILT FENCE OR APPROVED FILTRATION SOCK
  - L OUTLOT



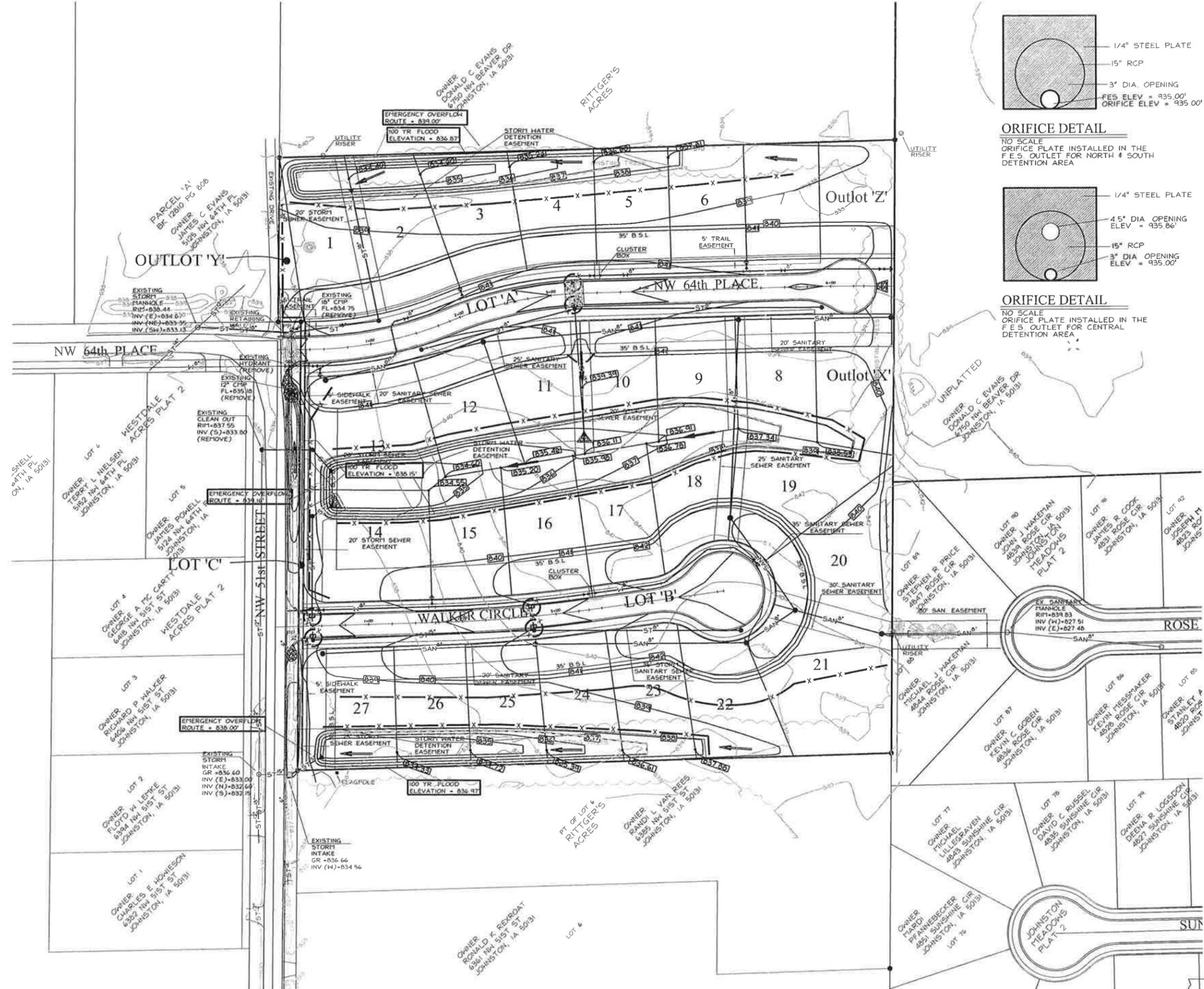
#### ORIFICE DETAIL

NO SCALE  
 ORIFICE PLATE INSTALLED IN THE  
 F.E.S. OUTLET FOR NORTH & SOUTH  
 DETENTION AREA



#### ORIFICE DETAIL

NO SCALE  
 ORIFICE PLATE INSTALLED IN THE  
 F.E.S. OUTLET FOR CENTRAL  
 DETENTION AREA



**COOPER CRAWFORD  
 & ASSOCIATES, L.L.C.**  
 CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
 REVISIONS: 3-18-2016  
 4-6-2016  
 6-8-2016  
 6-20-2016

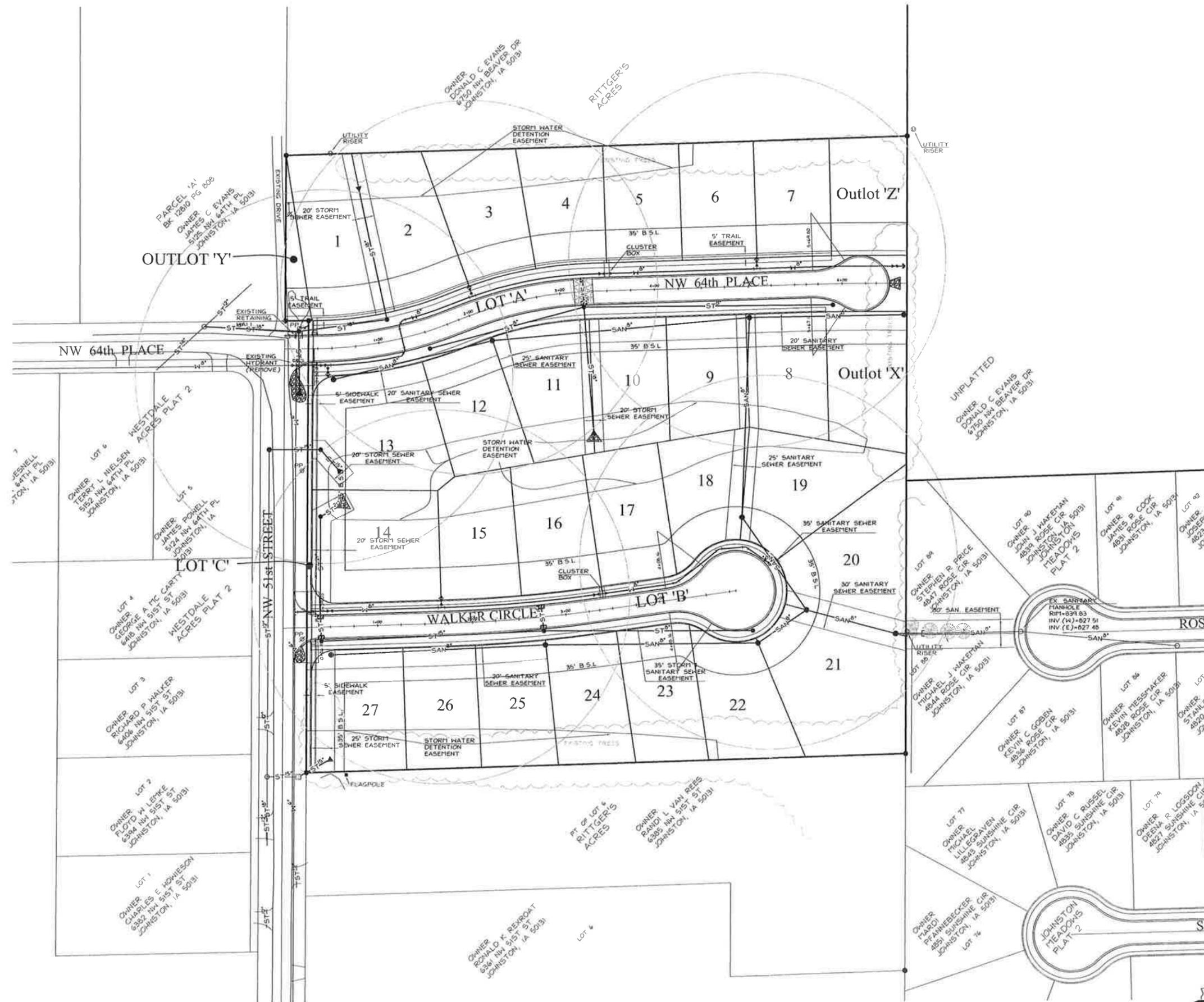
SCALE: 1"=50'

APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS BUILT: \_\_\_\_\_  
 PRELIMINARY PLAT  
 WILKIE PLACE

JOB NUMBER  
**CC  
 1823**  
 SHEET  
 2 OF 4

# PRELIMINARY PLAT WILKIE PLACE

SHEET 3 OF 4



**LEGEND**

EXISTING/PROPOSED

- PLAT BOUNDARY
- ST" STORM SEWER & SIZE
- SAN" SANITARY SEWER & SIZE
- W" WATER MAIN & SIZE
- MANHOLE
- STORM INTAKE
- ▽ FIRE HYDRANT
- ▽ VALVE
- △ F.E.S.
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SILT FENCE OR APPROVED FILTRATION SOCK
- L OUTLOT

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

	DATE: 3-2-2016	JOB NUMBER
	REVISIONS	CC
	1-18-2016	1823
	4-6-2016	
	6-9-2016	
	6-20-2016	

SCALE: 1"=50'

APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_

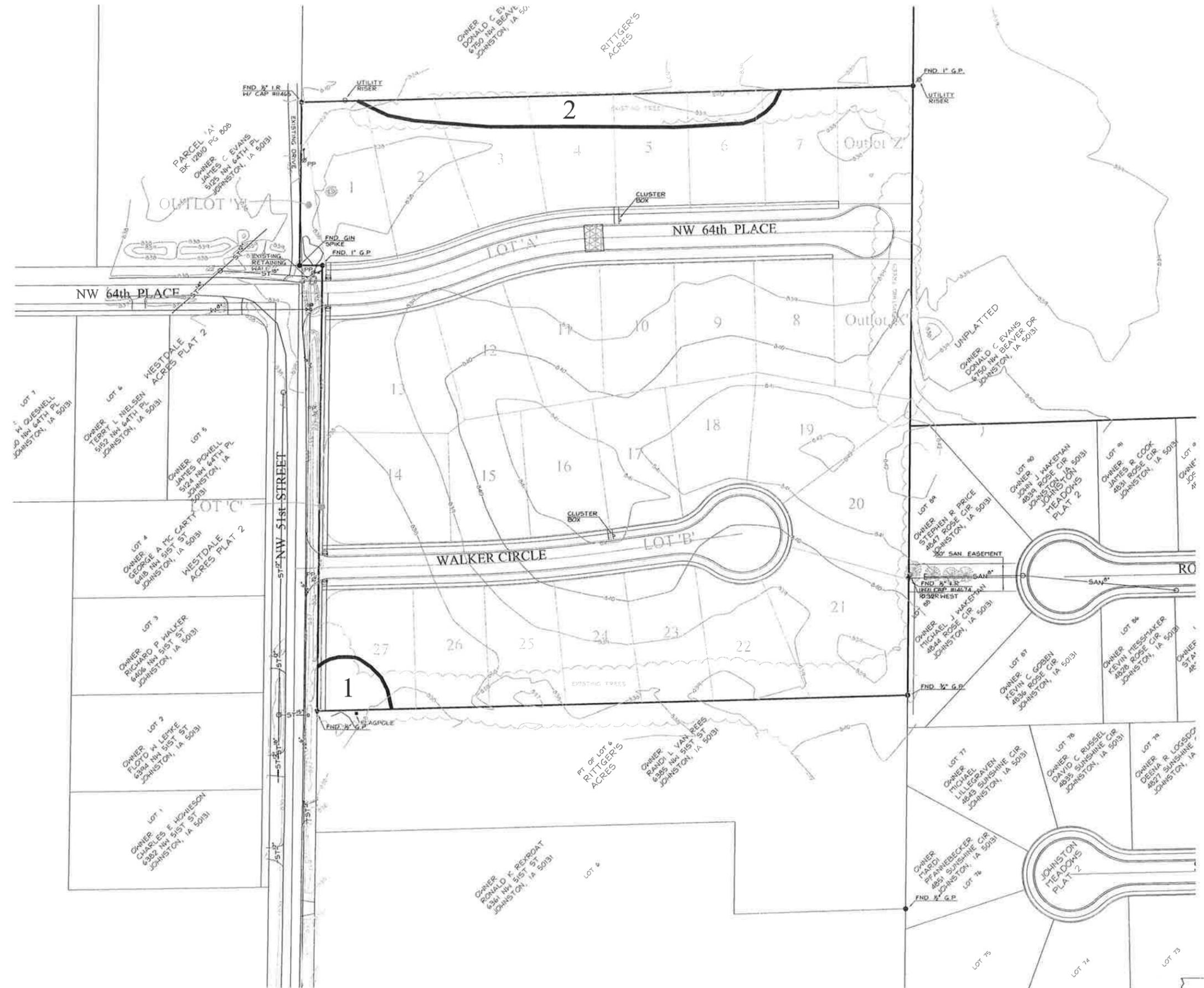
PRELIMINARY PLAT  
WILKIE PLACE

SHEET  
3 OF 4



# PRELIMINARY PLAT WILKIE PLACE

SHEET 4 OF 4



### TREE REMOVAL INVENTORY

ALL OTHER TREES 6" OR LARGER TO REMAIN

AREA	TREE SIZES							
	6"	8"	10"	12"	14"	16"	18"	24"
1	2 dec	1 dec		3 dec				
2	3 dec							

Legend:  
 dec. deciduous tree  
 pine pine tree

### LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
  - ST<sup>6"</sup> STORM SEWER & SIZE
  - SAN<sup>6"</sup> SANITARY SEWER & SIZE
  - W<sup>6"</sup> WATER MAIN & SIZE
  - MANHOLE
  - STORM INTAKE
  - △ FIRE HYDRANT
  - ▽ VALVE
  - ▲ F.I.E.S
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - SILT FENCE OR APPROVED FILTRATION SOCK
  - OUTLOT

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
 CIVIL ENGINEERS  
 475 S 50th STREET, SUITE 300, WEST DES MOINES, IOWA 50265  
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
 REVISIONS: 3-18-2016  
 4-6-2016  
 6-8-2016  
 6-20-2016



SCALE: 1"=50'

APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_

PRELIMINARY PLAT  
 WILKIE PLACE

JOB NUMBER  
**CC 1823**

SHEET  
 4 OF 4



CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.

DATE REC'D: 8-24-16

CASE NO.: PZ 16-04

# PRELIMINARY PLAT WILKIE PLACE

SHEET 1 OF 4

DEVELOPER/OWNER  
CAPITAL CITY DEVELOPMENT, LLC  
2936 104TH STREET  
URBANDALE, IOWA 50322

ZONING  
RI-75 SINGLE FAMILY RESIDENTIAL

SETBACKS  
FRONT YARD = 35 FEET  
REAR YARD = 35 FEET  
SIDE YARD = 8' MIN. (17' TOTAL)

LEGAL DESCRIPTION  
LOT 5, RITTGER'S ACRES, AN OFFICIAL PLAT, CITY OF JOHNSTON, POLK COUNTY, IOWA, CONTAINING 9.72 ACRES MORE OR LESS.

