



## **PLANNING AND ZONING COMMISSION**

### **Regular Meeting**

### **Monday, July 25, 2016**

Notice is hereby given that the **Planning and Zoning Commission** will hold a **Regular Meeting at 7:00 p.m. on Monday, July 25<sup>th</sup>, 2016**, in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road, Johnston, Iowa, to discuss the following business:

#### **AGENDA:**

- 1. Call to Order**
- 2. Roll Call**
- 3. Election of Officers**
- 4. Approval of Agenda**
- 5. Approval of Meeting Minutes:** Regular Meeting of June 27<sup>th</sup>, 2016
- 6. PZ Case No. 16-21; Crosshaven Plat 7 Final Plat:** The applicant, Hubbell Properties I, L.L.C. (Series D and Hubbell Realty Company) is proposing to subdivide a 57.62 acre parcel into 71 lots, 1 street lot, and 2 outlots. The property is zoned PUD via ordinance 782. The Preliminary Plat for Crosshaven Plat 7 was approved March 7<sup>th</sup>, 2016. This plat will complete the development of the Crosshaven development lying south of Little beaver Creek.
- 7. Other Business**
- 8. Adjournment**

**Next Scheduled Regular Meeting: Monday, August 8<sup>th</sup>, 2016.**

Posted on or before July 25<sup>th</sup>, 2016 at: Johnston City Hall, Johnston Public Library, Johnston Post Office, Johnston Public Works, Crown Point Community Center, and Johnston Website (<http://www.cityofjohnston.com/agendacenter>)



**PLANNING & ZONING COMMISSION**

City of Johnston  
 6221 Merle Hay Road, Johnston, IA 50131

Minutes  
 Regular Meeting: Monday, June 27, 2016

**AGENDA**

**1. Call to Order**

Chairman Petersma called the meeting to order at 7:00 p.m.

**2. Roll Call**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Present</b>	X		X		X	X	X
<b>Absent</b>		X		X			

**City Staff Present:** David Wilwerding, Clayton Ender, Rebekah Davis

**3. Approval of Agenda**

Petersma called for a vote to approve the agenda.

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X		X		X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**4. Approval of Meeting Minutes:** Regular Meeting of June 13, 2016.

**Roll Call Vote:**

	Spencer	Severino	Johnson	Smith	Pavlovec	Petersma	Anderson
<b>Aye</b>	X		X		X	X	X
<b>Nay</b>							
<b>Abstain</b>							

**5. PZ Case No. 16-20; Elmerodo Estates Plat 4 Preliminary Plat & Final Plat:** The applicant, Mark Shryrock, wishes to subdivide the subject property into one lot, one outlot, and one street lot. Proposed Lot 1 would contain the existing home on the property. Proposed Outlot V is intended for future development. Proposed Lot 'A' would be deeded to the City for street right of way.

Ender presented the staff report.

Petersma inquired if there was an agreement binding the maintenance responsibilities for the remaining portion of Benton Dam and the pond to the existing property owners. Ender stated that the covenants of Elmerodo Estates Plat 2 places responsibility of maintenance of the Benton Dam and the associated pond on the property owner of Lot 10.

Johnson questioned if staff plans on recommending that the dam be enhanced from a deficient state before Outlot V can be developed. Ender responded that staff did not believe that would be a requirement, but staff has reached out to the Iowa DNR to verify.

Anderson inquired who currently maintains the dam and pond. Ender explained that the covenants of Elmerodo Estates Plat 2 places responsibility of maintenance of the dam and the associated pond on the property owner of Lot 10. However, there are no easements for this property owner to access the portions of the pond/dam to maintain it.

Petersma stated that if one party disagrees to the maintenance requirements, there would be reason for concern considering the current condition of the dam.

Johnson stated that his primary concern was the deficient condition of the dam.

Petersma iterated that the details of this development's effect on the dam will be addressed in more detail at the platting stage of development.

Motion by Johnson, second by Spencer to approve 5. PZ Case No. 16-20; Elmerodo Estates Plat 4 Preliminary Plat & Final Plat, subject to the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. Consideration of the Preliminary and Final Plats by the City Council shall not occur until such a time as the property has been rezoned to an R-1 district to ensure compliance with all bulk regulations.
3. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur seven (7) business days prior to the City Council's regular meeting.
4. Due to the lack of an existing maintenance agreement, the property owners of the proposed Lot 1 and Outlot V will have ownership/maintenance responsibilities for their portions of the existing dam/pond. It is recommended that the affected parties develop a permanent maintenance agreement and begin to take steps to ensure that the Benton Dam is no longer classified as a deficient dam by the Iowa Department of Natural Resources. Any modifications to the dam shall be permitted and inspected by the Iowa DNR and should give consideration to potential future development downstream of the dam.

**Roll Call Vote:**

	<b>Spencer</b>	<b>Severino</b>	<b>Johnson</b>	<b>Smith</b>	<b>Pavlovec</b>	<b>Petersma</b>	<b>Anderson</b>
<b>Aye</b>	<b>X</b>		<b>X</b>		<b>X</b>	<b>X</b>	
<b>Nay</b>							
<b>Abstain</b>							

**6. PZ Case No. 16-07; Greenwood Hills Plat 5 Preliminary Plat:** The applicant, Clarkson Land Company is proposing to subdivide a 5.59 acre parcel into 18 lots and 2 street lots. The property is zoned R-1(60), Single Family Residential. The proposed preliminary plat includes a proposal to utilize adjacent City owned land to accommodate stormwater detention requirements for the site.

Ender presented the staff report.

Anderson inquired if the City was aware of the proposed adjacent development when the land was purchased. Ender explained that the City was aware of the proposed development and the applicant had assumed that the pond was designed to accommodate the associated stormwater. However, the City stormwater requirement mandates that stormwater quality and quantity be managed on site.

Petersma questioned how the amount of land purchased was determined. Ender noted that the applicant sold about 1.8 acres. Wilwerding clarified that staff attempted to purchase a sufficient amount of land to accommodate a pond, shelter and small neighborhood park.

The applicant, Randy Clarkson, Clarkson Land Company, 7051 Forest Drive, stated he had assumed that the pond would support the stormwater from the proposed development because of the natural stormwater drainage pattern and the City having been informed of the proposed development in advance. He believes that the impact of the stormwater from this development will be small due to their efforts to maintain the stormwater quality and quantity on site.

Melissa Hills, Civil Engineering Consultants, Inc., 400 86th Street, Suite 12, Urbandale, Iowa, explained that the Parks Board was very concerned with the canopy of trees that would be removed for the detention basin and creating a native, vegetative appearance. Thus, they have proposed to replace the trees on the higher ground of the berm with higher quality trees than are currently established.

Johnson questioned if there could have been better placement for the trees. Hills clarified that the trees are on the higher ground, either at the top or on the backside of the berm because most of the trees would not thrive in excessively moist conditions.

Petersma opened for public comment at 7:28 p.m.

Thomas Hanson, 8801 Highland Oaks Drive, is concerned that the stormwater drainage from the new development will cause the pond to raise and potentially overflow. He is concerned with the additional traffic that would be generated from connecting Highland Oaks Drive to NW 86<sup>th</sup> Street. He believes that this high traffic will cause the street to be unsafe for the children in the neighborhood. Petersma inquired if Hanson believed that the Highland Oaks Drive connection to NW 86<sup>th</sup> Street would relieve some traffic for his neighbors on Long Meadow Drive. Hanson affirmed, however he added that the access to NW 86<sup>th</sup> Street does not appeal to him.

Jordan Engbers, 8624 Long Meadow Drive, considers the Highland Oaks Drive connection to NW 86<sup>th</sup> Street agreeable because the 18 proposed lots would otherwise need access to access Long Meadow Drive which would affect his property. He is not opposed to the new development; however, he is concerned with the removal of the established trees on the neighborhood.

Paul Pickart, 5604 NW 88<sup>th</sup> Street, stated that the City did not inquire if the residents in the neighborhood desired a park. He believes that the City owned land was established for stormwater retention in the pond and that park was an afterthought.

Mark Hammond, 8813 Highland Oaks Drive, considers the trees are a great buffer for sound and light. He believes that more options need to be considered to maintain the neighborhood. He stated that the applicant needs to consider changing the proposed plan to use stormwater quantity management options on site.

Chris Collinsworth, 8809 Highland Oaks Drive, stated he is concerned with the additional traffic produced from Highland Oaks Drive connecting to NW 86<sup>th</sup> Street. He does not agree with the removal of the established tree buffer. He believes that the lots would be more valuable if Highland Oaks Drive terminated in a cul-de-sac. He is in favor of waiving the stormwater

requirement because he believes that the City neglected to consider the stormwater created from the proposed adjacent development.

Greg Votava, 8805 Highland Oaks Drive, stated he is concerned that waiving the stormwater requirements would set a bad precedent for future developments. He believes that the City should have considered the stormwater drainage from the adjacent proposed development. He believes having high traffic on NW 86<sup>th</sup> Street and Highland Oaks Drive could create unsafe conditions for children at the park. He is not opposed to the proposed development but doesn't agree with the removal of established trees.

Shannon Reese, 8721 Highland Oaks Drive, stated that previous developments had removed the trees that created a light and sound buffer in his backyard. He does not agree with the removal of additional trees for the detention basin. He asked how the park would be accessed since there are no proposed parking spaces. Petersma noted that the Commission did not have the Park Boards plans for the site and could not adequately answer the inquiry. Johnson supplemented that the proposed park will uniquely be a local park for the neighborhood, not a destination park.

Reese added that he opposes Highland Oaks Drive connection to NW 86<sup>th</sup> Street because Highland Oaks Drive is not a through street. He requested the applicant attempt to spare the trees in the area for the sake of the aesthetic of the neighborhood.

Kenneth Paulsen, 6880 NW Beaver Drive, speaking as a member of the Park Advisory Board explained that they were concerned that there may be other viable options that are not being considered and the precedent that would be set by waiving the stormwater retention requirement. He stated that they were inquiring as to whether the pond could effectively handle to stormwater from the proposed 18 additional lots. He stated that that parkland is important to the neighborhood and believes that removing 30 mature trees would negatively affect the aesthetic of the neighborhood. He questioned, with respect to the potential liability and property damage, if it would be legal to provide a portion of the City owned property to the applicant.

Lindsey Engbers, 8624 Long Meadow Drive, stated she appreciates the mature trees in the neighborhood. She believes that the same high traffic that affects her street would negatively impact Highland Oaks Drive once it is connected to NW 86<sup>th</sup> Street. She would prefer that the developer consider larger lots to maintain some of the mature trees in the neighborhood.

Petersma closed for the public comment session at 8:00 p.m.

Petersma concluded if the intention was to develop the adjacent property, why wasn't the pond created to detain the additional stormwater from the proposed development.

Wilwerding responded there are currently about 150 acres that drain into this pond, yet only a handful of detention basins exist upstream. He noted that prior to the ponds construction there was significant erosion in the channel upstream impacting adjacent properties. Channel stabilization and water retention were required to mitigate the erosion effects downstream. The City accounted for drainage from existing developments rather than that of undeveloped land. It was assumed that all the remaining undeveloped properties would account for their own stormwater management on site and ultimately feed into this drainage way. The applicant proposes to account for all of the water quality volume or the stormwater generated from small storm events, with the detention basin designed to handle the flood control for the site. He believes that without the detention basin, the impact on the forebay and pond would not be significant.

Petersma asked if the "wetland seeding SUDAS table" is a directed area for the water drainage.

Wilwerding clarified that the stormwater will naturally flow from this development to the forebay regardless of whether there is a detention basin. Waiving the requirement for the detention basin will still necessitate channel stabilization measures to prevent erosion.

Spencer inquired if the detention basin could be smaller thus reducing the number of mature trees that would need to be removed. Hills explained that the pond is 36% smaller than detention basin requirements. The smaller detention basin is facilitated by bioswales in the rear yards and soil quality restoration.

Petersma inquired if the proposed detention basin could be moved further east where there are fewer trees. Hills iterated that the Park Board expressly requested that the detention basin not to be in the area allotted for park amenities. The higher elevation prevents the park and shelter from experience pooling and flooding in significant rain events. Petersma stated his agreement with the detention basin going on City property because the stormwater will naturally drain across the property. However, he would rather see the City property be used for stormwater retention than waive the requirement. He believes that the detention basin would be best located to the east of the proposed location because fewer trees would need to be removed.

Petersma questioned as to how strict was the detention basin location. Paulsen stated that the park plan is a representation of a potential park amenity use pending the availability of funding. He believes that this park is a benefit to the residents. He stated that there may be potential for a moving the proposed park amenities location.

Anderson believes that there amicable solutions to solving the stormwater management requirements while still preserving the mature trees. She considered tabling the case for the applicant to review other potential solutions. The applicant stated that he would not have sold the property to the City if he didn't think the pond could have accommodated the stormwater from the proposed development. He believes that his stormwater quality and quantity efforts should created grounds for an exception to the stormwater detention requirement.

Wilwerding stated that by waiving the detention requirement, stormwater detention would still be occurring in the forebay and in the pond. The applicant would still be required to maintain water quality and direct the stormwater to the forebay and not to the pond.

Spencer is concerned with the precedent created by waiving the stormwater requirement.

Johnson inquired if it is legal to approve this stormwater proposal. Wilwerding explained that an easement would need to be granted. However, there are no legal hindrances prohibiting the waiving of all or a portion of the stormwater requirements.

Anderson inquired as to what stage stormwater calculations would be determined. Wilwerding stated that the detention basin is off site however, the of the stormwater quality requirements are met on the subject property. If the easement is not granted and the stormwater requirements are waived, the stormwater would drain directly into the pond.

Johnson inquired as to who would be responsible for maintaining the detention basin on the park site. Wilwerding stated that a maintenance agreement would be required from the homeowners association and a portion of the liability would be on the City.

Pavlovec questioned what would the area look like if they were not required to have the detention basin. Wilwerding responded that the water level at the forebay would be elevated. However, the detention basin option would release the water to the forebay at a slower rate.

Johnson inquired if any additional traffic control measures were proposed for the intersection of NW 86<sup>th</sup> Street and Long Meadow Drive. Wilwerding responded that a traffic analysis has not been completed at this intersection.

Pavlovec stated her belief that the applicant needs to reevaluate their proposed lot configuration to accommodate the stormwater created from the development. Spencer noted concern with the precedent created by waiving the stormwater requirement. Anderson agreed that this is a unique circumstance that would allow for a waiver of the stormwater requirement.

Johnson stated opposition to waiving the stormwater requirement or creating a detention basin on City property. If stormwater calculations determine that the forebay can support the new development he would agree to waive the stormwater requirement. He is concerned that future developments may attempt to seek to meet stormwater requirements on city owned property. He believes that Highland Oaks Drive connecting to NW 86<sup>th</sup> Street will assist safety and first responders by creating a supplementary route.

Motion by Anderson, second by Pavlovec to approve PZ Case No. 16-07; Greenwood Hills Plat 5 Preliminary Plat, subject to the following conditions (Anderson's motion included an amendment to condition # 2 from what was originally proposed by staff):

**The Planning & Zoning Commission recommends approval of PZ Case No. 16-07; Greenwood Hills Plat 5 Preliminary Plat, subject to the following conditions:**

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. **The stormwater detention requirements be waived for Greenwood Hills Plat 5 subject to the following conditions:**
  - a. Confirmation on the impacts on the existing forebay and pond.
  - b. The water quality volume shall be accommodated onsite.
  - c. The drainage shall be directed to the forebay and not the pond or the upstream channel.
3. **The Preliminary Plat and Stormwater Management Report shall be amended to address the following items:**
  - a. Address all outstanding comments from Foth's comment letter dated, June 22, 2016.
4. **Prior to City Council approval of the Construction Plans for any phase of the development, the following items shall be included on the Construction Plans:**
  - a. Final review of the location and construction methods of the off-site stormwater detention basin will be completed with the review of the Construction Plans.
  - b. The Construction Plans shall include a landscaping plan for the replacement of any trees removed from City owned property.
  - c. Final review of the location and construction methods of the water, sanitary sewer and storm sewer mains and the spacing of the fire hydrants will be completed with the review of the Construction Plans.
  - d. Minimum protection elevations shall be provided for all lots, adjacent to drainage ways, detention/retention ponds or other areas where inundation is possible, such elevations shall be identified on the final plat(s).
  - e. The Construction Plans and subsequent Final Plat(s) shall include critical spot elevations for all drainage ways constructed throughout the site. As built elevations shall be provided for these areas prior to the City's acceptance of public improvements to verify construction at the appropriate elevations.
  - f. The final location of all Post Office Cluster Box Units shall be identified and the necessary concrete pads and sidewalk connections shall be installed with the public improvements.
5. **Prior to the issuance of a certificate of occupancy for any structure within the plat, the following items shall be completed:**
  - a. All structures located on lots that have a minimum protection elevations identified on the plat shall certify that the structure meets that elevation.

**Roll Call Vote:**

	<b>Spencer</b>	<b>Severino</b>	<b>Johnson</b>	<b>Smith</b>	<b>Pavlovec</b>	<b>Petersma</b>	<b>Anderson</b>
<b>Aye</b>	<b>X</b>		<b>X</b>		<b>X</b>	<b>X</b>	<b>X</b>
<b>Nay</b>							
<b>Abstain</b>							

**7. Other Business**

**8. Adjournment**

Meeting adjourned at 9:00 PM.

\_\_\_\_\_

**Chair**

\_\_\_\_\_

**Secretary**



**Planning and Zoning Commission**

Community Development Department

Johnston, Iowa

July 25, 2016

**SUBJECT:** Consider making a recommendation on the Final Plat for Crosshaven Plat 7 subdividing 57.62 acres into 71 lots, 1 street lot, and two outlots. The subject property is located east of NW 100<sup>th</sup> Street and south of Little Beaver Creek.

**SYNOPSIS:**

The applicant, Hubbell Properties I, L.L.C. (Series D and Hubbell Realty Company) is proposing to subdivide a 57.62 acre parcel into 71 lots, 1 street lot, and 2 outlots. The property is zoned PUD via ordinance 782. The Preliminary Plat for Crosshaven Plat 7 was approved March 7<sup>th</sup>, 2016. This plat will complete the development of the Crosshaven development lying south of Little beaver Creek.

**RECOMMENDATION:**

Staff recommends approval and provides the following motion for the Commission’s consideration:

**The Planning & Zoning Commission recommends approval of PZ Case No. 16-21, the Final Plat for Crosshaven Plat 7 with the following conditions:**

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.
3. Pursuant to Chapter 180.42 of the Subdivision Regulations and Resolution 08-53, the applicant is responsible for participation in the reconstruction of NW 100th Street which may be addressed by the submission of a Petition and Waiver, such Petition and Wavier must be filed prior to the City Council’s consideration of the plat.
4. All pedestrian trails required within the proposed residential lots shall be installed or bonded for prior to the City’s acceptance of the public improvements for each phase of the plat.
5. Prior to City Council approval of the Final Plat, payment of the Little Beaver Creek Trunk Sewer Connection District Fee for the portion of the plat not within undevelopable outlots, which is a total of 23.11 acres in Plat 7, shall be made. The per acre fee is \$3,450 or \$79,729.50.

6. Pursuant to the PUD, a detailed management plan shall be provided with each plat for the outlot areas of the plat that are to be owned by a homeowners association, in addition, prior to City Council approval of the final plat, applicants shall provide a performance bond and maintenance bond to cover the cost of initial installation and maintenance to establish said areas as prairie.

**Prior to the issuance of a certificate of occupancy for any structure within the plat, the following items shall be completed:**

7. Pursuant to Chapter 145.05(4) the Erosion and Sediment Control Ordinance, an engineer's certification shall be provided certifying the elevation of the all designated ditch and drainage way elevations that are on or immediately adjacent to the lot under construction.
8. All structures located on lots that have a minimum protection elevations identified on the plat shall certify that the structure meets that elevation.

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_ to recommend approval of the Final Plat for Crosshaven Plat 7, with noted conditions.

Attachments: Final Plat prepared by McClure Engineering Company, dated July 20<sup>th</sup>, 2016;  
Ordinance 782; dated October 6, 2008; and,  
PUD Master Plan prepared by McClure Engineering Company, dated April 11, 2008;

**APPLICANT AND  
PROPERTY  
OWNERS:**

Hubbell Realty Company  
6900 Westown Parkway  
West Des Moines, IA 50266

**REPRESENTATIVE:**

McClure Engineering Company  
1360 NW 121<sup>st</sup> Street  
Clive, IA, 50325

**BACKGROUND &  
PRIOR APPROVALS:**

This property was part of the Northwest/Elmerodo Estates annexation which was approved by the City Council on February 19, 2008, and approved by the City Development Board in June 9, 2008. The annexation was finalized in September 2008 when it was recorded with the Secretary of State and Polk County Recorder.

The property was rezoned from A-R the automatic designation for annexed property to PUD via Ordinance 782 which was adopted by the Council on October 6, 2008.

The original preliminary plat for the site was approved December 1, 2008. An amended preliminary plat for the site was approved May 5, 2014. The preliminary plat was amended to accommodate for a large tract of land that was purchased by Johnston School District. The preliminary plat for this area was amended for a second time on March 7, 2016 to the current configuration of this Final Plat.

**COMPREHENSIVE  
PLAN:**

The Comprehensive Plan for this area was amended in 2006. The Plan calls for this area to be developed at an overall average density of 2.0 units per acre. Pursuant to the Comprehensive Plan the PUD allows for a density not to exceed 2.06 units per acre, with the area south of Little Beaver Creek (the portion proposed with this plat) to have a density not to exceed 1.66 units per acre. In addition, a buffer is required along the south boundary of the site. As proposed the total development has a gross density of 1.655 DU/AC.

**ZONING & DENSITY  
& BULK  
REQUIREMENTS:**

The proposed PUD is divided into thirteen tracts. This plat encompasses area within Tracts 1-8 which consists of single family residential homes and utilize the bulk regulations applicable to the R-1(60) zoning district as amended:

Lot Area: 6,000 sq. ft.  
Lot Width: 60 ft. at the building setback  
Front Setback: 25 ft. for any garage; 15 feet for any porch.  
Side Yard: 5 ft.  
Rear Yard: 10 ft.

In addition, at least 50% or more of the lots within tracts 1 - 8 are required to

be a minimum of 65 feet in width or wider. As proposed 50.3% open space is provided and 61% of the lots are 65 feet wide or wider, throughout the entire subdivision.

Lots adjacent to the 120 foot setback along the southern property border adjacent to Pinecrest Estates or 80 foot setback along the western border adjacent to NW 100<sup>th</sup> Street are also required to be a minimum of 85 feet in width (at the building setback) and 8,500 square feet. All of the lots meet this requirement.

In addition, portions of the property are within the Floodway and Floodway Fringe Overlay Zoning Districts and will be required to meet the requirements of those districts in addition to the PUD requirements.

**TRAFFIC ACCESS &  
CIRCULATION:**

The street/lot configuration is as shown on the amended Preliminary Plat. Access to the site is provided by an extension of Valley Parkway. Off of this extension three cul-de-sacs will be constructed. Valley Parkway will terminate in a dead end that is envisioned to eventually be extended through to connect with Valley Parkway at NW 86<sup>th</sup> Street.

As required by the Subdivision Regulations and Resolution 08-53, the applicants are responsible for their share of improvements to NW 100th Street, either by payment, bond or petition and waiver. With the recording of Crosshaven Plat 1 through 6, the applicants filed Petition and Waivers which allowed the per lot assessment cost to be reduced if future plats without frontage filed amended Petition and Waivers, this is proposed with this plat.

**OPEN SPACE  
AREAS:**

The open space areas will all be located in outlots which are owned and maintained by a homeowners association. The PUD requires a maintenance plan be developed for these areas and proof of financial stability be provided to ensure the associations are adequately funded to support the ongoing care of the open space areas. In addition, performance and maintenance bonds are required to be provided to ensure the areas are sufficiently established, all of which are required prior to City Council approval of the Final Plat.

**PARKLAND  
DEDICATION:**

As required by the PUD, the applicants are required to dedicate a minimum of a 3 acre park site within the development to allow for the development of a neighborhood park. The applicants identified a 5.34 acre park site located within plat 5, which was approved and has been developed as a City Park to provide recreation opportunities to this portion of the community.

In addition, and pursuant to the PUD Master Plan, the applicants have identified a significant trail system throughout the development with connections at NW 100<sup>th</sup> Street/Valley Parkway on the west and Valley Parkway and the east plat boundary on the east to allow for future

extensions of this trail system. The trails will be primarily on property owned by a homeowners association, but be located within easements and owned/maintained by the City. The portions of the trail network located within this phase are required to be constructed with the public improvements.

**SANITARY SEWER:**

The City constructed the Little Beaver Creek Trunk Sewer Project which extended the trunk sewer from NW 86<sup>th</sup> Street westerly to the subject property. A service main extends off of this trunk to provide service to this plat.

The applicant will be responsible for payment of the Little Beaver Creek Trunk Sewer Connection District Fee for the portion of the plat not within undevelopable outlots, which is a total of 23.11 acres in Plat 7. The per acre fee is currently \$3,450 per acre, totaling \$79,729.50.

**WATER:**

City water is currently stubbed at the dead end of Valley Parkway. Water will be extended to this site along Valley Parkway and will branch off of the Valley parkway main to service the lots located along the three cul-de-sacs. The water main extension will be extended to the plat boundary on the east so that future plats to the east can have access to city water.

**STORMWATER  
MANAGEMENT:**

This site generally flows northerly towards the retention pond located on the north of this site. A forebay is being constructed for this retention pond to allow for water flowing into the pond from the unnamed channel to be treated for water quality before entering the pond.

The street storm water will be collected in roadside ditches, in lieu of storm sewer pipe through the driveway curb cuts. Select storm sewer is proposed to convey this storm water under streets, driveways, sidewalks and trails to other drainage ways or the pond.

Minimum protection elevations and critical spot elevations of all drainage ways are shown for all lots as identified on the preliminary plat and/or construction plans. The Building Department will require engineer's certification of these MPE's prior to issuance of occupancy permits.

**SIDEWALKS:**

Sidewalks are required throughout the site. Due to the proposed roadside ditches, these sidewalks are proposed to be located in an easement just inside of each lot.

**FLOODPLAIN:**

Portions of this site are located within the 100 year floodplain and 500 year floodway fringe and as such the Floodplain and Floodway Fringe Overlay Districts were applied to those portions of the property. The applicants have secured a Letter of Map Revision – Fill, from FEMA documenting that all of the proposed lots are outside of the 100 year floodplain.