SAID TRACT OF LAND BEING SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

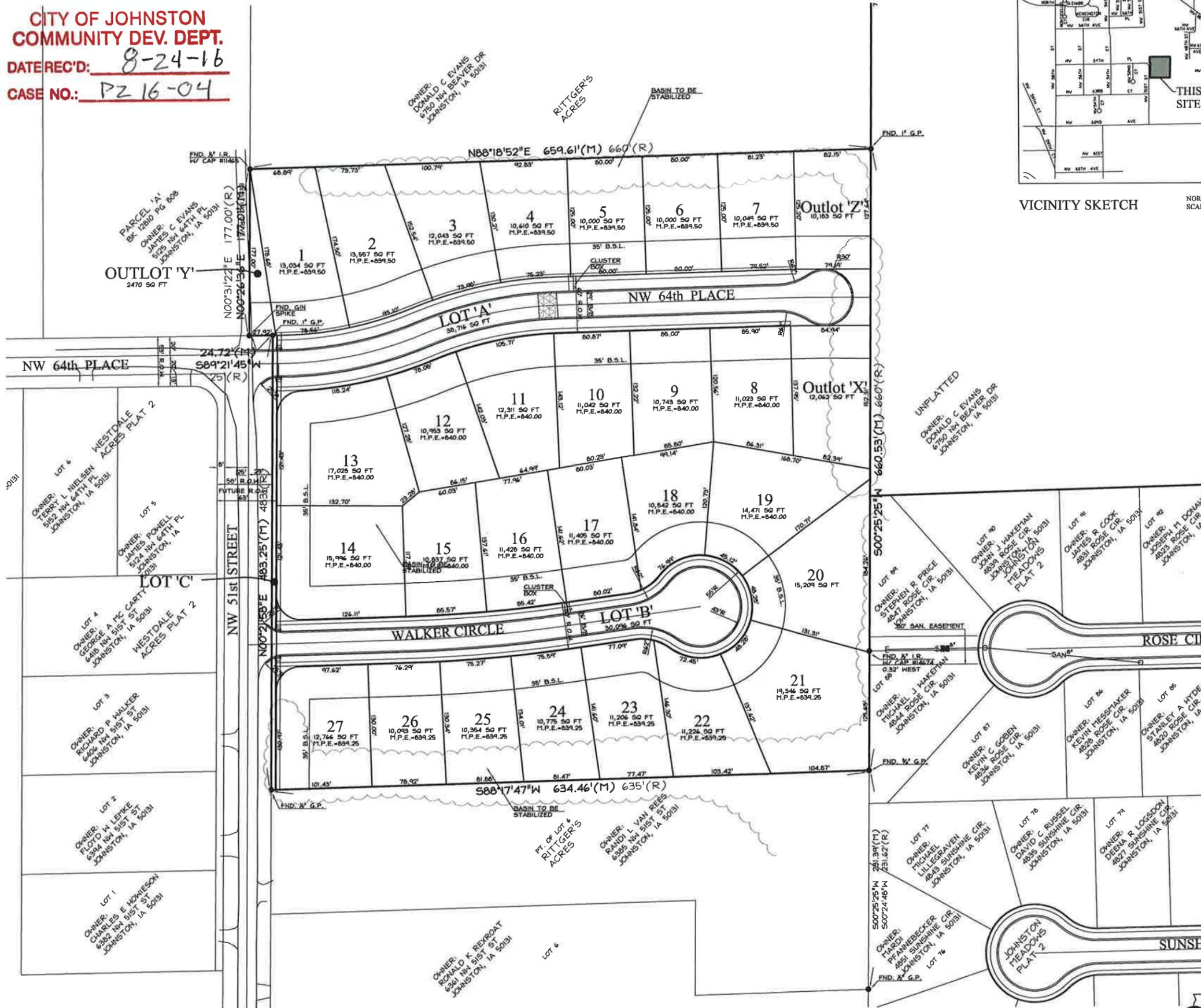
UTILITIES  
WATER: JOHNSTON WATER SYSTEM  
SANITARY SEWER: CITY OF JOHNSTON SANITARY SEWER SYSTEM

NOTES  
1. LOTS 'A' & 'B' TO BE DEDICATED TO THE CITY OF JOHNSTON FOR STREET USE.  
2. WORK WILL BE PERFORMED TO THE 2014 SUDAS SPECIFICATIONS AND THE 2014 SUPPLEMENTAL SPECIFICATIONS.  
3. AN ADDITIONAL 5' ALONG NW 51ST STREET KNOWN AS LOT 'C' WILL BE DEDICATED TO THE CITY FOR FUTURE ROW.  
6. IF DURING CONSTRUCTION OF THE DETENTION BASINS FIELD CONDITIONS DEEM IT NECESSARY SUBSURFACE INTERCEPTOR DRAIN LINES WILL BE REQUIRED PER ALLENDER BUTZKE ENGINEERS INC REPORT PN 161229.  
FIRM DESIGNATION  
COMMUNITY PANEL NUMBER: 190745 0006D, JULY 19, 2000  
ZONE 'X', AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN



VICINITY SKETCH

NORTH  
SCALE: 1"=1500'



### LEGEND

- |             |  |
|-------------|--|
| —           | EXISTING/PROPOSED PLAT BOUNDARY        |
| — ST 6"     | STORM SEWER # SIZE                     |
| — SAN 6"    | SANITARY SEWER # SIZE                  |
| — W 6"      | WATER MAIN # SIZE                      |
| ○           | MANHOLE                                |
| ○           | STORM INTAKE                           |
| ⊕           | FIRE HYDRANT                           |
| ⊕           | VALVE                                  |
| △           | F.E.S.                                 |
| — 99.0      | EXISTING CONTOURS                      |
| — 99.0      | PROPOSED CONTOURS                      |
| — X — X — X | SILT FENCE OR APPROVED FILTRATION SOCK |
| O.L.        | OUTLOT                                 |

### CERTIFICATION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

BRADLEY R. COOPER, IOWA LICENSE NO. 12960  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017  
PAGES OR SHEETS COVERED BY THIS SEAL:  
Sheets 1-4

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
REVISIONS: 3-18-2016  
4-8-2016  
6-8-2016  
6-20-2016  
8-16-2016

APPROVED: — INITIALED: — AS-BUILT: —

PRELIMINARY PLAT  
WILKIE PLACE

JOB NUMBER  
**CC 1823**

SHEET  
1 OF 4



# PRELIMINARY PLAT WILKIE PLACE

## SHEET 2 OF 4 STORM WATER POLLUTION PREVENTION PLAN SITE DESCRIPTION

Location: Part of the SE 1/4 of Sec. 3, T79N, R25W.  
 Nature of Construction Activity: Residential development.  
 Area: Total site area = 4.72 acres  
 Site area affected = 3.72 acres  
 Runoff coefficient = 0.40 (national method)  
 Approximate slope anticipated: 3% or flatter.  
 Runoff from this project will flow into unimproved tributaries which will flow into the Beaver Creek.

- Erosion and sediment controls**
- Stabilization practices
  - Existing vegetation is preserved whenever possible.
  - Permanent seeding and/or sodding.
  - Structural practices
  - Silt fence
  - Rock outlet protection (ri-rap)
  - Storm water management
  - Infiltration of runoff on-site.
  - Velocity dissipation devices at discharge locations to provide non-erosive velocity flows.
  - Waste disposal
  - All building material wastes must be removed from the site.
  - Off-site vehicle tracking of sediments shall be minimized.

- MAINTENANCE**
- Maintain effective operating conditions of all protective measures identified in this plan.
  - Silt fencing is cleaned when they have lost 50% of their capacity.
  - Drainage basins remain undisturbed.
  - Rock outlet protection (ri-rap) remains intact.

- INSPECTIONS**
- Qualified personnel shall inspect disturbed areas of the construction site that have not been finally stabilized at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches or greater.
  - Inspect site for evidence of, or the potential of, pollutants entering the drainage system from stored materials.
  - Observe erosion and sediment controls to ensure that they are operating correctly.
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  - Inspect discharge locations to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters.
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  - An inspection report shall be prepared and retained as part of the prevention plan until project termination, this report will contain the following:
    - A summary of the scope of the inspection.
    - Qualifications of the personnel making the inspection.
    - Major observations relating to the implementation of the prevention plan.
    - Any actions taken.
    - Signature.

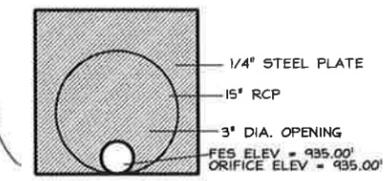
- NON-STORM WATER DISCHARGES**
- Motor wash flushing
  - Flushed water will be discharged into the storm sewer system where, when discharged, it will undergo erosion and sediment controls consisting of:
    - Rock outlet protection (ri-rap)
    - Silt fencing
    - Existing vegetation

- CONTRACTORS**
- The grading contractor shall have the responsibility of implementing the measures contained in this plan.
  - All contractors and subcontractors shall sign a certification statement before conducting any professional service at the site relating to the National Pollution Discharge Elimination System (NPDES) permit.
  - Topsoil stripped from the disturbed area will be stockpiled. After construction has been completed the stockpile will be re-spread at a minimum thickness of 8 inches.

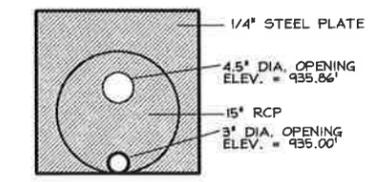
- LEGEND**
- EXISTING/PROPOSED
- PLAT BOUNDARY
  - S12" STORM SEWER # SIZE
  - SAN" SANITARY SEWER # SIZE
  - W12" WATER MAIN # SIZE
  - MANHOLE
  - STORM INTAKE
  - ▽ FIRE HYDRANT
  - ◇ VALVE
  - △ F.E.S.
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - SILT FENCE OR APPROVED FILTRATION SOCK
  - L. OUTLOT

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
 CIVIL ENGINEERS  
 475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
 PHONE: (515) 224-1344 FAX: (515) 224-1345

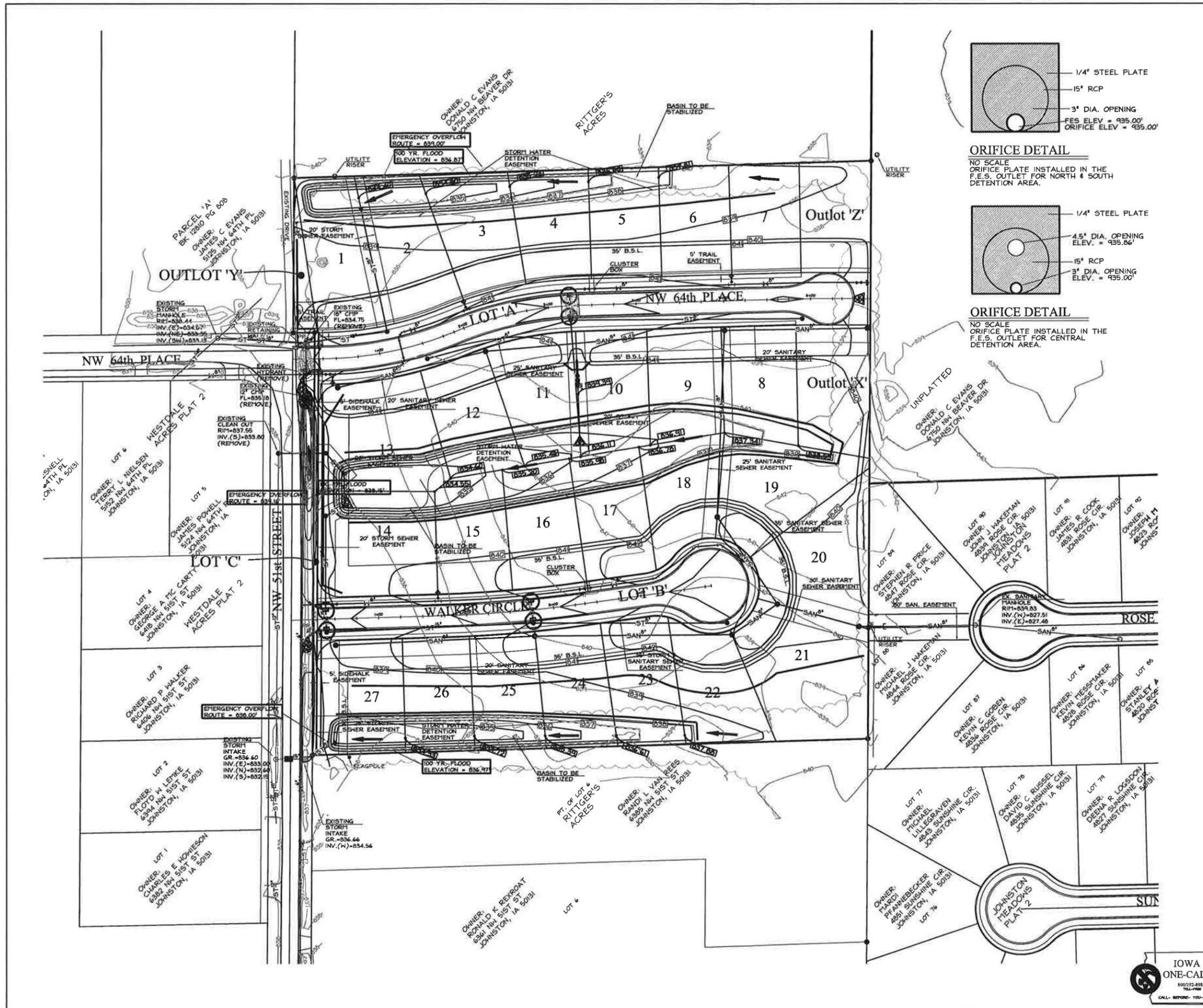
 SCALE: 1"=50' APPROVED: _____ INITIALED: _____ AS-BUILT: _____	DATE: 3-2-2016 REVISIONS: 3-18-2016 4-6-2016 6-8-2016 6-29-2016 8-16-2016	JOB NUMBER <b>CC 1823</b>
	SHEET <b>2 OF 4</b>	