**BUILDING PERMIT  
ISSUANCE:**

Pursuant to standard city practice, the Building Department will not issue building permits until all major construction has been completed, the final plat filed and recorded and a punch list created for all outstanding items. Prior to acceptance of the public improvements, the Building Department will issue no more than two permits for the subdivision.

**PLAT SUMMARY:**

Lots:	71
Area:	57.64 Acres
Area of Streets:	5.81 Acres
Other Area Dedicated:	N/A
Outlot Area:	34.53 Acres
Net Area in Lots	17.29 Acres
Net Average Lot Area:	10,607 Square Feet
Length of Street:	3,290 Lineal Feet
Length of Water Main:	3,610 Lineal Feet
Length of Sanitary Sewer:	4,300 Lineal Feet
Length of Storm Sewer:	2,415 Lineal Feet

**FINAL  
DOCUMENTATION:**

The following documents must be submitted for review a minimum of six (6) working days prior to the City Council meeting in which this item will be considered at:

- Attorney's Title Opinion
- Polk County Treasurer's Tax Certificate
- Owner(s) Consent to Plat
- Lender(s) Consent to Plat (if mortgage on property)
- Warranty Deed to Street Lot
- Groundwater Hazard Statement for Street Lot
- Mortgagee's Partial Release of Mortgage & Partial Subordination of Mortgage to Easements (if mortgage on property)
- Easement Prohibiting Development of the Outlot Area(s)
- Sanitary Sewer Easements
- Storm Sewer Easements
- Overland Flowage Easement (Lot 33)
- 15' Public Utility and Overland Flowage Easement (Lots 31 &32)
- Public Utility Easements
- Stream Buffer Easement which Includes a Management Plan
- Bike Trail Easements
- Sidewalk Easements
- Petition and Waiver for Improvements to NW 100<sup>th</sup> Street
- Performance Bonds for all outstanding construction items, bonds should be in the amount of the remaining construction costs plus ten percent. A contractor or engineers estimate shall be provided to document remaining items and costs.
- Maintenance bonds for all streets, underground infrastructure, trails and common open space areas. Maintenance bonds shall be valid for

a four year period after acceptance of the public improvements.

- Payment of the Little Beaver Creek Truck Sewer Connection Fee of \$59,650.50.
- Evidence of Restrictive Covenants
- Evidence of Establishment of a Funded Home Owners Association with Responsibility of Maintenance and Replacement of the Facade on the Stream Crossing
- Evidence of a Short and Long Term Maintenance Plan for Open Space Area(s)

# CROSSHAVEN PLAT 7 JOHNSTON, IOWA

PREPARED BY & RETURNED TO: BRADLEY R. GEATER, PLS, MCCLURE ENGINEERING, 1360 NW 121ST STREET, CLIVE, IOWA 50325, 515-964-1229

**OWNERS:**  
CROSSHAVEN I LLC  
6900 WESTOWN PARKWAY  
WEST DES MOINES, IOWA 50266  
515-243-3228

**ENGINEER:**  
MCCLURE ENGINEERING  
1360 NW 121ST STREET  
CLIVE, IA 50325  
(515) 964-1229  
ATTN: CALEB SMITH

## LEGAL DESCRIPTION:

BEING ALL OF OUTLOT Z OF CROSSHAVEN PLAT 4, AS RECORDED IN POLK COUNTY RECORDS AT BOOK 15622, PAGES 796-811 AND THAT PART OF OUTLOT X OF CROSSHAVEN PLAT 3, AS RECORDED IN BOOK 14644, PAGES 908-919, LYING SOUTH OF OUTLOT Z OF CROSSHAVEN PLAT 4, AND PART OF PARCEL K, AS RECORDED IN POLK COUNTY RECORDS AT BOOK 12648, PAGE 649, BEING LOCATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M. AND THAT PART OF PARCEL D IN OUTLOT X OF SMITH ESTATES, AS RECORDED IN POLK COUNTY RECORDS AT BOOK 12653, PAGE 281, LYING SOUTH OF OUTLOT Z OF CROSSHAVEN PLAT 4, ALL TOGETHER BEING LOCATED IN THE CITY OF JOHNSTON, POLK COUNTY, IOWA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTH QUARTER CORNER OF SAID SECTION 34; THENCE ALONG THE EAST LINE OF SAID PARCEL D N00°02'13"W, 849.84 FEET TO THE NORTHEAST CORNER OF SAID OUTLOT Z; THENCE ALONG THE NORTH LINE OF SAID OUTLOT Z S89°57'47"W, 183.65 FEET; THENCE ALONG SAID NORTH LINE 196.64 FEET ALONG A 182.00 FOOT RADIUS CURVE, CONCAVE NORTHWEST, CHORD BEARING S40°17'42"W, 187.22 FEET; THENCE ALONG SAID NORTH LINE S71°39'29"W, 75.72 FEET; THENCE ALONG SAID NORTH LINE N88°32'46"W, 79.71 FEET; THENCE ALONG SAID NORTH LINE S71°39'29"W, 543.57 FEET TO THE NORTHWEST CORNER OF SAID OUTLOT Z; THENCE ALONG THE WEST LINE OF SAID OUTLOT Z S05°09'03"E, 97.06 FEET; THENCE ALONG SAID WEST LINE 335.65 FEET ALONG A 450.00 FOOT RADIUS CURVE, CONCAVE WEST, CHORD BEARING S16°13'03"W, 327.93 FEET; THENCE ALONG SAID WEST LINE 122.69 FEET ALONG A 250.00 FOOT RADIUS CURVE, CONCAVE EAST, CHORD BEARING S23°31'35"W, 121.46 FEET; THENCE ALONG THE WEST LINE OF SAID OUTLOT X AND SAID OUTLOT Z S09°28'02"W, 286.08 FEET; THENCE ALONG THE WEST LINE OF SAID OUTLOT X S80°31'58"E, 7.05 FEET; THENCE ALONG SAID WEST LINE S09°28'02"W, 304.64 FEET TO THE WEST LINE OF SAID PARCEL K; THENCE ALONG SAID WEST LINE N89°38'54"W, 286.75 FEET; THENCE ALONG SAID WEST LINE S00°21'19"W, 449.48 FEET; THENCE ALONG SAID WEST LINE N89°38'41"W, 285.00 FEET; THENCE ALONG SAID WEST LINE S00°21'19"W, 278.20 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL K; THENCE ALONG THE SOUTH LINE OF SAID PARCEL K S89°47'06"E, 1761.13 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL K; THENCE ALONG THE EAST LINE OF SAID PARCEL K N00°24'38"E, 1323.46 FEET TO THE POINT OF BEGINNING. DESCRIBED AREA CONTAINS 57.64 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

## ZONING

ZONING: CROSSHAVEN P.U.D. (ORDINANCE 782)

## SETBACKS (SINGLE FAMILY LOTS)

FRONT: 15 FT (FOR USABLE PORCH AREA)  
25 FEET GARAGE  
SIDE: 5 FEET  
REAR: 10 FEET  
MIN LOT WIDTH: 60 FEET  
MIN LOT AREA: 6,000 SF

## UTILITIES

WATER - JOHNSTON WATER SYSTEM  
SANITARY SEWER - JOHNSTON SANITARY SEWER DISTRICT.

## BENCHMARK

RR SPIKE IN 2ND POWER POLE SOUTH OF THE INTERSECTION OF NW 78TH AVE AND NW 100TH STREET. ELEVATION: 893.19'

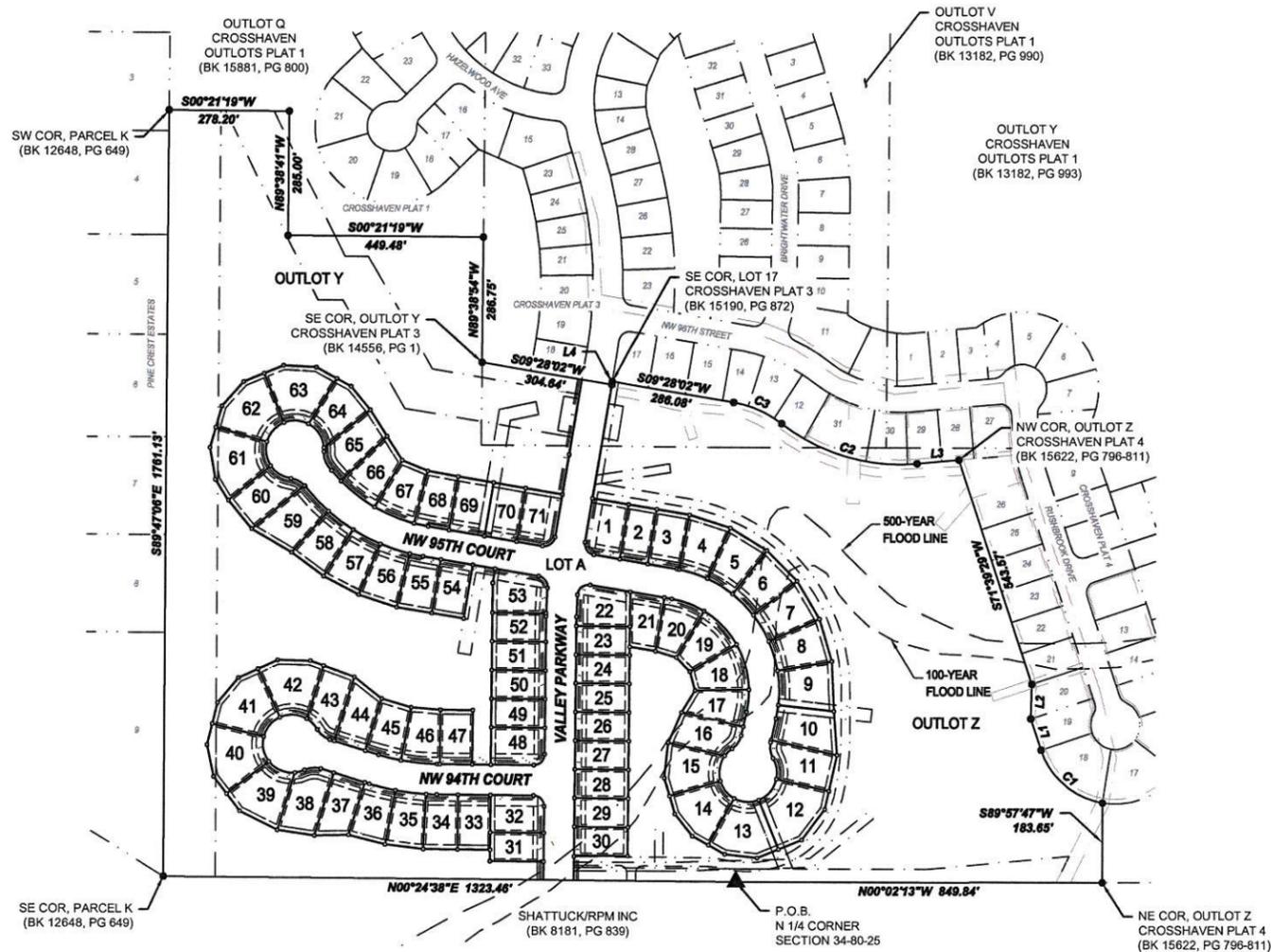
ARROW FIRE HYDRANT (FH-100-28) NW CORNER OF THE INTERSECTION OF NW 76TH PL AND NW 100TH STREET. ELEVATION: 900.71'

## NOTES:

- 1) LOT A TO BE DEDICATED TO THE CITY OF JOHNSTON FOR USE AS PUBLIC RIGHT-OF-WAY.
- 2) SEE SHEET 2 FOR LOT LINE AND CURVE TABLES. SEE SHEET 7 FOR EASEMENT LINE AND CURVE TABLES.

## FLOOD INSURANCE INFORMATION

THE SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN FLOOD INSURANCE PANEL 1909010085D WITH AN EFFECTIVE DATE OF JULY 19, 2000. SUBJECT PROPERTY IS LOCATED IN ZONE AE & ZONE X.



building strong communities.

1360 NW 121st. Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

**NOTICE:**  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

**COPYRIGHT:**  
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

DATE: 08/11/15  
BRADLEY R. GEATER, PLS  
NO. 19828  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017  
PAGES OR SHEETS COVERED BY THIS SEAL:  
8 SHEETS

CROSSHAVEN PLAT 7  
FINAL PLAT  
JOHNSTON, IOWA  
226053  
05/13/2016

REVISIONS  
07/13/2016  
07/20/2016

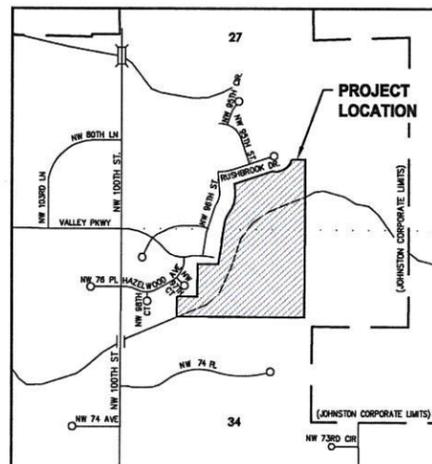
ENGINEER: C. SMITH  
DRAWN BY: D. GRATE

CHECKED BY: B. GEATER  
FIELD BOOK NO.:

DRAWING NO.: FP-07  
SHEET NO.: 01/08

## GENERAL LEGEND

- PLAT BOUNDARY
  - EXISTING PROPERTY LINE
  - PROPERTY LINE
  - SETBACKS
  - EASEMENTS
- DATE SURVEYED: 10/30/2015
- CORNERS FOUND:
- SECTION CORNER (TYPE AS NOTED)
  - BOUNDARY CORNER (UNLESS NOTED OTHERWISE)
- CORNERS SET:
- BOUNDARY CORNER 1/2" REBAR OPC #1982B
  - SECTION CORNER 1/2" REBAR OPC #1982B
- ABBREVIATIONS:
- ROW - RIGHT-OF-WAY
  - BK, PG - BOOK AND PAGE
  - (M) - MEASURED DISTANCE/ANGLE
  - (R) - RECORD DISTANCE/ANGLE
  - PUE - PUBLIC UTILITY EASEMENT
  - YPC - YELLOW PLASTIC CAP
  - OPC - ORANGE PLASTIC CAP
  - MPE - MINIMUM PROTECTION ELEVATION
  - (7638) - LOT ADDRESSES



VICINITY MAP- NTS

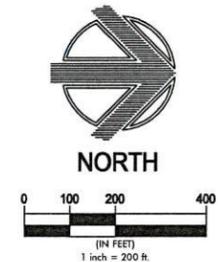
Line Table		
Line #	Direction	Length
L1	S71°39'29"W	75.72
L2	N88°32'46"W	79.71
L3	S5°09'03"E	97.06
L4	S80°31'58"E	7.05

Curve Table					
Curve #	Length	Radius	Delta	Chd B	Chd L
C1	196.84	182.00	61°54'20"	S40°17'42"W	167.22
C2	335.65	450.00	42°44'12"	S16°13'03"W	327.93
C3	122.89	250.00	28°07'06"	S23°31'35"W	121.46

Adjoining Lot Table-Pine Crest Estates	
Lot #	Owner
3	Bruce & Jane Havlik
4	Robert J. & Lori A. Cramer
5	Scott R. & Teri R. Fritcher
6	Matthew & Nancy J. Brown
7	Michael H. & Nancy K. Hefner
8	Curtis R. & Desiree L. Clausen
9	William C. & Kelly L. Mahanna

Adjoining Lot Table-Crosshaven Plat 4	
Lot #	Owner
17	Kingdom Homes USA Inc.
18	Hubbell Homes LC
19	Hubbell Homes LC
20	Jeffery M. & Astra D. Pike
21	Hubbell Homes LC
22	Orton Homes LLC
23	Cosgriff Development LLC
24	Cosgriff Development LLC
25	John R. & Cecilia Booth
26	Orton Homes LLC
27	Orton Homes LLC
28	Jeffrey W. & Susan D. Meyer
29	Hubbell Homes LC
30	Hubbell Homes LC
31	Crosshaven I LLC

Adjoining Lot Table-Crosshaven Plat 3	
Lot #	Owner
12	Lisa A. & William H. Miller
13	GM Construction Inc.
14	Kevin M. & Christine E. Gordon
15	Grayhawk Homes of Iowa Inc.
16	Allen F. & Leah A. Raushel
17	William B. & Donarene K. Grenell
18	Rami & Jason Bachhuber

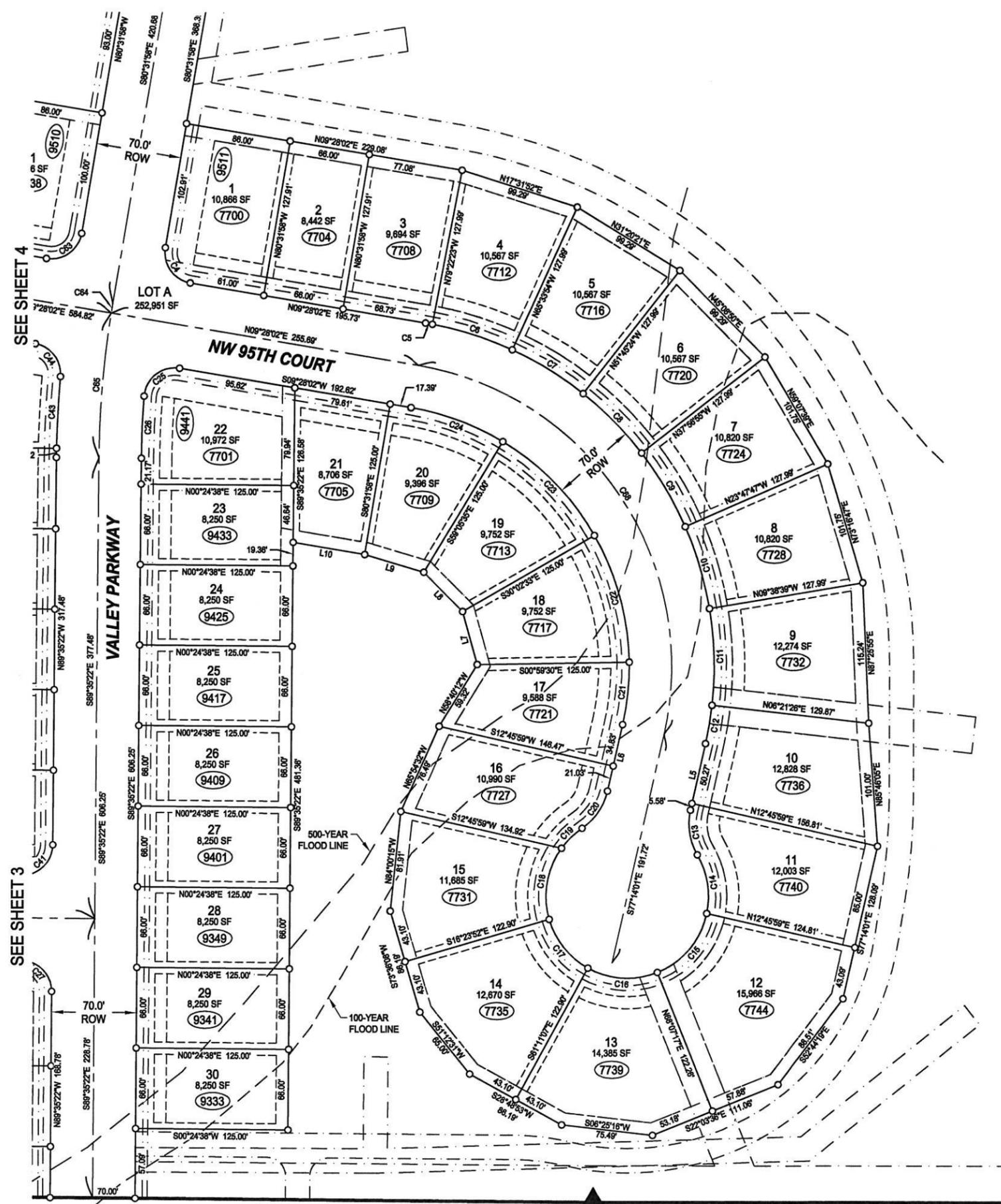


Line #	Direction	Length
L5	S77°14'01"W	55.85
L6	N77°14'01"W	55.85
L7	S74°25'58"W	45.15
L8	S45°25'58"W	45.15
L9	S16°31'39"W	50.67
L10	S9°28'02"W	59.69
L11	N80°31'58"W	33.33
L12	S50°38'14"W	10.23
L13	N50°38'14"E	10.23

Curve #	Length	Radius	Delta	Chd B	Chd L
C4	39.27	25.00	90°00'00"	N54°28'02"E	35.36
C5	5.77	285.00	1°09'34"	N10°02'50"E	5.77
C6	66.68	285.00	13°48'29"	N17°31'52"E	68.52
C7	66.68	285.00	13°48'29"	N31°20'21"E	68.52
C8	66.68	285.00	13°48'29"	N45°08'50"E	68.52
C9	70.40	285.00	14°09'08"	N59°07'39"E	70.22
C10	70.40	285.00	14°09'08"	N73°16'47"E	70.22
C11	79.59	285.00	16°00'05"	N88°21'23"E	79.34
C12	31.88	285.00	6°24'33"	S80°28'18"E	31.88
C13	37.88	50.00	43°24'24"	N81°03'47"E	36.98
C14	49.78	67.00	42°34'05"	N80°38'38"E	48.84
C15	65.71	67.00	56°11'37"	S49°58'31"E	63.11
C16	59.28	67.00	50°41'38"	S3°28'05"W	57.36
C17	62.37	67.00	44°47'15"	S51°12'31"W	51.05
C18	61.27	67.00	52°23'42"	N80°12'01"W	59.18
C19	23.59	67.00	20°10'32"	N43°54'54"W	23.47
C20	37.88	50.00	43°24'24"	N55°31'49"W	36.98
C21	51.63	215.00	13°45'29"	N84°08'48"W	51.50
C22	109.01	215.00	29°03'03"	S74°28'58"W	107.85
C23	109.01	215.00	29°03'03"	S45°25'58"W	107.85
C24	80.45	215.00	21°26'22"	S20°11'13"W	79.98
C25	41.56	25.00	95°14'58"	S38°09'27"E	36.94

Curve #	Length	Radius	Delta	Chd B	Chd L
C26	60.83	765.00	3°48'28"	S87°41'09"E	60.82
C27	39.27	25.00	90°00'00"	S45°24'38"W	35.36
C28	24.45	535.00	2°37'05"	S1°43'11"W	24.44
C29	71.57	535.00	7°39'52"	S6°51'39"W	71.51
C30	81.33	535.00	6°34'04"	S13°58'37"W	81.29
C31	37.88	50.00	43°24'24"	S4°26'32"E	36.98
C32	23.23	67.00	19°52'08"	S16°12'41"E	23.12
C33	68.72	67.00	58°45'45"	S23°06'15"W	65.74
C34	60.26	67.00	51°32'10"	S78°15'12"W	58.25
C35	60.26	67.00	51°32'10"	N50°12'38"W	58.25
C36	64.72	67.00	55°20'37"	N3°13'48"E	62.23
C37	34.81	67.00	29°45'59"	N45°47'04"E	34.42
C38	37.88	50.00	43°24'24"	N38°57'51"E	36.98
C39	53.02	485.00	6°32'00"	N13°59'40"E	52.99
C40	83.73	485.00	10°19'01"	N5°34'08"E	83.62
C41	39.27	25.00	90°00'00"	N44°35'22"W	35.36
C42	7.52	835.00	0°30'59"	N89°19'52"W	7.52
C43	58.66	835.00	4°01'30"	N87°03'38"W	58.65
C44	37.30	25.00	85°29'05"	S52°12'35"W	33.94
C45	31.30	435.00	4°07'21"	S11°31'43"W	31.29
C46	70.80	435.00	9°19'31"	S18°15'09"W	70.72

Curve #	Length	Radius	Delta	Chd B	Chd L
C47	70.80	435.00	9°19'31"	S27°34'40"W	70.72
C48	70.80	435.00	9°19'31"	S36°54'11"W	70.72
C49	68.87	435.00	9°04'18"	S46°06'05"W	68.80
C50	1.78	50.00	2°02'37"	S49°58'56"W	1.78
C51	36.10	50.00	41°21'47"	S27°54'44"W	35.32
C52	57.15	67.00	48°52'27"	S31°40'04"W	55.43
C53	57.87	67.00	49°29'14"	S80°50'54"W	56.09
C54	61.17	67.00	52°18'51"	N48°15'03"W	59.07
C55	58.22	67.00	49°47'19"	N2°48'02"E	56.41
C56	68.42	67.00	58°30'35"	N56°56'59"E	65.49
C57	9.17	67.00	7°50'22"	S89°52'33"E	9.16
C58	37.88	50.00	43°24'24"	N72°20'28"E	36.98
C59	32.81	365.00	5°08'59"	N48°03'44"E	32.79
C60	97.84	365.00	15°21'32"	N37°48'29"E	97.55
C61	97.84	365.00	15°21'32"	N22°28'57"E	97.55
C62	33.78	365.00	5°18'09"	N12°07'07"E	33.77
C63	39.27	25.00	90°00'00"	N35°31'58"W	35.36
C64	7.70	800.00	0°33'07"	S80°48'31"E	7.70
C65	118.75	800.00	8°30'18"	S85°20'13"E	118.64
C66	287.42	400.00	41°10'11"	N30°03'08"E	281.28
C67	147.05	500.00	18°51'01"	S8°50'09"W	146.52
C68	407.09	250.00	93°17'57"	N56°07'01"E	363.58



SEE SHEET 4  
SEE SHEET 3



NORTH  
0 25 50 100  
(IN FEET)  
1 inch = 50 ft.

**GENERAL LEGEND**

- PLAT BOUNDARY
- EXISTING PROPERTY LINE
- PROPERTY LINE
- SETBACKS
- EASEMENTS

DATE SURVEYED: 10/30/2015

CORNERS FOUND:

- ▲ - SECTION CORNER (TYPE AS NOTED)
- - BOUNDARY CORNER (UNLESS NOTED OTHERWISE)

CORNERS SET:

- - BOUNDARY CORNER 1/2" REBAR OPC #19828
- △ - SECTION CORNER 1/2" REBAR OPC #19828

ABBREVIATIONS:

- ROW - RIGHT-OF-WAY
- BK, PG - BOOK AND PAGE
- (M) - MEASURED DISTANCE/ANGLE
- (R) - RECORD DISTANCE/ANGLE
- PUE - PUBLIC UTILITY EASEMENT
- YPC - YELLOW PLASTIC CAP
- OPC - ORANGE PLASTIC CAP
- MPE - MINIMUM PROTECTION ELEVATION
- (7638) - LOT ADDRESSES



building strong communities.