**ORIFICE DETAIL**  
 NO SCALE  
 ORIFICE PLATE INSTALLED IN THE F.E.S. OUTLET FOR NORTH & SOUTH DETENTION AREA.

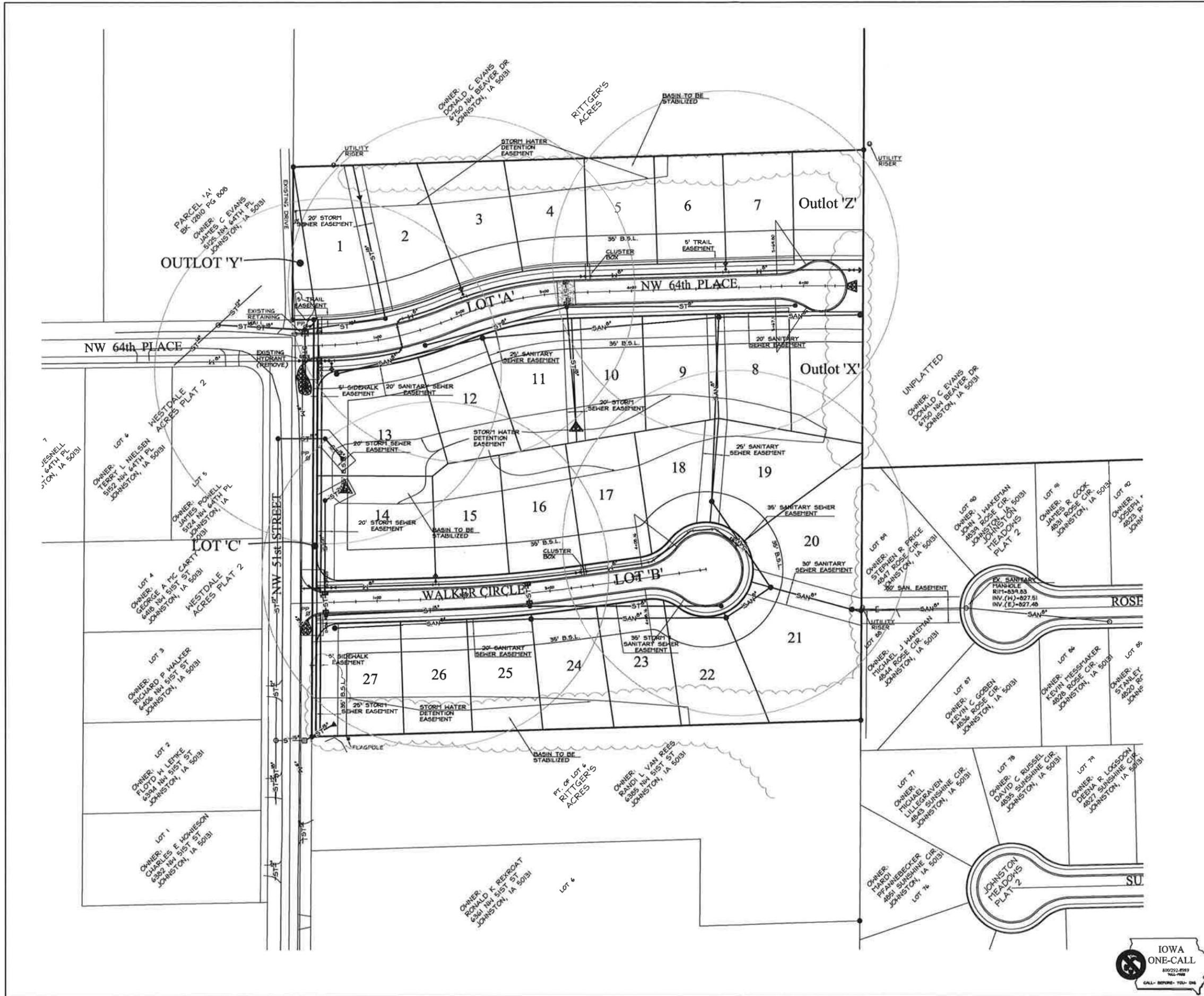


**ORIFICE DETAIL**  
 NO SCALE  
 ORIFICE PLATE INSTALLED IN THE F.E.S. OUTLET FOR CENTRAL DETENTION AREA.



# PRELIMINARY PLAT WILKIE PLACE

SHEET 3 OF 4



**LEGEND**

EXISTING/PROPOSED

- PLAT BOUNDARY
- 5" STORM SEWER # SIZE
- SAN" SANITARY SEWER # SIZE
- W" WATER MAIN # SIZE
- MANHOLE
- STORM INTAKE
- ▽ FIRE HYDRANT
- ▽ VALVE
- ▲ F.E.S.
- 99.0 EXISTING CONTOURS
- 930 PROPOSED CONTOURS
- SILT FENCE OR APPROVED FILTRATION SOCK
- O.L. OUTLOT

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1343

DATE: 3-2-2016  
REVISIONS: 3-18-2016  
4-6-2016  
6-8-2016  
6-29-2016  
8-16-2016

JOB NUMBER  
**CC 1823**

SCALE: 1"=50'

APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_

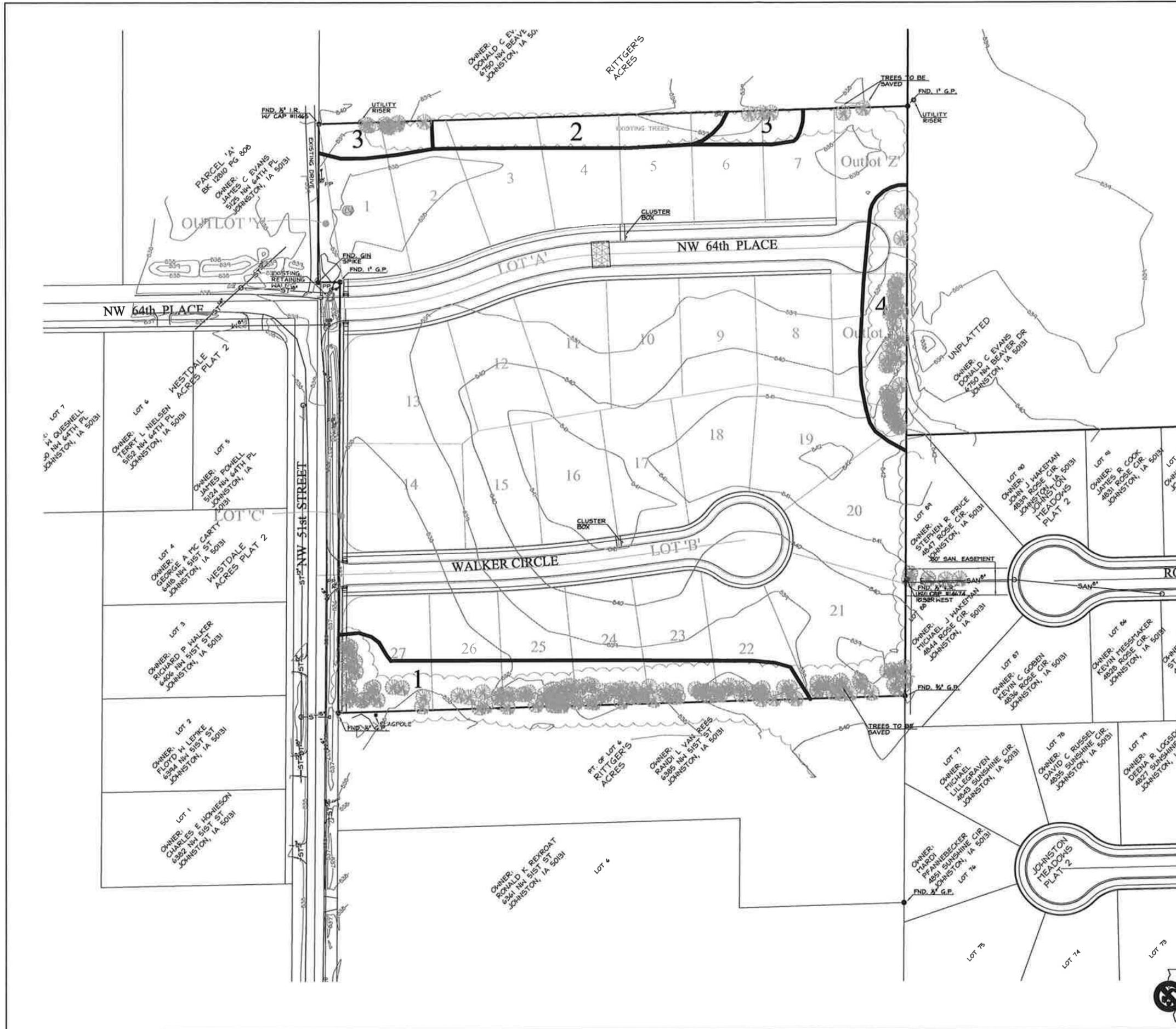
**PRELIMINARY PLAT  
WILKIE PLACE**

**SHEET  
3 OF 4**



# PRELIMINARY PLAT WILKIE PLACE

SHEET 4 OF 4



### TREE REMOVAL INVENTORY

ALL OTHER TREES 6" OR LARGER TO REMAIN  
ALL TREES LESS THAN 6" TO BE REMOVED

AREA	SPECIES	TREE SIZES												TOTAL		
		6"	8"	10"	12"	15"	18"	20"	24"	26"	30"	36"	40"		48"	
1	ASH	10	7	2	1	4	1	1	5	-	2	3	-	-	-	36
	ELM	7	5	11	4	5	-	-	4	-	-	1	-	-	-	37
	HICKORY	1	-	-	-	-	-	-	-	-	-	-	-	-	-	1
	MAPLE	7	6	1	6	1	1	-	2	-	-	-	1	-	-	25
	MULBERRY	1	2	-	2	1	-	1	-	-	-	-	-	-	-	7
	PINE	-	-	-	1	-	-	-	-	-	-	-	-	-	-	1
2	WALNUT	-	-	1	1	-	-	-	-	-	-	-	-	-	2	
	ALREADY REMOVED															
3	ASH	2	-	-	-	1	-	-	-	-	-	1	-	-	4	
	COTTON	-	-	-	-	-	-	-	-	-	-	1	-	-	1	
	ELM	2	1	-	-	-	-	-	-	-	-	-	-	-	3	
	MULBERRY	2	-	-	-	1	-	-	-	-	-	-	-	-	3	
	OAK	-	-	-	1	-	-	-	-	-	-	-	-	-	1	
4	ASH	9	1	6	-	-	-	-	1	-	2	-	-	1	20	
	ELM	4	-	1	2	-	-	-	-	-	1	-	-	-	8	
	MAPLE	1	-	-	-	-	-	-	-	-	-	-	-	-	1	
	MULBERRY	3	1	1	-	-	-	-	-	-	-	-	-	-	5	
	COTTON	-	-	-	-	-	-	-	-	-	1	1	1	-	3	
TOTAL		49	23	23	15	15	2	2	11	1	2	5	4	1	158	

### LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
  - 5" STORM SEWER # SIZE
  - SAN SANITARY SEWER # SIZE
  - W" WATER MAIN # SIZE
  - MANHOLE
  - STORM INTAKE
  - ⊕ FIRE HYDRANT
  - ⊖ VALVE
  - ▲ F.E.S.
  - 990 EXISTING CONTOURS
  - 990 PROPOSED CONTOURS
  - \* \* \* SILT FENCE OR APPROVED FILTRATION SOCK
  - O.L. OUTLOT

**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 3-2-2016  
REVISIONS: 3-18-2016  
4-6-2016  
6-8-2016  
6-29-2016  
8-16-2016

JOB NUMBER  
**CC 1823**

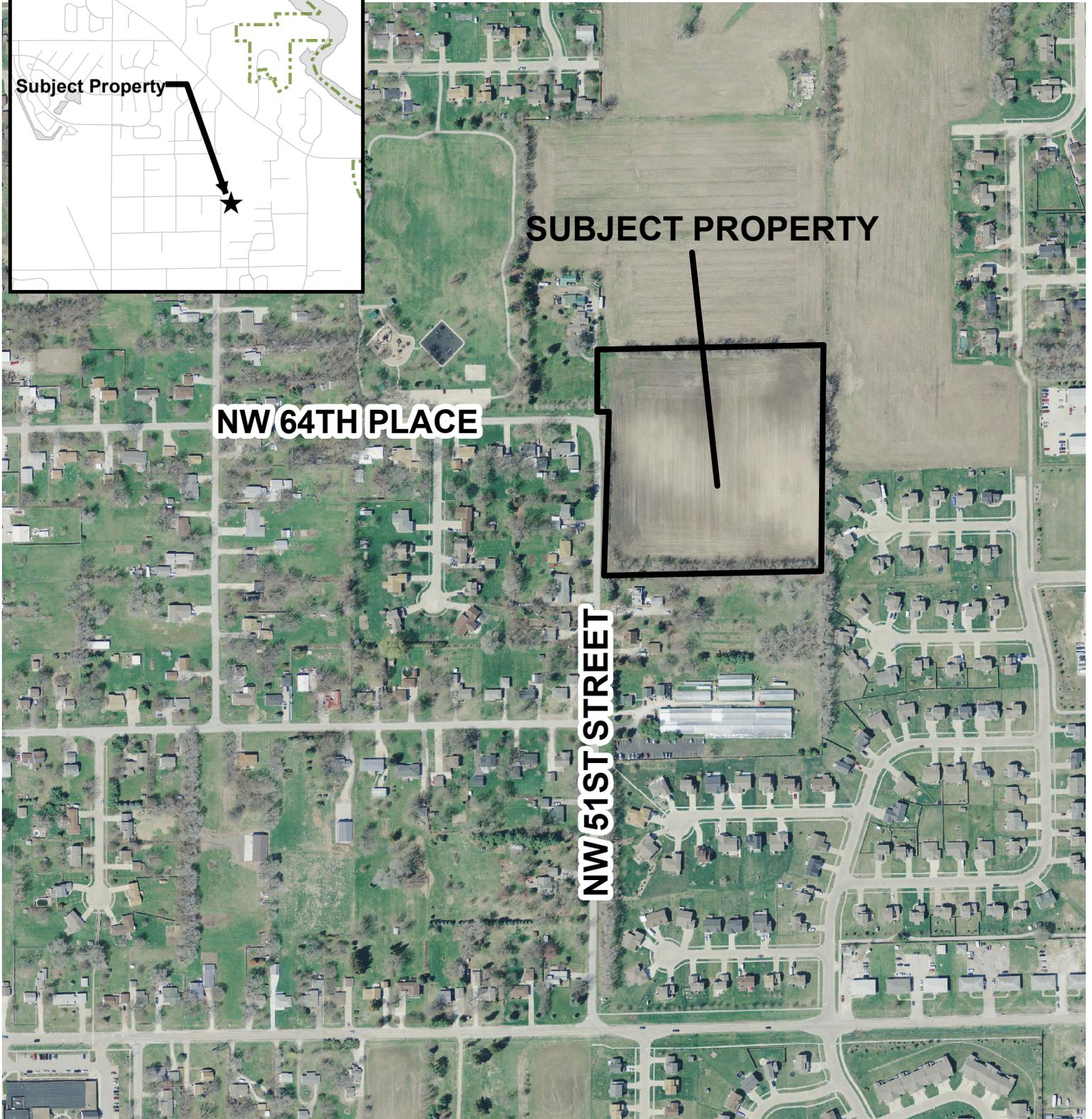
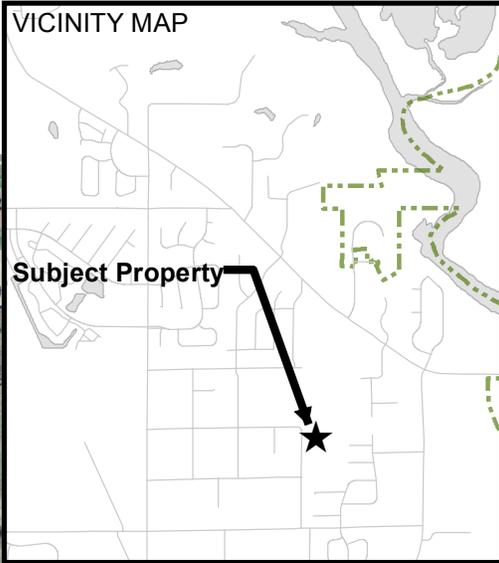
APPROVED: \_\_\_\_\_ INITIALED: \_\_\_\_\_ AS-BUILT: \_\_\_\_\_

PRELIMINARY PLAT  
WILKIE PLACE

SHEET  
4 OF 4



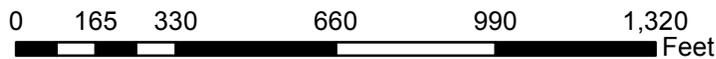
**PZ CASE 16-04  
WILKIE PLACE AMENDED PRELIMINARY PLAT**



**NW 64TH PLACE**

**NW 51ST STREET**

**SUBJECT PROPERTY**



1 inch = 3,333 feet

Created by City of Johnston Department of Community Development  
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033

## Notice of Public Meeting

August 19, 2016

The Johnston Planning and Zoning Commission will hold a public meeting at 7:00 pm on Monday, August 29, 2016 and the Johnston City Council will hold a public meeting at 7:00 pm on Tuesday, September 6, 2016. Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road to consider the following item:

**PZ Case No. 16-04; Wilkie Place Amended Preliminary Plat**

The applicant, Capital City Development, LLC. has submitted an amended preliminary plat for the Wilkie Place subdivision at the corner of NW 64th Place and NW 51st Street. The amended preliminary plat updates the original preliminary plat to include tree removal along the north, east, and south property boundaries.

If you have questions or comments on the above-described action, please contact the city staff person listed at the bottom of this card, or attend the meeting at the above-listed date and time. Additional information, including the amended preliminary plat is also available under the "proposed development" section of the City's Website: <http://www.cityofjohnston.com/proposeddevelopment>.