1360 NW 121ST, Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:  
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.

CROSSHAVEN PLAT 7  
FINAL PLAT  
JOHNSTON, IOWA  
226053  
05/13/2016

REVISIONS  
07/13/2016  
07/20/2016

ENGINEER: C. SMITH  
DRAWN BY: D. GRATE  
CHECKED BY: B. GEATER  
FIELD BOOK NO.:  
DRAWING NO.: FP-07  
SHEET NO.: 02/08

building strong communities.

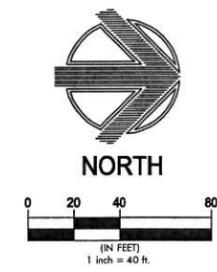
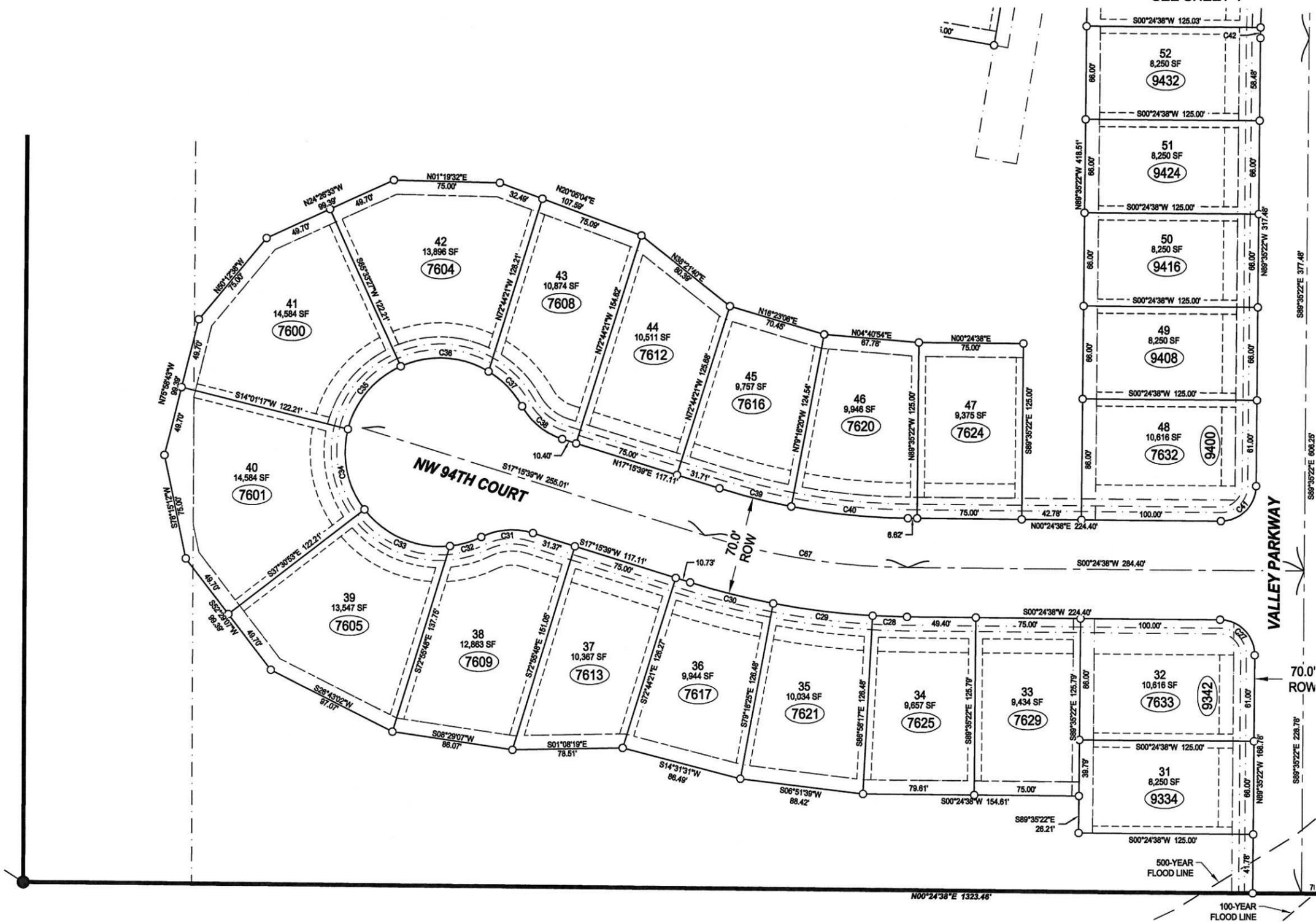
1360 NW 121ST. Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:  
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.

SEE SHEET 4

SEE SHEET 2



**GENERAL LEGEND**

———	PLAT BOUNDARY
---	EXISTING PROPERTY LINE
---	PROPERTY LINE
---	SETBACKS
---	EASEMENTS
DATE SURVEYED: 10/30/2015	
CORNERS FOUND:	
▲	SECTION CORNER (TYPE AS NOTED)
●	BOUNDARY CORNER (UNLESS NOTED OTHERWISE)
CORNERS SET:	
○	BOUNDARY CORNER 1/2" REBAR OPC #19828
△	SECTION CORNER 1/2" REBAR OPC #19828
ABBREVIATIONS:	
ROW	RIGHT-OF-WAY
BK PG	BOOK AND PAGE
(M)	MEASURED DISTANCE/ANGLE
(R)	RECORD DISTANCE/ANGLE
PUE	PUBLIC UTILITY EASEMENT
YPC	YELLOW PLASTIC CAP
OPC	ORANGE PLASTIC CAP
MPE	MINIMUM PROTECTION ELEVATION
7638	LOT ADDRESSES

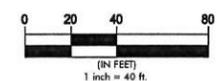
**CROSSHAVEN PLAT 7  
FINAL PLAT**  
JOHNSTON, IOWA  
226053  
05/13/2016

REVISIONS  
07/13/2016  
07/20/2016

ENGINEER C. SMITH	DRAWN BY D. GRATE
CHECKED BY B. GEATER	FIELD BOOK NO. -
DRAWING NO. FP-07	SHEET NO. 03/08

NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:  
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.



GENERAL LEGEND	
	PLAT BOUNDARY
	EXISTING PROPERTY LINE
	PROPERTY LINE
	SETBACKS
	EASEMENTS
DATE SURVEYED: 10/30/2015	
CORNERS FOUND:	
	SECTION CORNER (TYPE AS NOTED)
	BOUNDARY CORNER (UNLESS NOTED OTHERWISE)
CORNERS SET:	
	BOUNDARY CORNER 1/2" REBAR OPC #19828
	SECTION CORNER 1/2" REBAR OPC #19828
ABBREVIATIONS:	
ROW	RIGHT-OF-WAY
BK, PG	BOOK AND PAGE
(M)	MEASURED DISTANCE/ANGLE
(R)	RECORD DISTANCE/ANGLE
PUE	PUBLIC UTILITY EASEMENT
YPC	YELLOW PLASTIC CAP
OPC	ORANGE PLASTIC CAP
MPE	MINIMUM PROTECTION ELEVATION
7638	LOT ADDRESSES

CROSSHAVEN PLAT 7  
FINAL PLAT  
JOHNSTON, IOWA  
226053  
05/13/2016

REVISIONS  
07/13/2016  
07/20/2016

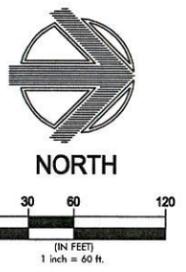
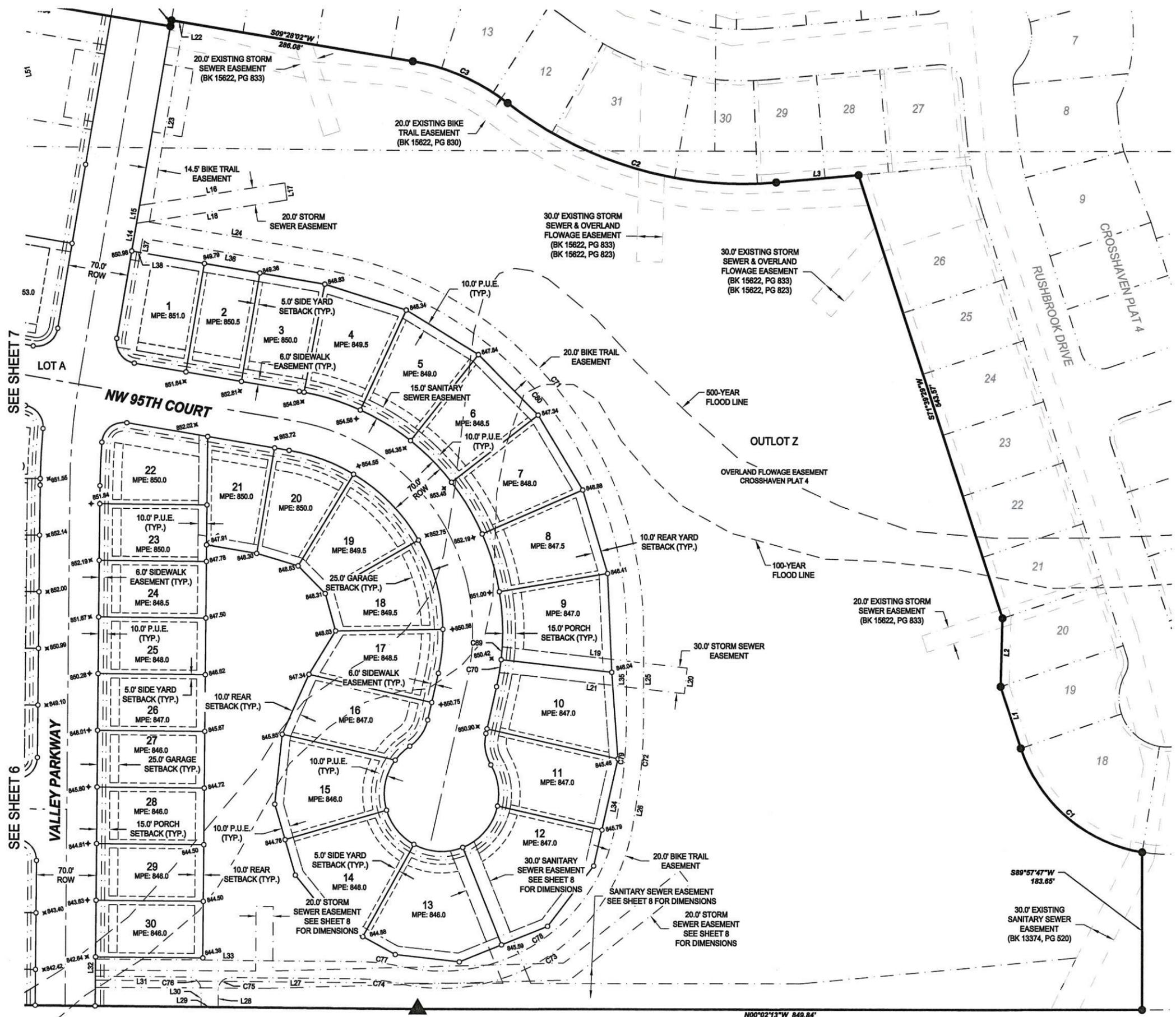
ENGINEER: C. SMITH  
DRAWN BY: D. GRATE  
CHECKED BY: B. GEATER  
FIELD BOOK NO.:  
DRAWING NO.: FP-07  
SHEET NO.: 04/08

SEE SHEET 2

SEE SHEET 3

NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:  
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.



**GENERAL LEGEND**

——	PLAT BOUNDARY
---	EXISTING PROPERTY LINE
---	PROPERTY LINE
---	SETBACKS
---	EASEMENTS

DATE SURVEYED: 10/30/2015

CORNERS FOUND:

- ▲ - SECTION CORNER (TYPE AS NOTED)
- - BOUNDARY CORNER (UNLESS NOTED OTHERWISE)

CORNERS SET:

- - BOUNDARY CORNER 1/2" REBAR OPC #19828
- △ - SECTION CORNER 1/2" REBAR OPC #19828

ABBREVIATIONS:

- ROW - RIGHT-OF-WAY
- BK, PG - BOOK AND PAGE
- (M) - MEASURED DISTANCE/ANGLE
- (R) - RECORD DISTANCE/ANGLE
- PUE - PUBLIC UTILITY EASEMENT
- YPC - YELLOW PLASTIC CAP
- OPC - ORANGE PLASTIC CAP
- MPE - MINIMUM PROTECTION ELEVATION
- 7638 - LOT ADDRESSES

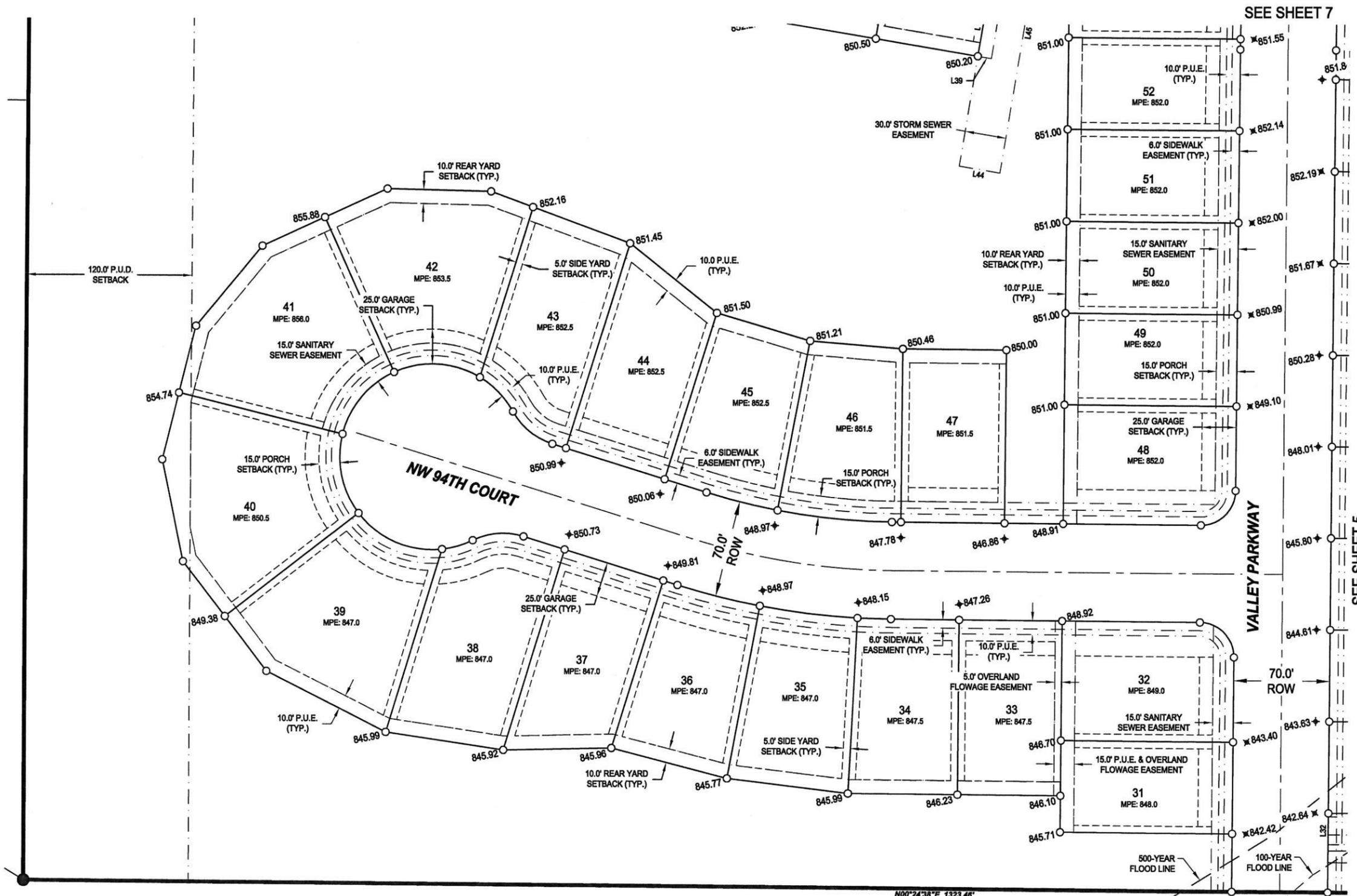
**CROSSHAVEN PLAT 7  
FINAL PLAT**  
JOHNSTON, IOWA  
226053  
05/13/2016

REVISIONS  
07/13/2016  
07/20/2016

ENGINEER C. SMITH	DRAWN BY D. GRATE
CHECKED BY B. GEATER	FIELD BOOK NO.
DRAWING NO. FP-07	SHEET NO. 05/08

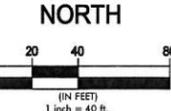
NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:  
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.



SEE SHEET 7

SEE SHEET 5



**GENERAL LEGEND**

- PLAT BOUNDARY
  - - - EXISTING PROPERTY LINE
  - PROPERTY LINE
  - - - SETBACKS
  - - - EASEMENTS
- DATE SURVEYED: 10/30/2015
- CORNERS FOUND:
- ▲ - SECTION CORNER (TYPE AS NOTED)
  - - BOUNDARY CORNER (UNLESS NOTED OTHERWISE)
- CORNERS SET:
- - BOUNDARY CORNER 1/2" REBAR OPC #19B2B
  - △ - SECTION CORNER 1/2" REBAR OPC #19B2B
- ABBREVIATIONS:
- ROW - RIGHT-OF-WAY
  - Bk, Pg - BOOK AND PAGE
  - (M) - MEASURED DISTANCE/ANGLE
  - (R) - RECORD DISTANCE/ANGLE
  - PUE - PUBLIC UTILITY EASEMENT
  - YPC - YELLOW PLASTIC CAP
  - OPC - ORANGE PLASTIC CAP
  - MPE - MINIMUM PROTECTION ELEVATION
  - (7638) - LOT ADDRESSES

CROSSHAVEN PLAT 7  
FINAL PLAT  
JOHNSTON, IOWA  
226053  
05/13/2016

REVISIONS  
07/13/2016  
07/20/2016

ENGINEER: C. SMITH  
DRAWN BY: D. GRATE

CHECKED BY: B. GEATER  
FIELD BOOK NO.:

DRAWING NO.: FP-07  
SHEET NO.: 06/08

Curve Table					
Curve #	Length	Radius	Delta	Chd B	Chd L
C69	15.01	285.00	3°01'01"	S85°09'04"E	15.01
C70	15.01	285.00	3°01'01"	S82°08'03"E	15.01
C71	632.11	449.50	80°34'22"	N49°45'13"E	581.30
C72	80.81	514.50	8°59'55"	S85°27'38"E	80.72
C73	372.16	226.50	94°08'32"	S33°53'24"E	331.89
C74	41.35	185.50	12°46'14"	S6°47'45"W	41.26
C75	23.67	15.00	90°24'39"	S44°47'40"E	21.29
C76	23.58	15.00	90°00'00"	S45°00'00"W	21.21
C77	45.80	205.50	12°46'14"	N6°47'45"E	45.71
C78	339.30	206.50	94°08'32"	N33°53'24"W	302.40
C79	77.56	494.50	8°59'55"	N85°27'38"W	77.59
C80	603.99	429.50	80°34'22"	S49°45'13"W	555.44

Line Table		
Line #	Direction	Length
L14	N80°31'58"W	34.74
L15	N80°31'58"W	21.08
L16	N8°55'52"W	172.03
L17	N82°40'32"E	20.01
L18	S8°55'52"E	178.13
L19	N6°21'26"E	217.79
L20	S83°38'34"E	30.00
L21	S6°21'26"W	217.79
L22	S8°28'02"W	14.50
L23	S80°31'58"E	235.94
L24	N8°28'02"E	206.23
L25	S89°57'38"E	107.49
L26	S80°57'40"E	35.88
L27	S0°24'38"W	152.66
L28	N90°00'00"E	19.28
L29	S0°00'00"E	20.00
L30	N90°00'00"W	19.82
L31	S0°24'39"W	108.16
L32	N89°35'22"W	20.00
L33	N0°24'38"E	310.93

Line Table		
Line #	Direction	Length
L34	N80°57'40"W	35.88
L35	N89°57'38"W	107.49
L36	S9°28'02"W	210.73
L37	S80°31'58"E	16.59
L38	S9°28'02"W	10.00
L39	N9°28'02"E	10.00
L40	N80°31'58"W	109.41
L41	N9°28'02"E	42.24
L42	N80°31'58"W	16.00
L43	S9°28'02"W	52.24
L44	N9°28'02"E	30.00
L45	N80°31'58"W	205.41
L46	S9°28'02"W	30.00
L47	S80°31'58"E	205.41
L48	N9°28'02"E	30.00
L49	N80°31'58"W	147.72
L50	N11°45'16"W	66.86
L51	S78°14'44"W	30.00
L52	S11°45'16"E	87.39
L53	S80°31'58"E	188.26

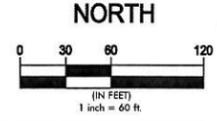
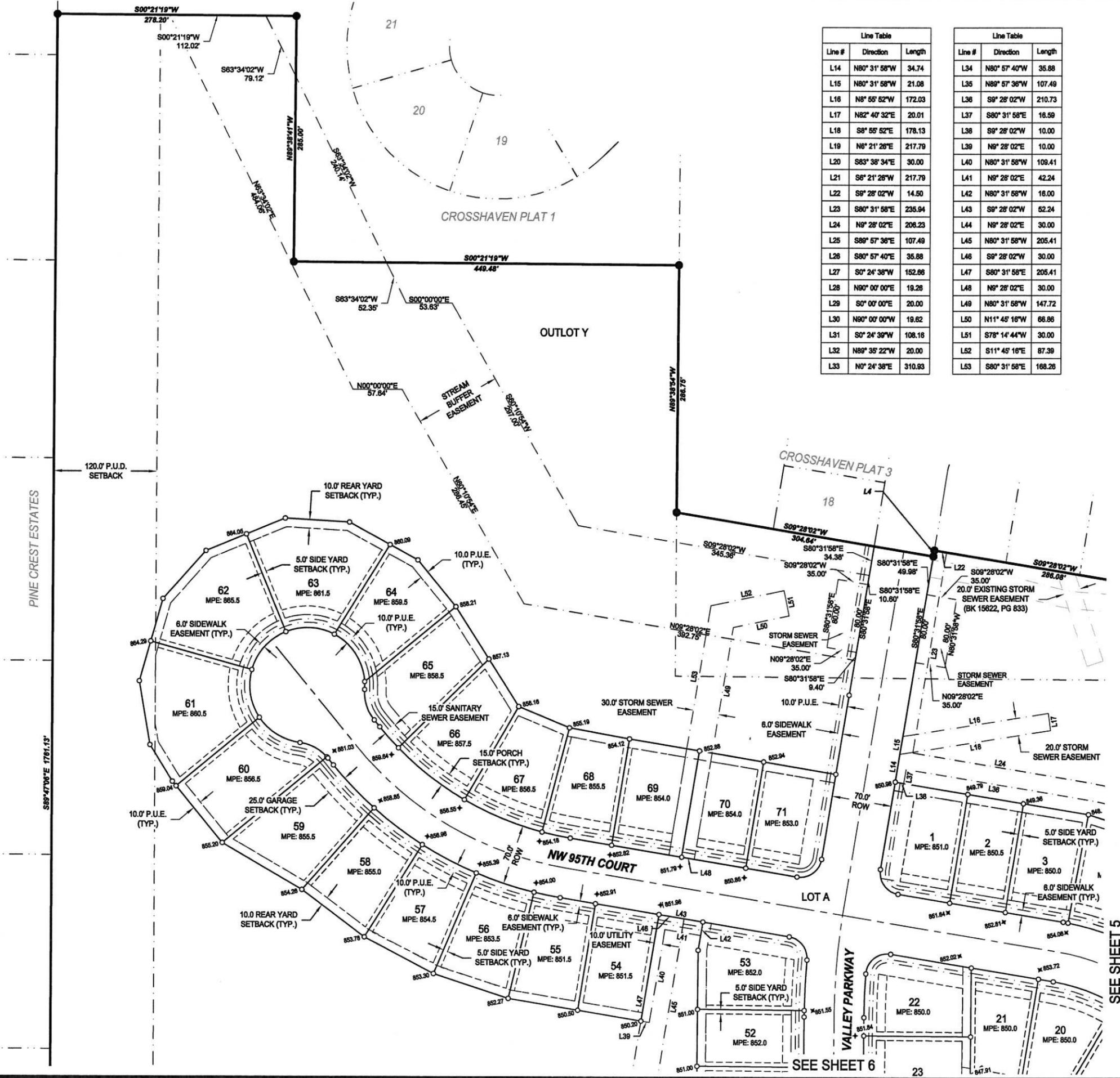


building strong communities.

1360 NW 121st Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:  
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.