Clayton Ender, Planner  
Johnston City Hall; 6221 Merle Hay Road; Johnston, IA 50131  
Phone: 727-7763; Email: [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com)

## PZ 16-04 Wilkie Place Amended Preliminary Plat Mailing List

Name	Address	City, State, Zip Code
James A Evans	5125 NW 64th Place	Johnston, IA, 50131
Donald C Evans	6750 NW Beaver Drive	Johnston, IA, 50131
John J Wakeman (Trustee)	4839 Rose Circle	Johnston, IA, 50131
Stephen R Price	4847 Rose Circle	Johnston, IA, 50131
Michael J Wakeman	4844 Rose Circle	Johnston, IA, 50131
Randi L Van Rees	6385 NW 51st Street	Johnston, IA, 50131
Ronald K Rexroat (Trustee)	6361 NW 51st Street	Johnston, IA, 50131
Laurance A Deskin	5125 NW 63rd Place	Johnston, IA, 50131
Charles E Howieson	6382 NW 51st Street	Johnston, IA, 50131
Floyd W Lemke	6394 NW 51st Street	Johnston, IA, 50131
Richard P Walker	6406 NW 51st Street	Johnston, IA, 50131
George A Mc Carty	6418 NW 51st Street	Johnston, IA, 50131
James Powell	5124 NW 64th Place	Johnston, IA, 50131
John J Garlock	5152 NW 64th Place	Johnston, IA, 50131
Matthew S Trout	5180 NW 64th Place	Johnston, IA, 50131
Connie L Biondi	5204 NW 64th Place	Johnston, IA, 50131

**From:** [Joe WAKEMAN](#)  
**To:** [Clayton Ender](#)  
**Subject:** Developer bait and switch (trees) PZ 16-04  
**Date:** Saturday, August 20, 2016 9:08:36 PM

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Why must these trees all be removed now? They knew they were there in the original plan and choose not to do a complete plan for approval. There needs to be some adjustment to save some of the trees. That along with their failure to control the weeds is a poor start for a quality development.

Joe Wakeman  
515 689 5123



# Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT

August 29, 2016

**Subject:** Consider making a recommendation on the site plans for Advantage Homes Warehouse located at 4845 NW 59<sup>th</sup> Avenue (PZ Case 16-23).

**SYNOPSIS:**

Advantage Homes has submitted site plans for the development of a 4,000 square foot building, a 5,880 square foot building, and an 11,023 square foot outdoor storage area. The property is located on the northeast corner of NW 59<sup>th</sup> Avenue and NW 49<sup>th</sup> Street. The site is zoned M-1, Light Industrial, and is legally described as Lot 112 NW Beaver Business Park.

**RECOMMENDATION:**

Staff recommends approval and provides the following motion for the commission’s consideration:

**The Planning & Zoning Commission recommends approval of PZ Case 16-23, the Site Plans for 4845 NW 59<sup>th</sup> Avenue with the following conditions:**

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. No exterior site lighting may be installed unless and until a photometric layout and manufacturer’s cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston’s site lighting requirements as established by Resolution 99-56 for staff review.
4. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
5. City Council acceptance of recycled asphalt millings as an acceptable dustless hard surface material on the subject site in satisfaction of chapter 166.33.3.F.(2) of the City of Johnston Code of Ordinances. Said material shall only be used in the fenced in outdoor storage area and practices put in place to insure the material does not flow onto adjacent properties or into the overland flowage easement.

6. **Prior to issuance of a grading permit the following items must be provided:**
  - a. Evidence that an overland flowage easement along the west property boundary of Lot 113 NW Beaver Business Park is being provided for the benefit of Lot 112 NW Beaver Business Park.
7. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**
  - a. Indicate the 150' fire hydrant coverage on the site plans.
  - b. The outdoor storage area must be screened from public right-of-way and adjacent properties, including the adjacent M-1 Light Industrial Zoned property and the townhomes to the north.
  - c. Include an engineer seal that will cover sheets 1 – 3.
  - d. Address Foth's review letter dated August 24, 2016.
8. **The architectural elevations must be amended and the following items shall be completed prior to issuance of a building permit:**
  - a. Include the square footage and percentage of the total area for each building material to be used on each side of both buildings.

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Attachments:

- Vicinity Map
- Site Plans, prepared by Associated Engineering Company of Iowa, dated August 17, 2016;
- Architectural Elevations prepared by Advantage Building One, dated August 15, 2016;
- Development Review Comments by Staff, dated August 9, 2016;
- Development Review Comments by Foth Infrastructure & Environment, LLC, dated August 24, 2016;
- Mailing List and Mailing Notice;
- Public Comments;

PROPERTY OWNER:	Northwest Beaver Development, LLC 6250 NW Beaver Dr Johnston, IA, 50131
APPLICANT:	Advantage Homes ATTN: Kirk Hesse 6250 NW Beaver Dr Johnston, IA, 50131
REPRESENTATIVES:	Associated Engineering Company of Iowa, Inc. ATTN: Vic Piagentini 2917 Martin Luther King Jr Pkwy Des Moines, IA, 50310
BACKGROUND & PRIOR APPROVALS:	This lot was part of the Beaver Pines and NW Beaver Business Park Preliminary Plat in 2007 (PZ Case No. 07-19) and was platted with the NW Beaver Business Park Final Plat in 2007 (PZ Case No. 07-37). There have been no prior site plan approvals for this site.
ZONING & BULK REQUIREMENTS:	<p>M-1, Light Industrial District. The M-1 District is intended to provide areas of the City suitable for activities and uses of a light industrial nature.</p> <p>Minimum bulk requirements for the subject lot are those of the M-1, Light Industrial District:</p> <p style="padding-left: 40px;">Front Setback: 50 feet Side Yard Setback: 10 feet Sum of All Side Yard Setbacks: 20 feet Rear Yard Setback: 50 feet</p> <p>As proposed all bulk regulations are met with this site and the intended use is permitted.</p>
TRAFFIC ACCESS & CIRCULATION:	Access to the site will be from one drive access on NW 49 <sup>th</sup> Street and one drive access on NW 59 <sup>th</sup> Avenue. The drive access on NW 59 <sup>th</sup> Avenue is not lined up with the drive access opposite NW 59 <sup>th</sup> Avenue because of grade constraints and limited traffic conflicts, but this access is approximately 60 feet separated from this opposite drive.
PEDISTRIAN CIRCULATION & SIDEWALKS:	<p>There currently is an 8 foot wide trail on the western edge of the property that runs parallel with NW 49<sup>th</sup> Street. This trail would be maintained and appropriate work would be completed to allow for the trail to cross the proposed drive.</p> <p>A new 5 foot wide sidewalk would be constructed along NW 59<sup>th</sup> Avenue. Appropriate work would be completed to allow for the sidewalk to cross the proposed drive.</p>

**PARKING AND  
LOADING:**

The site is required to have 1 parking space per 2,000 square feet of warehouse area and 1 parking space per employee regularly employed on the premises. For this site, no employees will be regularly employed on the premises. The required parking for this site will be 5 parking stalls. The site is providing 17 parking stalls with 2 of the parking stalls reserved for handicap parking.

The site plans indicate an area dedicated for outdoor storage to be surfaced with recycled asphalt. The recycled asphalt would be recycled asphalt millings. Though labeled as an outdoor storage area, there is access to this area via two gates and an overhead door in the rear of the larger building. This area could be used for loading purposes and as such would be required to meet the surfacing requirements of Chapter 166.33.3.F(2). Recycled asphalt millings do not meet the standards set forth in the Zoning Ordinance, but the City Council may waive or modify any part of the parking regulations, including surfacing requirements.

Staff is recommending a condition of approval be that there be City Council acceptance of recycled asphalt millings as an acceptable dustless hard surface material on the subject site in satisfaction of chapter 166.33.3.F(2) of the City of Johnston Code of Ordinances. Said material shall only be used in the fenced in outdoor storage area and practices put in place to insure the material does not flow onto adjacent properties or into the overland flowage easement.

**PUBLIC UTILITIES:**

**WATER:** Water service is available from an existing 8 inch water main along NW 59<sup>th</sup> Avenue. Each building will have their own water connection.

**SANITARY SEWER:** Sanitary sewer is available from an existing 8 inch sanitary sewer main along NW 59<sup>th</sup> Avenue. Each building will have their own sanitary sewer connection.

**FIRE PROTECTION:**

Knox boxes will be located on each building for the fire department to access each in the event of an emergency.

Staff is recommending that the site plans be amended to identify that both buildings are within a 150 foot radius of a fire hydrant.

**FLOODPLAIN:**

The site is not located within the 100-year floodplain.

**DRAINAGE:**

As part of the platting process, a stormwater detention easement was granted on the adjacent property to allow for stormwater detention that would serve this property.

Stormwater would be conveyed to the stormwater detention basin through an overland flowage easement that runs along the north side of this property and the adjacent property. The applicant has proposed a new 10

foot overland flowage easement along the western property boundary of the adjacent property. This easement would be subject to approval of the property owner of the adjacent property. Water quality volume will still be accommodated with the development of this site.

Staff recommends that a condition of approval be that evidence that an overland flowage easement along the west property boundary of Lot 113 NW Beaver Business Park is being provided for the benefit of Lot 112 NW Beaver Business Park be provided to the City prior to issuance of a grading permit.

Seepage wells will be utilized in the north overland flowage easement to accommodate the water quality volume for this site. Staff recommends that a condition of approval be that a Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.

**ARCHITECTURE:**

Chapter 166.35.2.E prohibits the exclusive use of sheet metal as an exterior building material in M-1 Districts. Furthermore, the section requires any wall area facing and within 300 feet of a public thoroughfare shall be comprised of no less than 25% brick, architectural steel, architectural concrete panel, textured concrete block, or stone panels. For this site this would require that the south wall area be comprised of at least 25% of one of these materials. To determine the percentage of the wall area covered by the required material windows are removed from the total wall area.

Staff recommends a condition of approval that the architectural elevations be amended to include the square footage and percentage of the total wall area for each building material to be used on each side of each building.

**OPEN SPACE:**

20% of the site is required to be maintained as open space. As proposed, approximately 31% of the site would be maintained as open space.

**LANDSCAPING:**

For every site at minimum two trees and six shrubs must be provided or one tree per 1,500 square feet of open and one shrub for every 1,000 square feet of open space, whichever is greater. The area of the buffer is removed from the total lot area for determining open space landscaping. Because buffer area is removed for this calculation, this site would only be required to have the minimum open space landscaping. The site will be in compliance with the minimum open space landscaping requirements.

**TREE REMOVAL:**

No tree removal is identified with this site plan.

**BUFFERS:**

The site is required to have two buffer areas. The first buffer area is adjacent to the residential uses north of this property and the second buffer area is along NW 49<sup>th</sup> Street since the site is opposite the road from a residential use. The existing trees located in the north buffer will be

following is the required buffer landscaping and that which is provided:

North Buffer Area (Half 60 Foot Buffer)		
	Required	Provided
Evergreen Trees	7	7
Overstory Trees	4	12
Understory Trees	10	11
Shrubs	39	39

West Buffer Area (Half 60 Foot Buffer)		
	Required	Provided
Evergreen Trees	2	2
Overstory Trees	1	1
Understory Trees	3	3
Shrubs	12	12

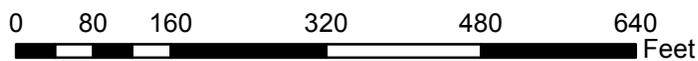
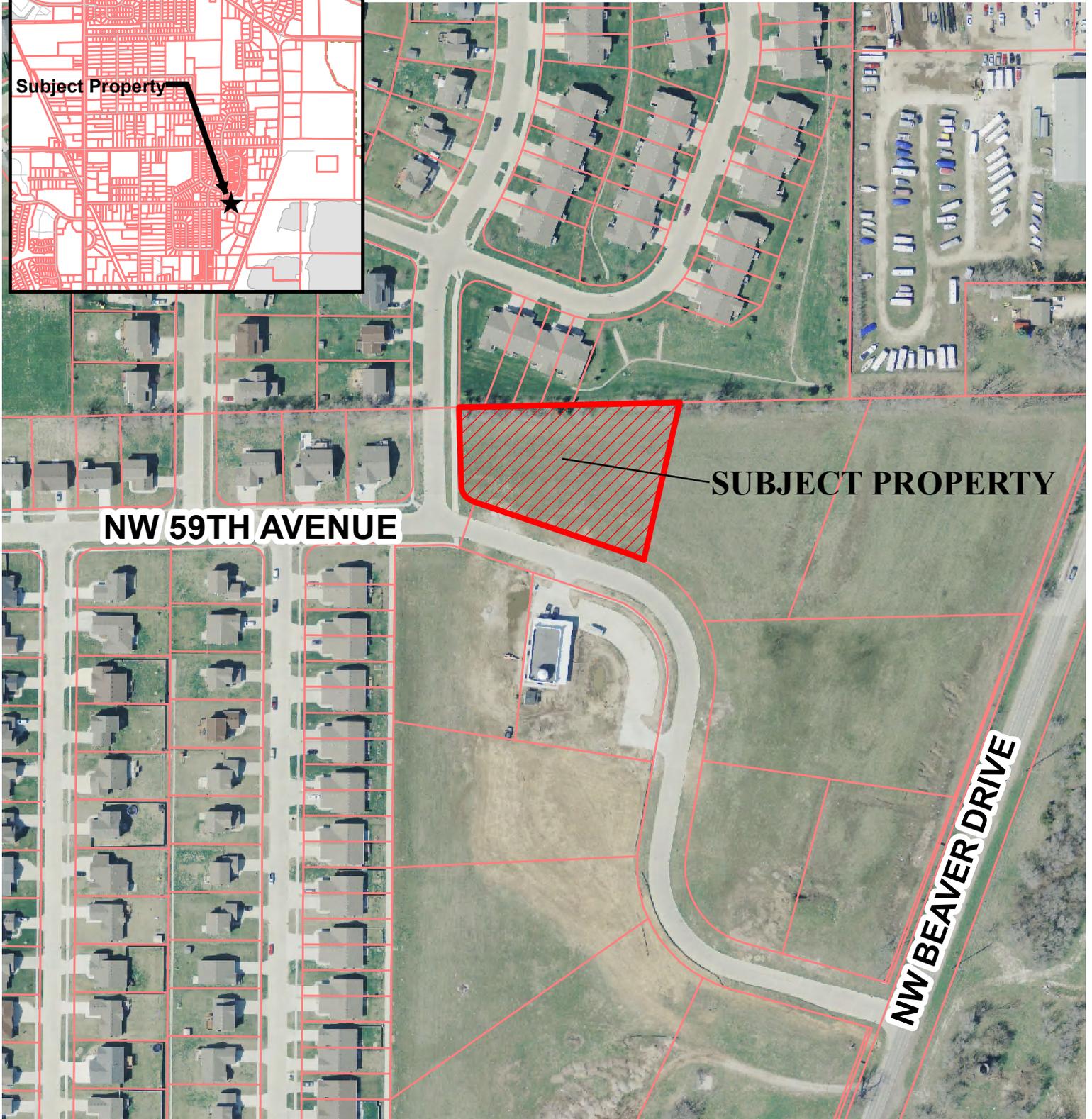
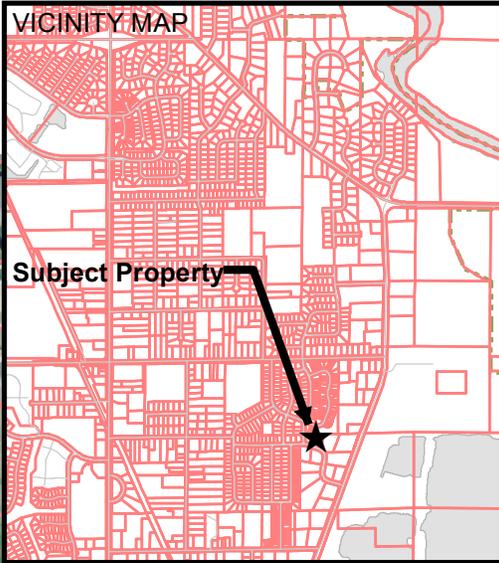
**NPDES PERMIT:** A SWPPP and NPDES Permit are required and must be approved by City Staff prior to issuance of a City Grading Permit and any ground disturbing activity.