GENERAL LEGEND	
	PLAT BOUNDARY
	EXISTING PROPERTY LINE
	PROPERTY LINE
	SETBACKS
	EASEMENTS
DATE SURVEYED: 10/30/2015	
CORNERS FOUND:	
	SECTION CORNER (TYPE AS NOTED)
	BOUNDARY CORNER (UNLESS NOTED OTHERWISE)
CORNERS SET:	
	BOUNDARY CORNER
	1/2" REBAR OPC #19B28
	SECTION CORNER
	1/2" REBAR OPC #19B28
ABBREVIATIONS:	
ROW	RIGHT-OF-WAY
BK, PG	BOOK AND PAGE
(M)	MEASURED DISTANCE/ANGLE
(R)	RECORD DISTANCE/ANGLE
PUE	PUBLIC UTILITY EASEMENT
YPC	YELLOW PLASTIC CAP
OPC	ORANGE PLASTIC CAP
MPE	MINIMUM PROTECTION ELEVATION
(7638)	LOT ADDRESSES

CROSSHAVEN PLAT 7  
FINAL PLAT  
JOHNSTON, IOWA  
226053  
05/13/2016  
REVISIONS:  
07/13/2016  
07/20/2016

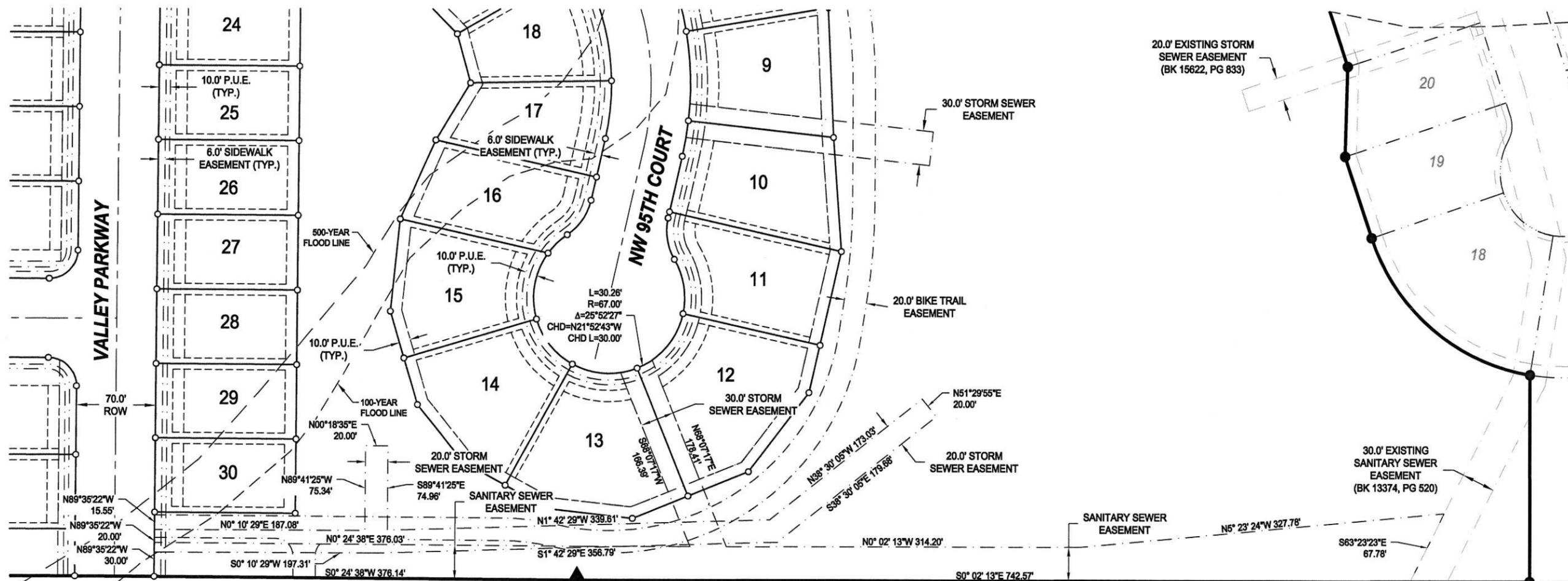
ENGINEER: C. SMITH  
DRAWN BY: D. GRATE  
CHECKED BY: B. GEATER  
FIELD BOOK NO.:  
DRAWING NO.: FP-07  
SHEET NO.: 07/08

building strong communities.

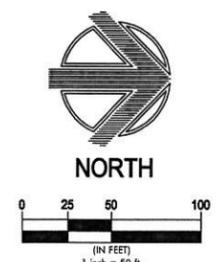
1360 NW 121ST. Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:  
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.



GENERAL LEGEND	
	PLAT BOUNDARY
	EXISTING PROPERTY LINE
	PROPERTY LINE
	SETBACKS
	EASEMENTS
DATE SURVEYED: 10/30/2015	
CORNERS FOUND:	
	SECTION CORNER (TYPE AS NOTED)
	BOUNDARY CORNER (UNLESS NOTED OTHERWISE)
CORNERS SET:	
	BOUNDARY CORNER 1/2" REBAR OPC #1982B
	SECTION CORNER 1/2" REBAR OPC #1982B
ABBREVIATIONS:	
ROW	RIGHT-OF-WAY
BK, PG	BOOK AND PAGE
(M)	MEASURED DISTANCE/ANGLE
(R)	RECORD DISTANCE/ANGLE
PUE	PUBLIC UTILITY EASEMENT
YPC	YELLOW PLASTIC CAP
OPC	ORANGE PLASTIC CAP
MPE	MINIMUM PROTECTION ELEVATION
(7638)	LOT ADDRESSES



CROSSHAVEN PLAT 7  
FINAL PLAT  
JOHNSTON, IOWA  
226053  
05/13/2016

REVISIONS  
07/13/2016  
07/20/2016

ENGINEER: C. SMITH  
DRAWN BY: D. GRATE  
CHECKED BY: B. GEATER  
FIELD BOOK NO.:  
DRAWING NO.: FP-07  
SHEET NO.: 08/08

**ORDINANCE NO. 782**

**AN ORDINANCE AMENDING THE JOHNSTON REVISED ORDINANCES OF 2007 BY AMENDING THE OFFICIAL ZONING MAP TO REZONE APPROXIMATELY 276.88 ACRES LOCATED EAST OF NW 100<sup>TH</sup> STREET AND NORTH OF THE PINE CREST ESTATES SUBDIVISION TO BE KNOWN AS CROSSHAVEN FROM AR TO PUD.**

WHEREAS, the Planning and Zoning Commission reviewed this item at their regular meeting on February 11, 2008 and recommends approval of PZ Case No. 07-52.

**NOW THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA THAT:**

**SECTION 1. PURPOSE.** The purpose of this ordinance is to change the Official Zoning Map of the City of Johnston, Iowa, under the provisions of Chapters 165 to 172 (Zoning Ordinance), and Section 166.02 (Zoning District Boundaries and Official Zoning Map) of the Johnston Municipal Code.

**SECTION 2. OFFICIAL ZONING MAP AMENDED FROM A-R AGRICULTURAL RESERVE TO PUD.** The following legally defined property is hereby rezoned from A-R to PUD.

See attached Exhibit "A"

**SECTION 3. MASTER PLAN PROVISIONS.** In accordance with Section 168.11(3) adopted herewith is the PUD Master Plan for the above-described area being rezoned to Planned Unit Development consisting of the following development policies:

1) General Provisions:

- a) PUD Master Plan: The plan for Crosshaven as prepared by McClure Engineering and dated April 11, 2008 is hereby adopted as the PUD Master Plan. The master plan and those additional guidelines as identified herein shall constitute the zoning requirements of the property.
- b) In the administration of these guidelines, any item not addressed specifically will be governed by the Johnston Municipal Code, including Chapters 165-172, Zoning Ordinance.
- c) The overall density of the entire subject property shall not exceed two point zero six (2.06) gross dwelling units per acre. Density of individual areas of the subject property may be higher or lower than this restriction provided the overall density does not exceed two point zero six (2.06) and the bulk requirements detailed in Section 3, Paragraph 5 of this agreement are met.

2) Traffic Provisions:

- a) Improvement to Adjacent Roadways: Pursuant to Chapter 180.42 of the Subdivision Regulations, the developer shall be responsible for their share of improvements to NW 100<sup>th</sup> Street to improve the roadway to a collector standard. Some or all of this

requirement may be met by the developers reconstruction of the NW 100<sup>th</sup> Street Bridge over Little Beaver Creek and reconstruction of NW 100<sup>th</sup> Street north of the bridge.

- b) Little Beaver Creek Bridge: Due to the condition and width of the NW 100<sup>th</sup> Street Bridge over Little Beaver Creek, no development shall be allowed on Tracts 9 to 12 until said bridge is reconstructed to current standards and NW 100<sup>th</sup> Street north of the bridge is reconstructed. As the City has no plans or need to reconstruct this bridge or replace the existing gravel roadway north of the bridge, due to the termination of NW 100<sup>th</sup> Street, said reconstruction shall be completed at the full expense of the developer. The City may assist with the acquisition of right of way, if necessary.
  - c) Intersection Improvements: The developer shall widen to a pavement width of thirty-seven (37) feet and a minimum right-of-way width of seventy (70) feet for turning lanes on Valley Parkway, NW 82<sup>nd</sup> Avenue and Camden Street as identified on the PUD Master Plan and other collector streets that intersect with NW 100<sup>th</sup> Street, as determined necessary during the platting process.
  - d) Access to NW 100<sup>th</sup> Street: No lots with frontage along NW 100<sup>th</sup> Street shall have vehicular access to NW 100<sup>th</sup> Street; all access shall be provided through the internal street system of the subdivision.
  - e) Street Right of Way and Widths: All streets shall be located within a minimum of sixty (60) feet of right of way, and be a minimum width of twenty-six (26) feet in width. Valley Parkway as defined on the PUD Master Plan shall be a minimum of thirty-one (31) feet in width and NW 82<sup>nd</sup> Avenue as defined on the PUD Master Plan and any other collector streets, as defined during the platting process, shall be a minimum of twenty-nine (29) feet in width. All streets shall have sidewalks on both sides of the street.
- 3) Utility Provisions:
- a) Water: The Developer shall construct the necessary water mains as required by the City's Subdivision Regulations. The Developers shall be responsible for the full cost of all eight (8) and twelve (12) inch diameter water mains, and shall install twelve (12) inch water mains where determined necessary by the City. Should a main larger than twelve (12) inches be required, the developer shall be eligible for reimbursement for a portion of the cost pursuant to the City's Oversized Water Main Reimbursement Policy.
  - b) Sanitary Sewer: The Developer shall construct the necessary sewer mains as required by the City's Subdivision Regulations, in the size and locations determined by the City, and connect all lots to the future public sanitary sewer system.
  - c) Little Beaver Creek Trunk Sewer: The City's utility master plan for this area identifies the need for a sanitary sewer trunk main running through the subject property adjacent to Little Beaver Creek. During the platting process, it shall be determined whether or not this trunk sewer can be incorporated into the subdivisions sanitary sewer system (i.e. installed to follow the street system). If the trunk sewer can be incorporated into the subdivision's sanitary sewer system, the developer shall install said trunk sewer with the development of the subject property. If it is determined the trunk sewer must be located immediately adjacent to Little Beaver Creek or if the trunk sewer needs to be significantly oversized to accommodate future extensions, the City shall construct the

trunk sewer and the developer shall provide any and all easements necessary for the construction and operation of said trunk sewer.

- d) Improvement Districts: At the time of the Final Plat, the Developer shall be responsible for payment of any assessments or connection fee districts, including but not limited to, water main and sanitary sewer connection fee districts.

4) Parks & Recreation Provisions:

1. The Developer shall dedicate at no cost to the City a minimum of three (3) acres of land for a park located in the general vicinity as shown on the PUD Master Plan. Said acreage shall be developable parkland, excluding drainage ways, streams, areas with extreme topography and wetlands. The intent of this park site is to provide neighborhood park facilities to the residents of this area of the City. This park site shall extend easterly to the eastern plat boundary, across Little Beaver Creek, to potentially allow for the expansion of this park.
2. The Developer shall construct and dedicate necessary easements/right of way for the pedestrian trail system as identified on the PUD Master Plan. This includes a 9' ACC or 8' PCC trail connecting from NW 100<sup>th</sup> Street/NW 78<sup>th</sup> Avenue easterly to the east boundary of the subject property in the vicinity of Valley Parkway as identified on the City's Comprehensive Plan. Upon installation, said trails shall be owned and maintained by the City.
3. Completion of the improvements required by Paragraphs 1 and 2 above shall satisfy the City's Parkland Dedication Requirements of Chapter 180.43 of the Subdivision Regulations.

5) Land Use Provisions: The property shall be developed utilizing the following bulk regulations:

- a) Tracts 1 through 11 shall be single family detached residential uses only and shall utilize the bulk requirements of the R-1(60) zoning district, except the following provisions shall apply:
  - i) The minimum lot area shall be 6,000 square feet.
  - ii) The minimum setbacks shall be as follows:
    - (a) Front Yard – 25 feet for the primary structure and garages; 15 feet for usable front porches. For the purposes of this PUD Master Plan, “usable front porches” shall be defined as follows:

A covered or uncovered floor, deck or platform, attached to the house and no more than one side of the porch shall be enclosed by a vertical wall, window or screened surface. The porch shall be large enough to accommodate traditional chairs and/or seating and shall not be heated or air-conditioned.
    - (b) Side Yard Setback – 5 feet
    - (c) Rear Yard Setback – 10 feet
  - iii) Covenants shall be established at the time of final platting which establish a minimum square footage requirement for any single family residential dwelling of 1,500 finished square feet.