**SITE LIGHTING:** No exterior site lighting may be installed unless and until a photometric layout and manufacturer's cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston's site lighting requirements as established by Resolution 99-56 for staff review.

**ADJACENT OWNER NOTICE:** Notice was sent to the properties adjacent to this site. A copy of the notice and mailing list are attached; as of publication of this report public comments have been received from Karen Bryson, 6005 Pinewood Ct. Public comments have been attached to this report.

**CONSULTANT COMMENTS:** Foth Infrastructure & Environment, LLC has reviewed the Site Plan and offered comments in their August 24, 2016 review letter. Staff recommends a condition of approval requiring all outstanding comments from Foth's review letter be addressed prior to the issuance of a building permit.

# PZ CASE 16-23 Advantage Home Warehouse Site Plan



1 inch = 3,333 feet

Created by City of Johnston Department of Community Development  
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033

H:\Community Development\P&Z\2016 PZ\PZ 16-23; Advantage Homes Warehouse Site Plan for 4845 NW 59th Ave\GIS\Aerial vicinity PZ 16-23.mxd

**SITE ADDRESS**

4845 NW 59TH AVENUE  
JOHNSTON, IOWA 50131

**SITE OWNER**

NORTHWEST BEAVER DEVELOPMENT, LLC.  
6250 NW BEAVER DRIVE, UNIT A6  
JOHNSTON, IOWA 50131  
CONTACT: KIRK HESSE (515) 208-7777

**ZONING INFORMATION**

M-1 (LIGHT INDUSTRIAL DISTRICT)	
FRONT YARD SETBACK	50 FEET
SIDE YARD SETBACK	10 FEET
SUM OF SIDE YARD SETBACK	20 FEET
SIDE YARD SETBACK WHEN ABUTTING AN R DISTRICT	30 FEET
REAR YARD SETBACK	50 FEET
MINIMUM LOT AREA	20,000 SQ FEET
MINIMUM LOT WIDTH	100 FEET

**SEWER AND WATER PROVIDER**

SEWER: CITY OF JOHNSTON  
WATER: CITY OF JOHNSTON

**PARKING INFORMATION**

REQUIRED PARKING	
1 SPACE PER 2000 SF	5 STALLS
(9,880 / 2000)	0 STALLS
1 SPACE PER EMPLOYEE	
TOTAL STALLS PROVIDED	= 17 STALLS

**SITE AREA SUMMARY**

BUILDING	9,880 SQ FT
P.C.C. PAVING	16,351 SQ FT
RECYCLED ASPHALT	11,023 SQ FT
TOTAL IMPERVIOUS	37,254 SQ FT
TOTAL PERVIOUS	16,597 SQ FT
TOTAL SITE	53,851 SQ FT
REQUIRED OPEN SPACE	10,770 SQ FT (20%)
PROVIDED OPEN SPACE	16,597 SQ FT (31%)
F.A.R.	18%

**NOTES**

- GENERAL
- OWNER/DEVELOPER IS RESPONSIBLE FOR ALL COMPACTION, DENSITY OR ANY OTHER TEST.
  - ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
  - ALL PROPOSED CONTOURS AND SPOT ELEVATION SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB, UNLESS OTHERWISE NOTED.
  - EROSION CONTROL
    - IF MORE THAN ONE ACRE OF SOIL IS DISTURBED COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN.
    - EXCEPT AS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED ON ALL DISTURBED AREAS NO LATER THAN THE 14TH DAY AFTER NO CONSTRUCTION ACTIVITY HAS TAKEN PLACE AND ON AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF ANOTHER 21 DAYS.
    - THE EROSION CONTROL MEASURES SHALL BE CHECKED REGULARLY, ESPECIALLY AFTER EACH SIGNIFICANT STORM, TO LOCATE DAMAGE AND CONDUCT MAINTENANCE OPERATIONS.
    - THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES OR AS DIRECTED BY THE CITY.

**CITY NOTES**

- This site shall be maintained in compliance with all city code applicable on the date of site plan approval.
- Any new rooftop mechanical equipment must be screened from street level view.
- Transformers, junction boxes, air conditioners over 3 feet in height, or other such items may not be located in the required setback areas.
- Any amendments or changes to the project site that do not meet what is shown on the site plan need to be approved with the Permit and Development Center prior to installation/construction.
- Lighting must be low glare cut-off type fixtures to reduce the glare of light pollution on surrounding properties.
- The required landscaping, both existing and proposed, shall be maintained for the life of the Certificate of Occupancy.
- All disturbed areas should be restored by seeding or sodding.
- Knox boxes will be required to be placed at the front door of each building. At the time of installation at least one knox box shall contain keys to access the gated area in emergency events.

**DEMOLITION**

- CONTRACTOR SHALL CALL IOWA ONE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

**SITE UTILITIES**

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- ALL PROPOSED SANITARY PIPE SHALL BE SDR-35 PVC.
- CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY SERVICE AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 6" VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A 2URP (12-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- ALL PROPOSED WATER PIPE SHALL BE COPPER TYPE K PIPE AND CONFORM TO ASTM B88 AND ANNA C800. 6" MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE NOTED.
- ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH ASTM F405 AND F667. ALL CONCRETE STORM PIPING SHALL BE IN ACCORDANCE WITH ASTM C14 AND ASTM C76. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 6" HORIZONTALLY FROM FOUNDATION WALLS.
- SANITARY STORM AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PLASTIC WIRE MAY BE TAPPED TO PLASTIC WATER OR SEWER PIPE IF ATTACHED. THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
- ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER IOWA STATE AND URBAN DESIGN AND SPECIFICATIONS (SUDAS). THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.

**LEGAL DESCRIPTION**

LOT 112 NW BEAVER BUSINESS PARK

**BUILDING USAGE**

BOTH BUILDING WILL BE USED FOR STORAGE

**HORIZONTAL/VERTICAL CONTROL**

HORIZONTAL CONTROL: IOWA SOUTH, NAD 83 DATUM  
VERTICAL: NAVD88

**FLOOD INSURANCE RATE MAP INFORMATION**

COMMUNITY: 190745  
PANEL: 0006D  
ZONE: X

# ADVANTAGE HOMES WAREHOUSE

## COMMERCIAL SITE PLAN

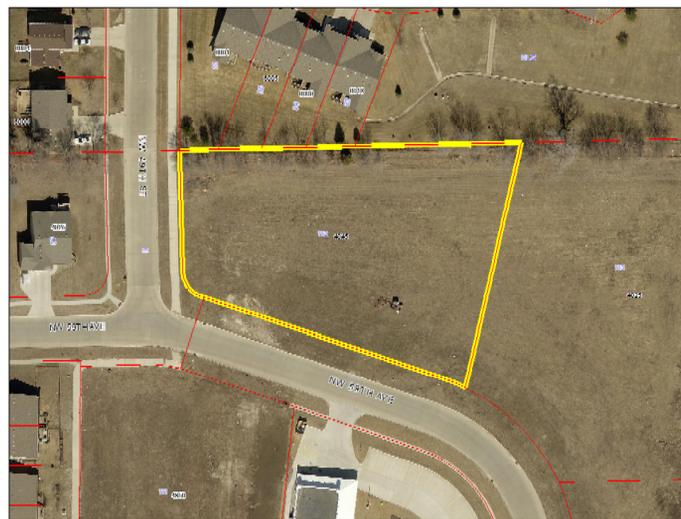
### DRAWING INDEX

- 1 COVER SHEET
- 2 GRADING PLAN
- 2 DIMENSIONING PLAN
- 3 LANDSCAPING PLAN

**VICINITY SKETCH**



**PICTOMETRY**



ASSOCIATED ENGINEERING  
 COMPANY OF IOWA  
 2017 Martin Luther King Jr. Pkwy, Des Moines, IA 50310  
 Phone: (515) 255-3156 Fax: (515) 255-3157

ADVANTAGE HOMES WAREHOUSE  
 TITLE SHEET/COVER SHEET

DATE SUBMITTED  
07-21-16

DATE PRINTED  
Wed Aug 17, 2016  
AEC #: 206441

SHEET 1 OF 3

- GRADING**
- CONTRACTOR SHALL CALL IOWA ONE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
  - PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR.
  - ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE FINISHING WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FILL TILLOID TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION.
  - PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS, UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION REMOVE AND COMPACT THE SOIL TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY BEFORE FINISHING WITH HEAVY PNEUMATIC-TIRED EQUIPMENT. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL.
  - CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS.
  - ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
  - WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
  - THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.
  - MAXIMUM GROUND SLOPE IS 3:1

- EROSION CONTROL**
- EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH BY THE ENVIRONMENTAL PROTECTION DIVISION OF THE STATE OF IOWA DEPARTMENT OF NATURAL RESOURCES AND THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL. TECHNICAL STANDARDS PUBLISHED BY THE IOWA DNR IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED. CIVIL SHEET INDEX.
  - SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS AS PER THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE PER CHAPTER 61 OF THE IOWA ADMINISTRATIVE CODE.
  - CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
  - IF SITE DEWATERING IS REQUIRED TO REMOVE SEDIMENT FROM CONSTRUCTION SITE STORMWATER PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE, FOLLOW PROCEDURES FOUND IN THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. FLUSHING SHALL NOT BE ALLOWED.
  - ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL.
  - EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

**(S1) Water Quality Volume (WQV)**

Treat a 24hr 1.25-inch Cumulative rain fall depth.

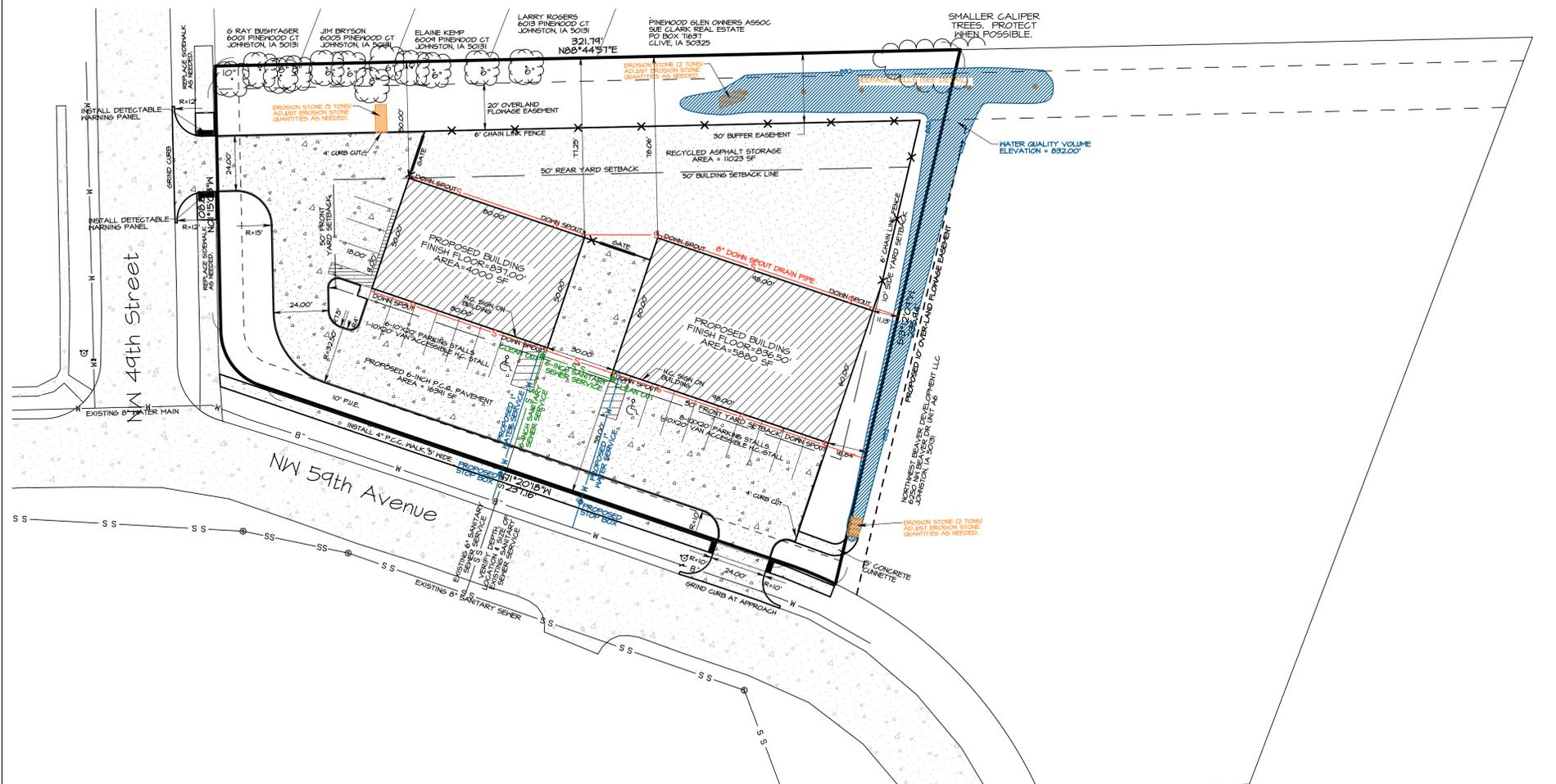
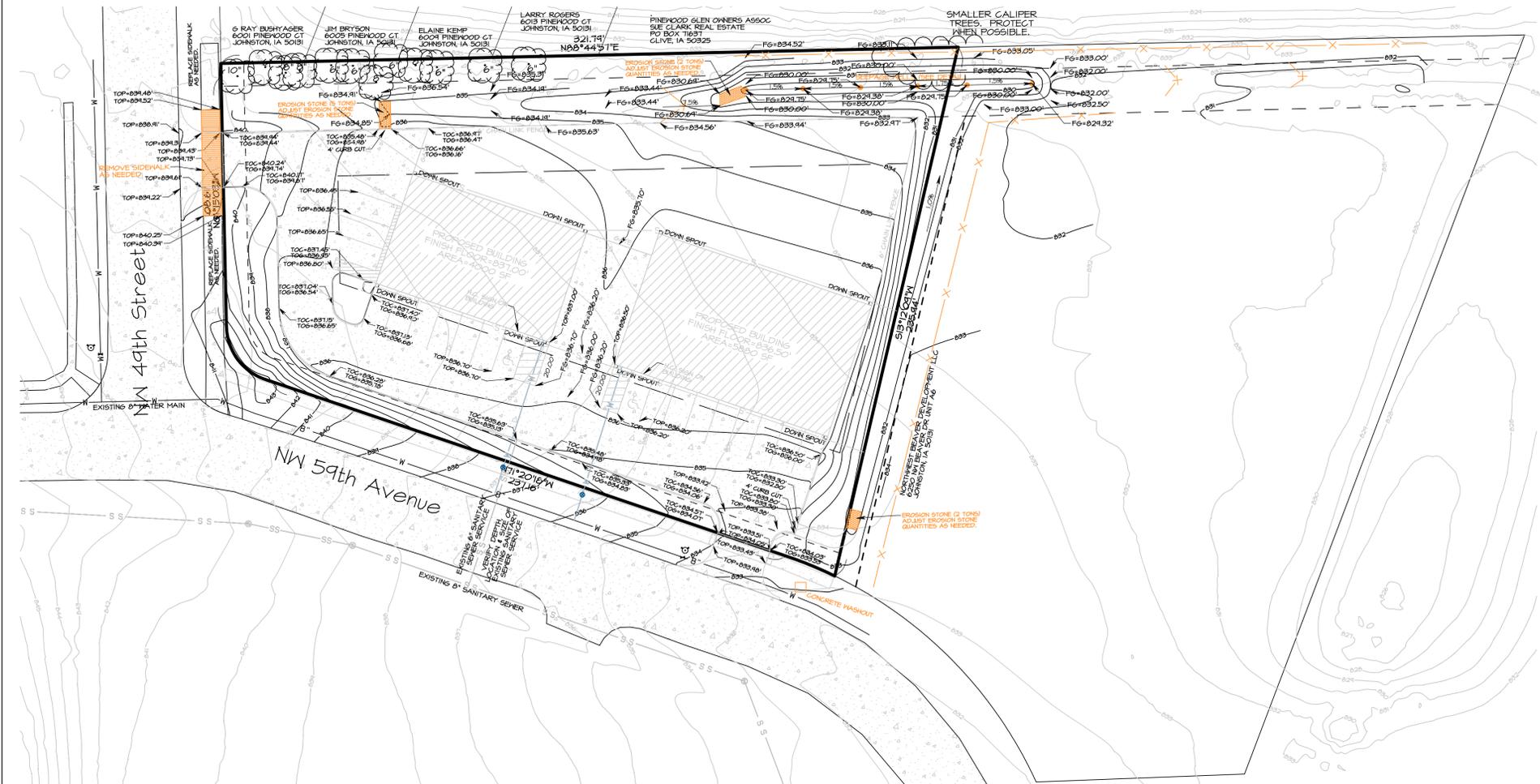
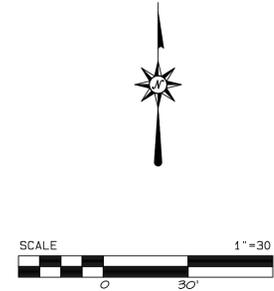
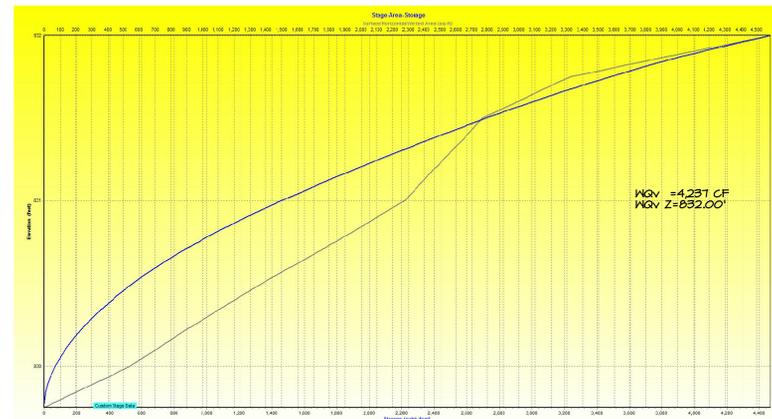
$$Rv=0.05+0.009(I)$$

$$WQV=(P)(Rv)(A)(4356ft^2/acre)/12$$

Total Site			
Impervious	35220	0.81	65.4%
Perivious	18631	0.43	34.6%
Total	53851	1.24	

I=(% Impervious)  
 A=(Area Detained)  
 P=(Rainfall Depth)

Rv= 0.64  
 WQV(Required)= 3582 ft<sup>3</sup>  
 WQV(Provided)= 4,213 ft<sup>3</sup>



REVISIONS

ASSOCIATED ENGINEERING  
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 9017 Mount Zion Rd., Johnston, IA 50131  
 Phone: (515) 255-9156 Fax: (515) 255-9157

ADVANTAGE HOMES WAREHOUSE  
 GRADING & DIMENSIONING PLAN

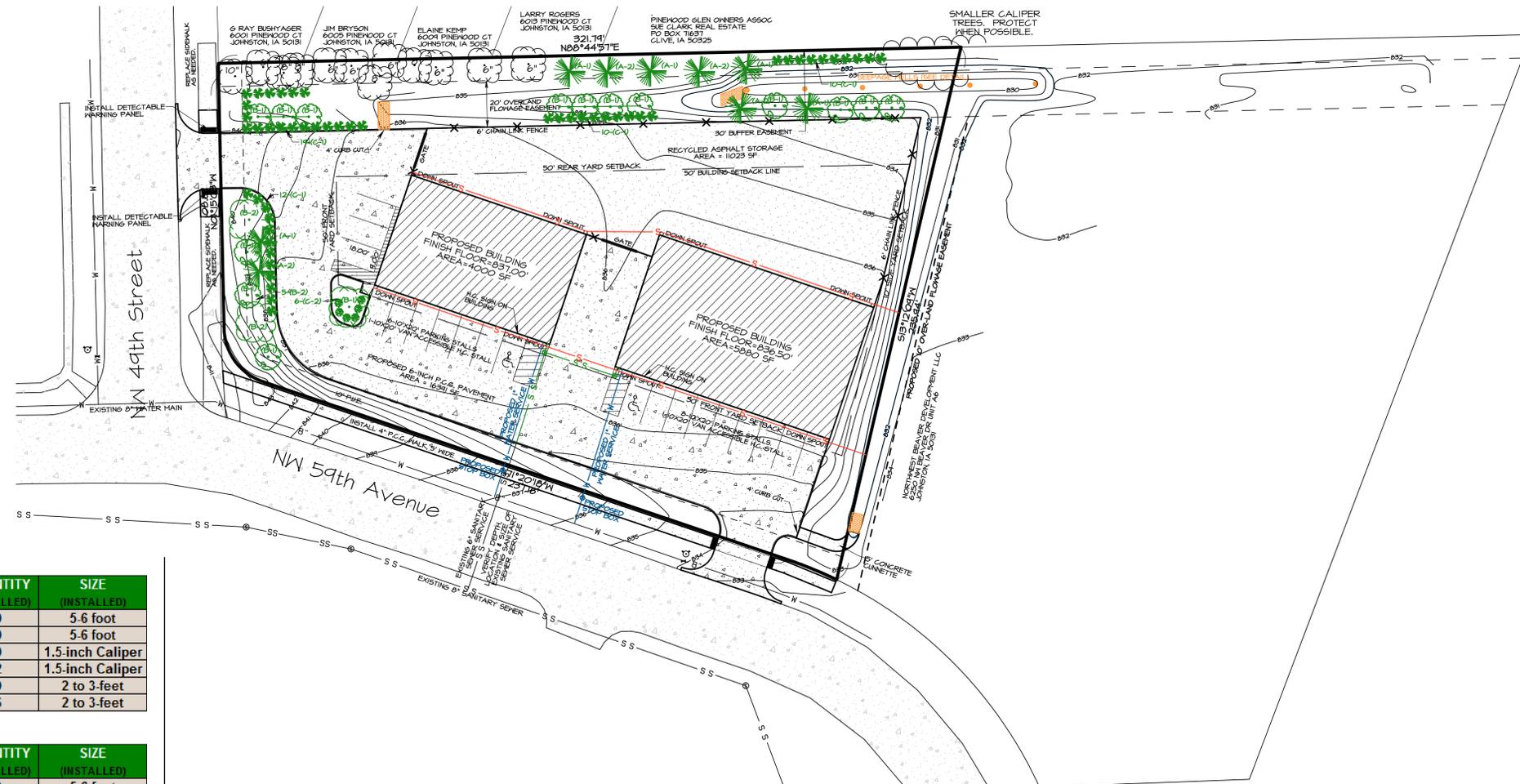
DATE PRINTED  
 Wed Aug 17, 2016  
 AEC #: 206444  
 SHEET 2 OF 3

**LANDSCAPING NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
3. THE OWNER OR OWNER'S AGENT IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED ONTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
4. THE OWNER OR OWNER'S AGENT IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SUBSURFACE DRAINAGE FACILITIES DURING CONSTRUCTION. IN THE EVENT A TILE IS DAMAGED, THE DEVELOPER WILL BE RESPONSIBLE TO REPAIR THE TILE TO ITS ORIGINAL CONDITION OR RECONSTRUCT THE TILE AS DIRECTED BY THE CITY ENGINEER.
5. REQUIRED LANDSCAPING MUST BE MAINTAINED AND/OR REPLACED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
6. PLANTS USED SHALL MEET THE STANDARDS SET FORTH IN THE LATEST EDITION OF THE "AMERICAN STANDARD NURSERY STOCK" ANSI Z60 PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
7. PLANTS SHALL BE HIGH QUALITY NURSERY-GROWN STOCK. SUB-STANDARD, GRADE B OR PACK GRADE PLANTS ARE NOT ACCEPTABLE.
8. PLANTS SHALL HAVE BEEN GROWN IN A CLIMATIC ZONE SIMILAR TO DES MOINES. PLANTS GROWN IN NURSERIES LOCATED IN ZONES B0 OR HIGHER ARE NOT ACCEPTABLE.
9. PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION AND ESSENTIALLY FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRADED BARK, REDUNDANT LEADERS OR BRANCHES, RUBBING BRANCHES OR ABERATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THEIR NATURAL FORM.
10. PLANTS SHALL HAVE FULL, EVEN AND WELL-DEVELOPED BRANCHING AND A DENSE, VIGOROUS ROOT SYSTEM.
11. ALL TREES SHALL BE 1.5-INCH CALIPER AT TIME OF PLANTING.
12. ALL DISTURBED AREAS SHALL BE PERMANENT SEEDING ACCORDING TO SUDAS CHAPTER 7 - EROSION AND SEDIMENT CONTROL 7E-6 AND CHAPTER 9 - SITE WORK & LANDSCAPING UNLESS NOTED OTHERWISE.
13. THE ENTIRE PARCEL SHALL BE MOWN UNLESS OTHERWISE SHOWN ON APPROVED SITE PLAN.
14. ALL SLOPES OF 3:1 AND AS MARKED ON THE DRAWING SHALL BE SEEDING WITH AN APPROVED IOWA NATIVE GRASS. THIS INCLUDES THE SLOPES IN THE DETENTION POND AND THE BOTTOM OF THE DETENTION POND. SEE SUDAS CHAPTER 9 - SITE WORK & LANDSCAPING 2.01 & 2.02.
15. ALL AREAS SHOWN AS UNMOWN SHALL BE PLANTED WITH AN ANNUAL RYEGRASS.

**LANDSCAPING REQUIREMENTS**

- OPEN SPACE LANDSCAPING REQUIREMENTS**
- a. EVERGREEN TREES 0 EVERGREEN
  - b. OVER STORY TREES 2 TREES
  - c. UNDER STORY TREES 4 TREES
  - d. SHRUBS 6 SHRUBS
- BUFFER YARD REQUIREMENTS**
- NORTH**
- HALF OF THE FOLLOWING 100 L.F. (321.79 L.F.)
- a. 4 EVERGREEN TREES 7 EVERGREEN
  - b. 2 OVER STORY TREES 4 TREES
  - c. 6 UNDER STORY TREES 10 TREES
  - d. 24 SHRUBS 39 SHRUBS
- WEST**
- HALF OF THE FOLLOWING 100 L.F.
- a. EVERGREEN TREES 2 EVERGREEN
  - b. OVER STORY TREES 1 TREES
  - c. UNDER STORY TREES 3 TREES
  - d. SHRUBS 12 SHRUBS



**OPEN SPACE**

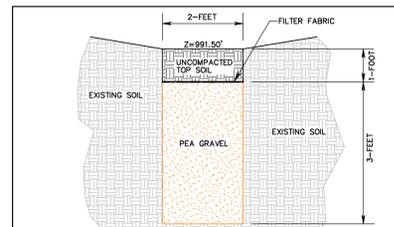
LABEL	TYPE	DESCRIPTION	BOTANICAL NAME	QUANTITY (INSTALLED)	SIZE (INSTALLED)
(A-1)	EVER-GREEN	BLACK HILLS SPRUCE	<i>Picea glauca var. densata</i>	0	5-6 foot
(A-2)	EVER-GREEN	CONCOLOR FIR	<i>abies concolor</i>	0	5-6 foot
(B-1)	UNDER-STORY	HERITAGE RIVER BIRCH	<i>Betula nigra 'Heritage'</i>	0	1.5-inch Caliper
(B-2)	OVER-STORY	RED MAPLE		2	1.5-inch Caliper
(C-1)	SHRUB	BURNING BUSH	<i>Euonymus alatus</i>	0	2 to 3-feet
(C-2)	SHRUB	GOLDMOUND SPIREA	<i>Spiraea japonica 'Goldmound'</i>	6	2 to 3-feet

**NORTH BUFFER**

LABEL	TYPE	DESCRIPTION	BOTANICAL NAME	QUANTITY (INSTALLED)	SIZE (INSTALLED)
(A-1)	EVER-GREEN	BLACK HILLS SPRUCE	<i>Picea glauca var. densata</i>	3	5-6 foot
(A-2)	EVER-GREEN	CONCOLOR FIR	<i>abies concolor</i>	4	5-6 foot
(B-1)	UNDER-STORY	HERITAGE RIVER BIRCH	<i>Betula nigra 'Heritage'</i>	11	1.5-inch Caliper
(B-3)	OVER-STORY	EXISTING TREES		12	1.5-inch Caliper
(C-1)	SHRUB	BURNING BUSH	<i>Euonymus alatus</i>	39	2 to 3-feet

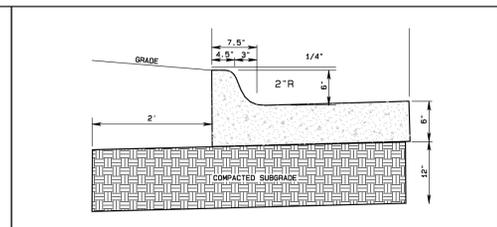
**WEST BUFFER**

LABEL	TYPE	DESCRIPTION	BOTANICAL NAME	QUANTITY (INSTALLED)	SIZE (INSTALLED)
(A-1)	EVER-GREEN	BLACK HILLS SPRUCE	<i>Picea glauca var. densata</i>	1	5-6 foot
(A-2)	EVER-GREEN	CONCOLOR FIR	<i>abies concolor</i>	1	5-6 foot
(B-1)	UNDER-STORY	HERITAGE RIVER BIRCH	<i>Betula nigra 'Heritage'</i>	3	1.5-inch Caliper
(B-2)	OVER-STORY	RED MAPLE		1	1.5-inch Caliper
(C-1)	SHRUB	BURNING BUSH	<i>Euonymus alatus</i>	12	2 to 3-feet