- b) The gross density of Tracts 1 through 11 shall not exceed 1.77 dwelling units per acre.
  - c) Development within Tracts 1 through 8, the area south of Little Beaver Creek, shall be further regulated as follows:
    - iii) A minimum of fifty (50) percent of the area within Tracts 1 through 8 shall be maintained as open space, as defined in Section 3, Paragraph 7(a) of this Ordinance.
    - iv) No more than fifty (50) percent of all lots within Tracts 1 through 8 shall be less than sixty-five (65) feet in width.
    - v) Any lot which falls adjacent to the one hundred twenty (120) feet southern buffer or the eighty (80) feet western buffer shall be a minimum of 85 feet in width and 8500 square feet. All structures on said lots shall meet the required setbacks of Section 3, Paragraph 6(b) of this Ordinance.
    - vi) The gross density of Tracts 1 through 8 shall not exceed 1.66 dwelling units per acre.
  - d) Tract 12 may be used for single family detached residential uses (association homes) or single family attached residential uses (townhomes/bi-attached), provided the overall density of this tract shall not exceed six (6.0) units per acre. As identified on the PUD Master Plan, Tract 12 shall be located north of NW 82nd Avenue, as extended through the site. If this tract is developed as single family attached residential uses the bulk requirements of the R-3 zoning district. If Tract 12 is developed as single family detached association homes (detached townhomes), as shown on the PUD Master Plan, the following bulk requirements shall apply:
    - iii) The minimum lot with shall be forty-seven (47) feet and the minimum lot area shall be 5,200 square feet.
    - iv) Front Yard – 25 feet for the primary structure and garages; 15 feet for usable front porches.
    - v) Side Yard Setback – 5 feet
    - vi) Rear Yard Setback – 25 feet
  - e) Pursuant to Chapter 167.03 a clubhouse is an allowed accessory use within the subdivision subject to Site Plan review and approval. Should a clubhouse be proposed along NW 100th Street within Tract 6, as identified on the PUD Master Plan, said clubhouse shall meet all required setbacks and buffers, as described in Section 3, Paragraph 6(b)(ii) of this Ordinance. In addition, said clubhouse shall be oriented so that no parking lot shall be located between the clubhouse and NW 100th Street. If possible and practical, the primary means of vehicular traffic shall be from the internal streets within the subdivision and not NW 100th Street.
- 6) Buffers:
- a) Pursuant to Chapter 145.19 buffers shall be required along Little Beaver Creek and other streams/channels on the subject property.
  - b) Pursuant to the Northwest Area Sub Area Plan within the Comprehensive Plan, a buffer is required along the south boundary of the subject property and along the western boundary south of Valley Parkway adjacent to NW 100<sup>th</sup> Street, as follows:
    - i) South Property Boundary: Adjacent to the Pine Crest Estates subdivision, a continuous open space area shall be provided as shown on the PUD Master Plan. No structures shall be permitted within this open space area and no primary structure shall be located within one hundred twenty (120) feet of the south property line.

- ii) Western Property Boundary: Adjacent to the western property boundary a continuous open space shall be provided as shown on the PUD Master Plan. No structures shall be permitted within this open space area and no primary structures shall be located within eighty (80) feet of the NW 100th Street right of way. Said open space shall include a berm and the minimum landscaping required by Chapter 166.34 within a fifty foot landscape buffer. The height of this berm shall be maximized to ensure adequate screening exists between NW 100<sup>th</sup> Street and the buildable lots within the subdivision. The size and landscaping planting within the open space area shall be reviewed and approved with the Preliminary Plat(s) for the subject property, to ensure this requirement is met.
  - c) Pursuant to Chapter 166.34 a landscape buffer shall be provided between Tract 12 and all other adjacent tracts if this tract is developed as single family attached dwellings.
- 7) Conservation Subdivision Practices:
- a) The subject property shall be developed consistent with the principals of a “conservation subdivision” and shall incorporate innovative storm water management techniques. In exchange for the reduction in bulk requirements and lot sizes as outlined within this PUD, a minimum of forty (40) percent of the subject property must be maintained as open space. Such open space shall be established within outlots which shall be owned and maintained by a private homeowners association and have a permanent restriction prohibiting any development of the outlot areas, except for the development of trails and other park purposes. With the platting of each of these outlots, a detailed management plan shall be submitted to the City for review and approval. Such management plan shall detail the necessary ongoing short and long term maintenance needs for the areas and include evidence that the homeowner association is adequately funded to carry out the management plan.
  - b) Innovative Storm Water Management Techniques and Best Management Practices (BMP) shall be implemented within the PUD. All BMP’s shall be sized pursuant to the Water Quality Volume and designed pursuant to the Iowa Storm Water Management Manual as published by the Iowa Department of Natural Resources and the Center for Transportation Research and Education and subject to the review and approval of the City at the time of platting.
  - c) Public Improvements within the subject property shall be constructed in accordance with the Iowa Statewide Urban Design Standards and Specifications including the Johnston Supplemental Specifications, except as follows:
    - i) Ditches, bioswales, and open channel drainage ways will be allowed adjacent to public streets within the right of way in lieu of installation of storm sewer mains.
    - ii) Standard six (6) inch high curbs shall be provided on all public streets, in lieu of storm sewer intakes, driveways shall be designed to allow storm water drainage into open channels/ditches, where necessary and where driveways cannot accommodate the drainage additional curb cuts will be accepted.
    - iii) A storm sewer sump main does not need to be provided to each lot, provided an engineered onsite infiltration practice (French drain) is constructed on each lot.
    - iv) Storm water throughout the subject property shall be conveyed to the greatest extent possible through open channels and swales. Such areas shall be within the necessary easements to ensure the long term functionality of the drainage system.

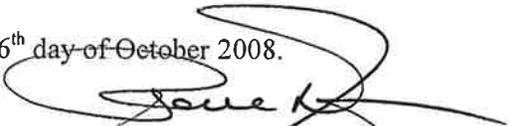
- v) All storm sewer culverts and pipe smaller than twelve (12) inches in diameter may HPDE pipe, all other culverts and pipe shall be RCP.
- vi) Water mains shall be located on the north and east sides of all streets and located in the back slope of the ditch/swale with shut offs extended to the center of the sidewalk.
- vii) Other exceptions not specifically listed may be allowed without amendment to this ordinance, if such exceptions are approved as part a Preliminary Plat or Construction Plans.

**SECTION 4. REPEALER.** All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

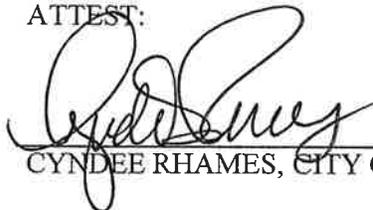
**SECTION 5. SEVERABILITY CLAUSE.** If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

**SECTION 6. WHEN EFFECTIVE.** This ordinance shall be in full effect from and after its final passage, approval, and publication as provided by law, and upon the filing of the annexation of this property with the Secretary of State.

Passed and approved by the Council the 6<sup>th</sup> day of October 2008.

  
 PAULA S. DIERENFELD, MAYOR

ATTEST:

  
 \_\_\_\_\_  
 CYNDEE RHAMES, CITY CLERK

1st Reading: April 21, 2008  
 2nd Reading: May 5, 2008  
 3rd Reading: *Oct. 6, 2008*  
 Passed: *October 6, 2008*  
 Signed: *October 6, 2008*  
 Published: *October 10, 2008*

ROLL CALL VOTE:	1st Reading		2nd Reading		3rd Reading	
	Aye	Nay	Aye	Nay	Aye	Nay
Clabaugh	X	_____	X	_____	✓	_____
Culbert	X	_____	X	_____	✓	_____
Hibbs	_____	X	_____	X	_____	✓
Kallen	X	_____	X	_____	✓	_____
Tingley	_____	X	_____	X	_____	✓

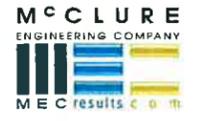
ORDINANCE NO. \_\_\_\_\_  
 RESOLUTION NO. \_\_\_\_\_  
 STATE OF OREGON  
 DATED \_\_\_\_\_

CITY OF JOHNSTON  
 COMMUNITY DEV. DEPT.  
 DATE REC'D: 4-11-08  
 CASE NO.: PZ 07-52



# Crosshaven PUD Layout

- |   |  |
|---|--|
|  Association Home Living             |  Single Family - 60-Foot Wide Lot Minimum |
|  Open Space                          |  Single Family - 65-Foot Wide Lot Minimum |
|  Comprehensive Plan Building Setback |  Single Family - 75-Foot Wide Lot Minimum |
|  PUD 80-Foot Building Setback        |  Single Family - 85-Foot Wide Lot Minimum |



JOHNSTON CITY COUNCIL  
 APPROVED  WITH CONDITIONS  
 DISAPPROVED   
 MEETING DATE 10-6-08  
 RESOLUTION NO. \_\_\_\_\_  
 ORDINANCE NO. 782

CITY OF JOHNSTON  
 COMMUNITY DEV. DEPT.  
 DATE REC'D: 4-11-08  
 CASE NO.: PZ 07-52

**McCLURE**  
 ENGINEERING COMPANY

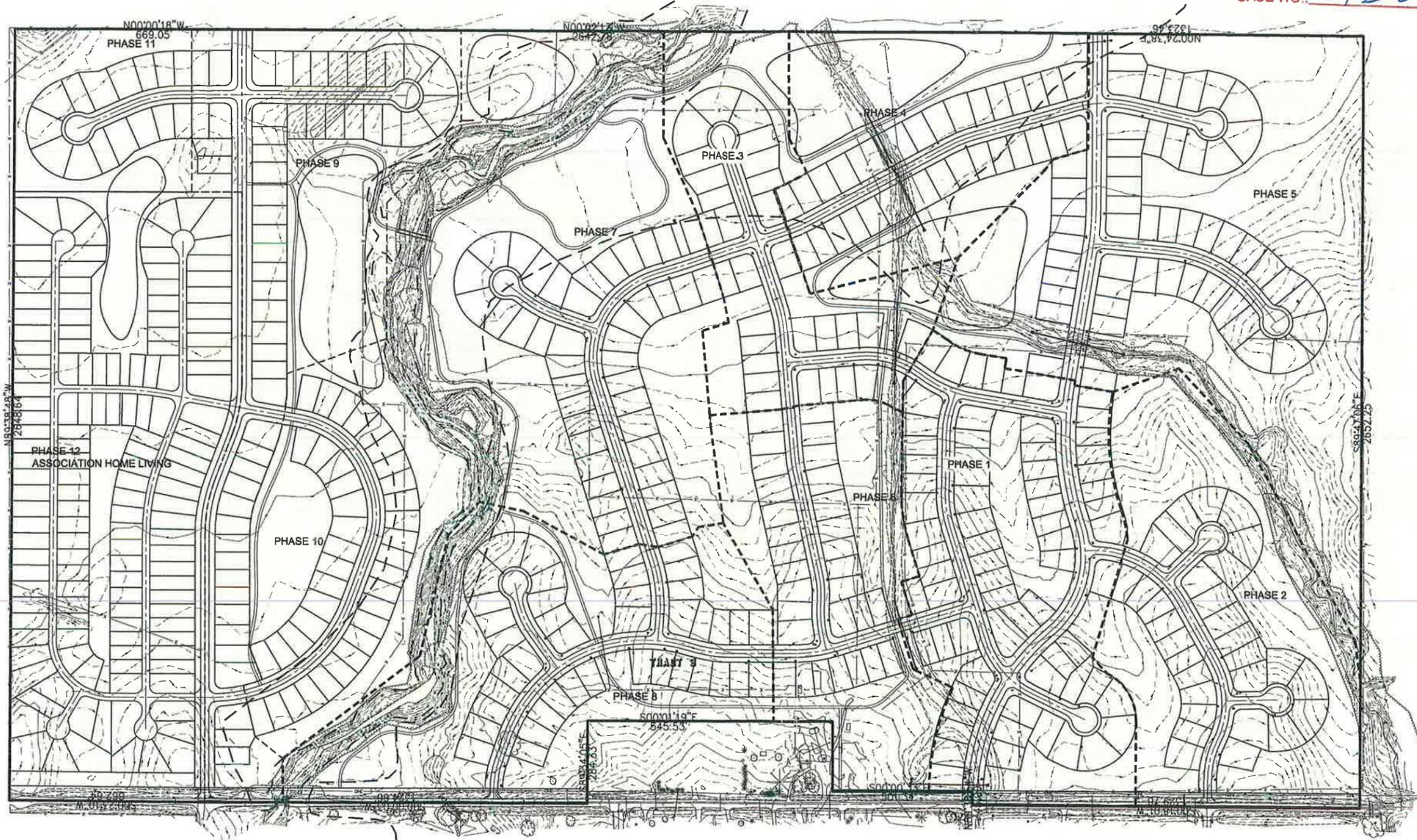


M E C results.c o m  
 705 First Avenue North  
 Fort Dodge, Iowa 50501  
 515-576-7155  
 fax 515-576-4235  
 8101 Birchwood Court, Suite D  
 Johnston, Iowa 50131  
 515-964-1229  
 fax 515-964-2370  
 1740 Linsinger Lane  
 North Liberty, Iowa 52317  
 319-626-9090  
 fax 319-626-9095

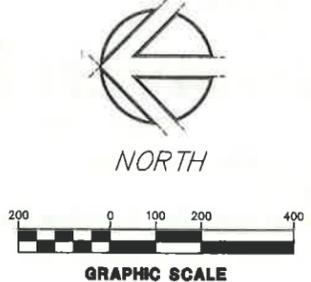
NOTICE:  
 McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:  
 Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproduction, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.

**PRELIMINARY**



**FLOODWAY -** - - - -  
**FLOODWAY FRINGE -** - - - -  
**(500 YR LEVEL)**



Smith Property PUD  
 Existing Boundary and  
 Site Conditions

Smith Property  
 Planned Unit  
 Development  
 Johnston, Iowa  
 226053  
 July 23, 2007

REVISIONS  
 August 2, 2007  
 January 24, 2008  
 January 31, 2008  
 April 9, 2008

ENGINEER **C. Smith** DRAWN BY **C. Schafbuch**  
 CHECKED BY **C. Smith** FIELD BOOK NO. **FIELDBOOK**  
 DRAWING NO. **PUD** SHEET NO. **01 / 01**