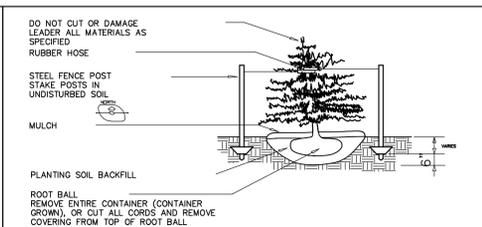
**SIEVEAGE WELL DETAIL**

NO SCALE



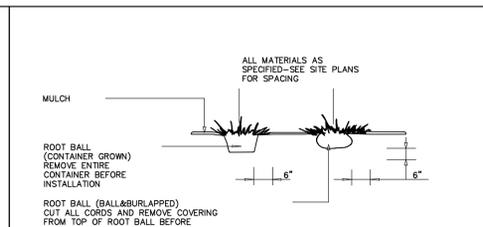
**6-INCH CONCRETE CURB DETAIL**

NO SCALE



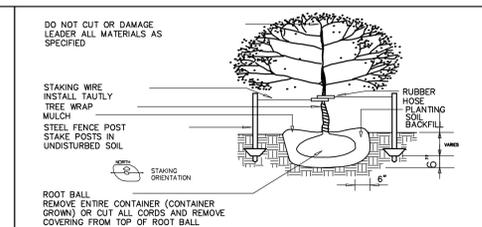
**EVERGREEN TREE PLANTING AND STAKING DETAIL**

NO SCALE



**SHRUB PLANTING DETAIL**

NO SCALE



**DECIDUOUS TREE PLANTING AND STAKING DETAIL**

NO SCALE

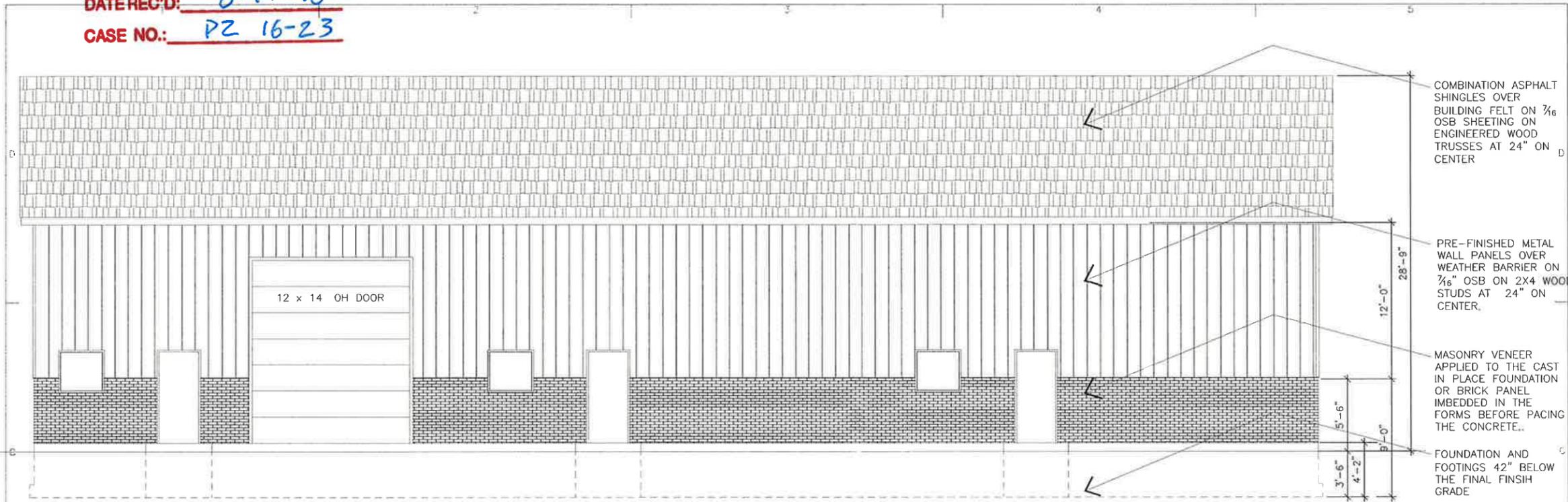


DATE REC'D: 8-17-16  
CASE NO.: PZ 16-23

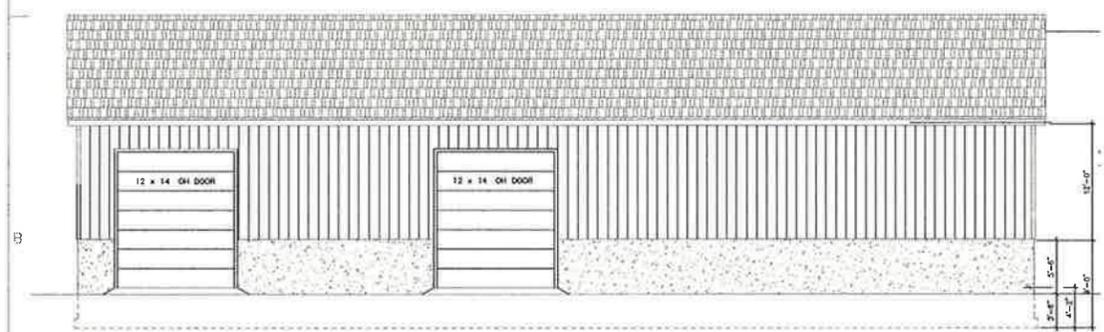
David Churchill  
20761 Kirkwood St  
Milo, Iowa 50166  
515-205-0909



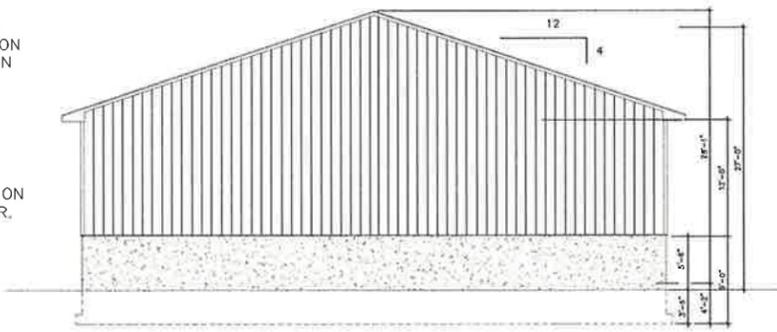
ADVANTAGE BUILDING TWO  
6250 NW BEAVER DRIVE  
JOHNSTON, IOWA



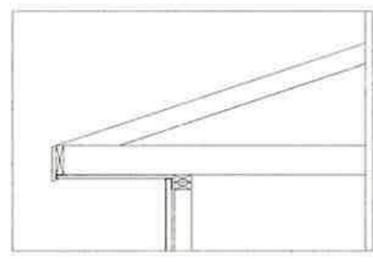
**A SOUTH ELEVATION**  
SCALE : 1/4" = 1'-0"



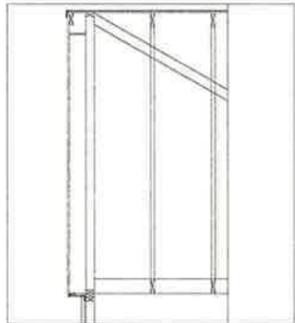
**A NORTH ELEVATION**  
SCALE : 3/16" = 1'-0"



**A EAST ELEVATION**  
SCALE : 3/16" = 1'-0"



**C ROOF DETAIL**  
SCALE : 3/16" = 1'-0"



**C ROOF DETAIL**  
SCALE : 3/16" = 1'-0"

COMBINATION ASPHALT SHINGLES OVER BUILDING FELT ON 3/8" OSB SHEETING ON ENGINEERED WOOD TRUSSES AT 24" ON CENTER.

PRE-FINISHED METAL WALL PANELS OVER WEATHER BARRIER ON 3/8" OSB ON 2X4 WOOD STUDS AT 24" ON CENTER.

BRICK PATTERNED FORMS USED FOR THE WALL.

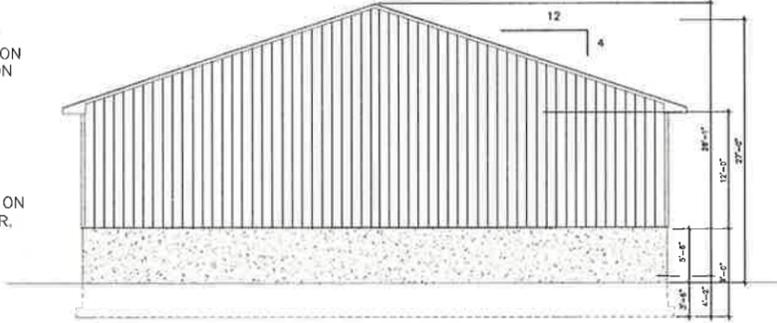
FOOTINGS 42" BELOW THE FINAL FINISH GRADE.

COMBINATION ASPHALT SHINGLES OVER BUILDING FELT ON 3/8" OSB SHEETING ON ENGINEERED WOOD TRUSSES AT 24" ON CENTER.

PRE-FINISHED METAL WALL PANELS OVER WEATHER BARRIER ON 3/8" OSB ON 2X4 WOOD STUDS AT 24" ON CENTER.

BRICK PATTERNED FORMS USED FOR THE WALL.

FOOTINGS 42" BELOW THE FINAL FINISH GRADE.



**A WEST ELEVATION**  
SCALE : 3/16" = 1'-0"

JOB NAME

SHEET TITLE

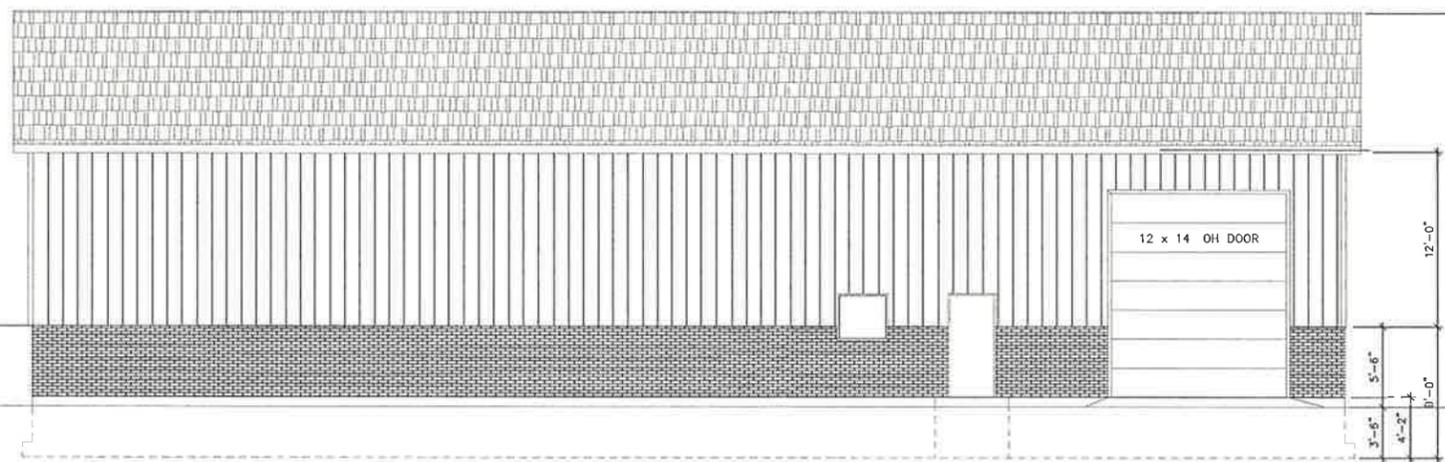
DATE Aug. 15, 2016  
REV. DATE  
JOB NUMBER kh/ah-LLC/816  
DRAWN BY DLC  
CHECKED BY KWW  
ISSUED FOR OWNER REVIEW  
SHEET NUMBER

A.102

David Churchill  
20761 Kirkwood St  
Mingo, Iowa 50166  
515-205-0909



**CITY OF JOHNSTON  
COMMUNITY DEV. DEPT.**  
DATE REC'D: 8-17-16  
CASE NO.: P216-23



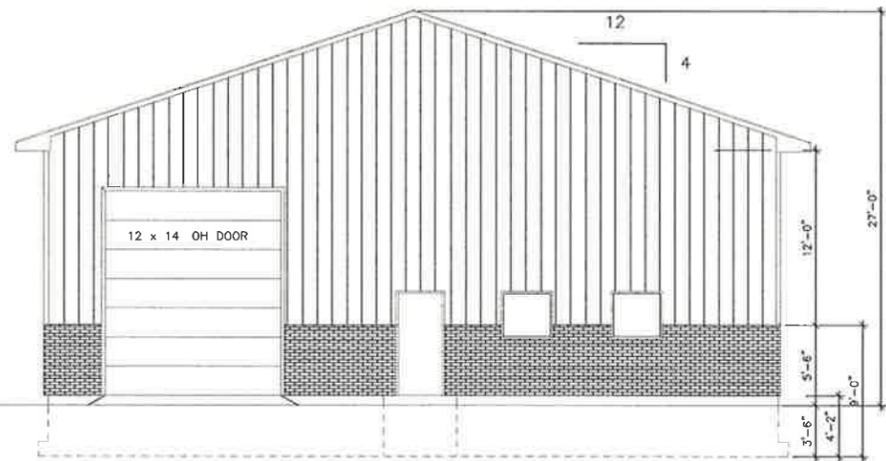
COMBINATION ASPHALT SHINGLES OVER BUILDING FELT ON 3/8" OSB SHEETING ON ENGINEERED WOOD TRUSSES AT 24" ON CENTER

PRE-FINISHED METAL WALL PANELS OVER WEATHER BARRIER ON 3/8" OSB ON 2X4 WOOD STUDS AT 24" ON CENTER.

MASONRY VENEER APPLIED TO THE CAST IN PLACE FOUNDATION OR BRICK PANEL IMBEDDED IN THE FORMS BEFORE PACING THE CONCRETE..

FOUNDATION AND FOOTINGS 42" BELOW THE FINAL FINISH GRADE

**A SOUTH ELEVATION**  
SCALE : 3/16" = 1'-0"



COMBINATION ASPHALT SHINGLES OVER BUILDING FELT ON 3/8" OSB SHEETING ON ENGINEERED WOOD TRUSSES AT 24" ON CENTER

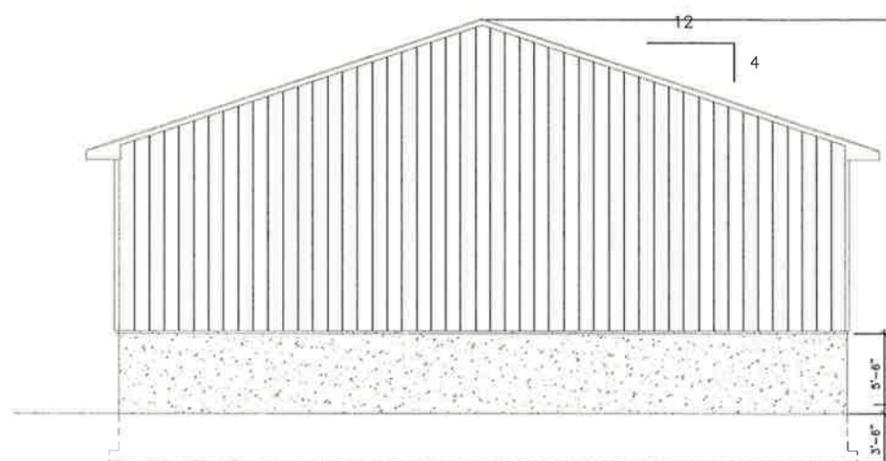
PRE-FINISHED METAL WALL PANELS OVER WEATHER BARRIER ON 3/8" OSB ON 2X4 WOOD STUDS AT 24" ON CENTER.

MASONRY VENEER APPLIED TO THE CAST IN PLACE FOUNDATION OR BRICK PANEL IMBEDDED IN THE FORMS BEFORE PACING THE CONCRETE..

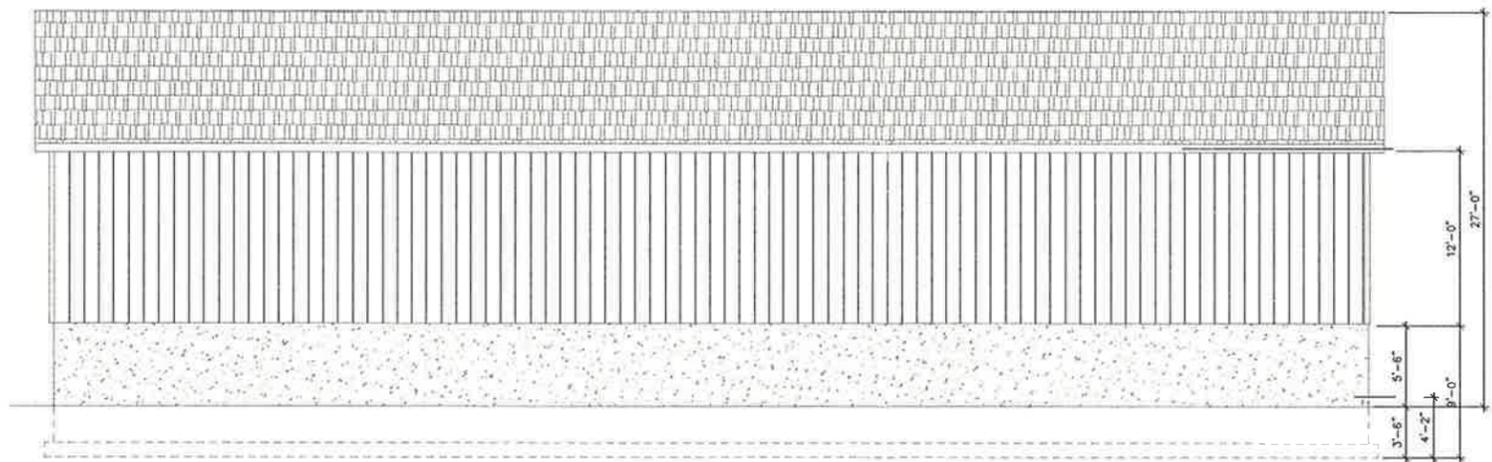
BRICK PATTERNED CONCRETE FORMS.

FOOTINGS 42" BELOW THE FINAL FINISH GRADE

**A WEST ELEVATION**  
SCALE : 3/16" = 1'-0"



**A EAST ELEVATION**  
SCALE : 3/16" = 1'-0"



COMBINATION ASPHALT SHINGLES OVER BUILDING FELT ON 3/8" OSB SHEETING ON ENGINEERED WOOD TRUSSES AT 24" ON CENTER

PRE-FINISHED METAL WALL PANELS OVER WEATHER BARRIER ON 3/8" OSB ON 2X4 WOOD STUDS AT 24" ON CENTER.

MASONRY VENEER APPLIED TO THE CAST IN PLACE FOUNDATION OR BRICK PANEL IMBEDDED IN THE FORMS BEFORE PACING THE CONCRETE..

BRICK PATTERNED FORMS USED FOR THE WALL.

FOOTINGS 42" BELOW THE FINAL FINISH GRADE

**A NORTH ELEVATION**  
SCALE : 3/16" = 1'-0"

**ADVANTAGE BUILDING ONE**  
6250 NW BEAVER DRIVE  
JOHNSTON, IOWA

JOB NAME

**ELEVATIONS**

SHEET TITLE

DATE Aug. 15, 2016

REV. DATE

JOB NUMBER kh/ah-LLC/816

DRAWN BY DLC

CHECKED BY KWW

ISSUED FOR OWNER REVIEW

SHEET NUMBER

A.203



## MEMORANDUM

*City of Johnston, Iowa*

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SENT VIA EMAIL

DATE: August 9, 2016

TO: Kirk Hesse, Advantage Homes  
Vic Piagentini, Associated Engineering Company of Iowa, Inc.

FROM: Clayton Ender, Planner

RE: **Advantage Homes Warehouse Site Plan 4845 NW 59<sup>th</sup> Ave**

We have reviewed the proposed site plan for Advantage Homes Warehouse at 4845 NW 59<sup>th</sup> Ave, and would note the following:

### **General**

1. List the following bulk requirements with the zoning information:
  - Front Yard Setback: 50 feet
  - Side Yard Setback (Minimum Width on Any One Side): 10 Feet
  - Sum of Side Yard Setbacks: 20 Feet
  - Side Yard Setback when Abutting an R District: 30 Feet
  - Rear Yard Setback: 50 Feet
  - Minimum Lot Area: 20,000 Square Feet
  - Minimum Lot Width: 100 Feet
2. Label the 50' front yard setback on both frontages and 10' side yard setback on east property boundary.
3. Change sheet one general Note B to 2014 SUDAS and Johnston Supplemental Specifications.
4. Include the sizes of the sanitary sewer and water mains along NW 59<sup>th</sup> Ave.
5. Will there be water or sewer connections to either building? If so, indicate the utility connection locations and sizes for water and sanitary sewer to each building.
6. The entrance drive off of NW 59<sup>th</sup> Ave must be aligned with the entrance drive for the Sikh Temple across the street.
7. Part of the parking area on the south side of this site appears that it will drain out onto NW 59<sup>th</sup> Ave instead of to the proposed overland flowage easement.

Provide a solution to insure that stormwater will flow to the overland flowage easement instead of onto NW 59<sup>th</sup> Ave.

8. You will need to work with the adjacent property owner to obtain the proposed 10' overland flowage easement and then provide evidence to the City that this easement has been granted.
9. Include the FEMA Flood Insurance Rate Map this site is located on and the area this site is in within that map.
10. Knox boxes will be required to be placed at the front door of each building. At the time of installation at least one knox box shall contain keys to access the gated area in emergency events.
11. All buildings must be within 150 foot radius fire coverage of any fire hydrant. Indicate the 150' fire hydrant coverage on the site plans.
12. Provide detail to insure the new sidewalk and trail replacement is ADA compliant, including warning panels at driveway crossings.
13. The grading notes mention a geotechnical report. If this report has been prepared, please provide two copies with the resubmittal for review.

### **Parking**

14. Discuss what the intended use inside both buildings is so that required parking can be verified.
15. Is it intended to have a walking aisle along the building? If so, the parking stalls must be at minimum 9 feet by 18 feet without the front end overhanging into walk aisle along the building.
16. Include parking stall dimensions for the stalls on the west side of the building.
17. Required parking includes 1 parking space for each person regularly employed on the premises in addition to the 1 space per 2,000 square feet of floor area. How many employees are expected regularly on the premises? Update the parking information on sheet one to account for this requirement.

### **Open Space and Buffers**

18. A 60 foot landscaped buffer is required on the west property boundary. This buffer requirement is split between your property and the adjacent property opposite the public-right-of-way. Update the landscaping plan to identify this buffer area and to include the following landscape materials:
  - a. 2 evergreen trees
  - b. 1 overstory deciduous tree
  - c. 3 understory trees
  - d. 12 shrubs
19. Buffer areas may be removed from the required open space area to determine open space landscaping requirements. For this site this would result in the following calculation to determine open space landscaping requirements:

10,770 SF Required Open Space – (30 Foot Buffer X ~321.79 Feet) – (30 Foot Buffer X 78.61 Feet) = -1,242 SF

Even though the result turns out negative the site must still maintain a minimum number of open space landscaping as follows: a minimum of 2 trees of 2 ½ caliper diameter or greater at time of planting and a minimum of 6 shrubs. Update the landscaping plan to reflect the above minimum requirements for open space landscaping.

20. Provide separate landscaping plant schedules for each individual buffer area and open space landscaping.

### **Architecture, Screening, and Lighting**

21. Where will dumpsters be located? They must be screened from public view. Indicate the location and screening on the site plans.
22. The fence must be designed to screen the outdoor storage area from adjacent properties and the public right-of-way. Provide a typical fence section detail to demonstrate the ability of the fence to accomplish the necessary screening.
23. Provide two copies of architectural elevations for review. Architectural design shall employ materials common in the district and vicinity of buildings. The exclusive use of sheet metal as an exterior building material is not acceptable for buildings in close proximity to public streets. For buildings within 300 feet of the public street, the exterior materials for wall area facing the public street shall be comprised of no less than 25% brick, architectural concrete panels, textured concrete block, architectural steel, or stone panels.
24. HVAC units must have adequate screening from any public street and adjoining properties. Include HVAC units on any architectural elevations and show the screening to be used.
25. Exterior lighting is not required, but if there will be any exterior lighting the applicant shall include 2 photometric plans for exterior lighting as an overlay on the proposed site: (1) entire site and (2) paved areas only. Include a written statement of percentages from initial to maintained foot-candle levels. Also include manufacturer's cut sheets for all proposed site lighting materials. The lighting requirements may be found at <http://www.cityofjohnston.com/index.aspx?NID=288>.

### **Looking Forward**

26. Signs are by a separate permit, but staff would note that you are allowed one freestanding sign for each street frontage and you are allowed building signs with a total area equal to 5% of the wall area facing NW 59<sup>th</sup> Ave and NW 49<sup>th</sup> Street.
27. All Stormwater Management Facilities will require a recorded maintenance agreement detailing the necessary ongoing maintenance of the facility. A template for this agreement may be found at <http://www.cityofjohnston.com/DocumentCenter/View/726>.

28. An executed NPDES Permit, full SWPPP and City Grading Permit will need to be provided for review a minimum of 10 days prior your anticipated start date for any ground disturbing activities. A city grading permit is available at <http://www.cityofjohnston.com/documentcenter/view/1412>. Review and approval must occur prior to work beginning.
29. A building permit and construction drawings will need to be provided for review a minimum of 14 days prior to your anticipated start date for building construction activities. A building permit may be acquired at the front desk of the Community Development Department office. Review and approval must occur prior to work beginning.
30. Please see additional comments on the site plan as provided by Foth Infrastructure and Environment, LLC and Johnston Public Works.
31. Please include a cover sheet to accompany revisions which lists corrections made to the site plan.

This project is scheduled for a development review meeting on Wednesday, August 10<sup>th</sup>, 2016 at 1:30p.m. Four full size copies of revised plans, four 11 x 17 inch reductions and a PDF version of all site plans and building elevations and two copies of any revised stormwater management reports must be submitted by Wednesday, June 17<sup>th</sup>, 2016 in order to proceed to the Planning and Zoning Commission on Monday, August 29<sup>th</sup>, 2016 and to the City Council on Tuesday, September 6<sup>th</sup>, 2016.

If you have any questions, please contact me at 727-7763 or by email at [center@cityofjohnston.com](mailto:center@cityofjohnston.com).

cc: File  
Josh DeBower, Foth  
Tyler Anderson, Foth  
Matt Greiner, Construction Inspector  
Craig Ver Huel, Fire Department  
David Wilwerding, Community Development Director  
Aaron Wolfe, Senior Planner



August 24, 2016

Clayton Ender, Planner  
City of Johnston, P.O. Box 410  
6221 Merle Hay Road  
Johnston, IA 50131

RE: Advantage Homes Warehouse Site Plan (4845 NW 59<sup>th</sup> Ave)  
Development Review 2  
Case No. PZ 16-23

Foth Infrastructure and Environment, LLC has completed a review of the site plan and preliminary drainage submittal received August 16th, 2016 for the above referenced project. Based on our review, the following comments are offered:

**Site Plan**

**Cover Sheet**

1. No further comments

**Grading & Dimension Plan**

2. Display 100-year elevation and overflow.
3. Provide hydrant coverage radii.
4. According to the contours, the onsite basin will store approximately 2-ft of water; per Iowa Stormwater Management Manual, bio-retention cells are recommended to not storm more than 9 inches of water.

**Landscaping Plan**

5. Applicant shall provide Storm Water Management Report to quantify design year storms and capacity of pond; report shall show downstream channels can convey the 100-year flow from WQ basin to detention pond as well as how long it will take for the BMP to drain.
6. Recommend soil borings or perform percolation tests at the locations of seepage well/detention basins to document the expected infiltration rate and ensure basin can drain within 48-72 hrs after the 1.25 inch rain.

Please contact me at 515.254.1393 if you have questions or comments.

Sincerely,

**Foth Infrastructure & Environment, LLC**

A handwritten signature in blue ink, appearing to read "Joshua C. DeBower".

Joshua C. DeBower, P.E.  
Lead Civil Engineer

TMA : file

## Notice of Public Meeting

August 19, 2016

The Johnston Planning and Zoning Commission will hold a Public Meeting at 7:00 p.m. on Monday, August 29, 2016 and the Johnston City Council will hold a Public Meeting at 7:00 pm on Tuesday, September 6, 2016. Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road to consider the following item:

**PZ Case No. 16-23; Advantage Homes Warehouse Site Plan**

Advantage Homes has submitted a site plan depicting the construction of two warehouse buildings and an outdoor storage area. The site is located on the northeast corner of NW 59th Avenue and NW 49th Street. The site is zoned M-1, Light Industrial, in which the proposed use is permitted. Additional information, including the site plan, is available at the link below.

If you have questions or comments on the above-described action, please contact the city staff person listed at the bottom of this card, or attend the meeting at the above-listed date and time. Additional information, including the site plan is also available under the "proposed development" section of the City's Website: <http://www.cityofjohnston.com/proposeddevelopment>.

Clayton Ender, Planner  
Johnston City Hall; 6221 Merle Hay Road; Johnston, IA 50131  
Phone: 727-7763; Email: [cender@cityofjohnston.com](mailto:cender@cityofjohnston.com)

## PZ Case # 16-23 Advantage Homes Warehouse Site Plans Mailing List

Owner	Address	City, State, Zip Code
MESA SULJIC	6004 NW 49TH	JOHNSTON, IA 50131-1163
JIM BRYSON	6005 PINWOOD	JOHNSTON, IA 50131-1053
ANGELA REU	6033 PINWOOD	JOHNSTON, IA 50131-1053
DANIEL ROUTSON	6037 PINWOOD	JOHNSTON, IA 50131-1053
NORTHWEST BEAVER DEVELOPMENT LLC	6250 NW BEAVER	JOHNSTON, IA 50131-1379
LISA COOPER	5944 NW 50TH	JOHNSTON, IA 50131-1344
AARON MILIK	4933 NW 59TH	JOHNSTON, IA 50131-4763
JOSHUA ERICKSON	6000 NW 49TH	JOHNSTON, IA 50131-1163
CHARLES BROWNE	5939 NW 50TH	JOHNSTON, IA 50131-4760
BETTY HULL	5941 NW 50TH	JOHNSTON, IA 50131-4760
DAVID DEMAREST	5945 NW 50TH	JOHNSTON, IA 50131-4760
CYLE BONJOUR	5952 NW 50TH	JOHNSTON, IA 50131-1344
KELLY JOHNSON	4925 NW 59TH	JOHNSTON, IA 50131-4763
JEFFREY BALL	5949 NW 50TH	JOHNSTON, IA 50131-4760
SCOTT MATTIS	4941 NW 59TH	JOHNSTON, IA 50131-4763
SIKH INC	4820 NW 59TH	JOHNSTON, IA 50131
ENCLAVE AT BEAVER PINES LLC	5967 MERLE HAY	JOHNSTON, IA 50131-1220
ALAN SMITH	6029 PINWOOD	JOHNSTON, IA 50131-1053
LARRY ROGERS	6013 PINWOOD	JOHNSTON, IA 50131-1053
ZACHARY KAPFER	6008 NW 49TH	JOHNSTON, IA 50131-1163
G RAY BUSHYAGER	6001 PINWOOD	JOHNSTON, IA 50131-1053
PINEWOOD GLEN OWNERS' ASSOCIATION	PO BOX 71637	CLIVE, IA 50325-0637
ELAINE KEMP	6009 PINWOOD	JOHNSTON, IA 50131-1053
ROY KNICLEY	6025 PINWOOD	JOHNSTON, IA 50131-1053

**From:** [KAREN BRYSON](#)  
**To:** [Clayton Ender](#)  
**Subject:** PZ case no 16-23: Advantage Homes Warehouse Site Plan  
**Date:** Sunday, August 21, 2016 2:47:29 PM

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Mr. Ender,

My residence is at 6005 Pinewood Ct, directly behind and north of the proposed warehouses. Could you please supply me with the following information:

1. Will the existing trees on the south side of our property be preserved and remain?
2. Will there be any kind of fence constructed between our property and the warehouses and if so, how high would the fence be and would the construction of it afford a sound barrier between the properties? Also, would the fence afford privacy between the homes north of the proposed warehouses and the warehouses themselves and any other items that might be outside the warehouses but on the site?
3. What would be stored at the warehouses or in what other manner would they possibly be used?
4. Would any corrosive or otherwise dangerous materials be stored at the facilities?
5. Will the warehouses include the use of large/heavy equipment and if so, would such equipment produce obtrusive noises effecting the domiciles located north of the property site?
6. Would semi trucks be making pick ups or deliveries to site?
7. Will there be any electrical/lighted signs on the site?
8. Will the site be in use at night as well as day?

If these matters are addressed online somewhere please refer me to the site, if not, I appreciate your hoped for response.

Sincerely,  
Mr. & Mrs. Jim Bryson  
6005 Pinewood Ct  
Johnston, IA 50131  
keileenbryson@gmail.com