



PLANNING AND ZONING COMMISSION

Regular Meeting

Monday, June 13, 2016

Notice is hereby given that the **Planning and Zoning Commission** will hold a **Regular Meeting at 7:00 p.m. on Monday, June 13th, 2016**, in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road, Johnston, Iowa, to discuss the following business:

AGENDA:

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of Agenda**
- 4. Approval of Meeting Minutes:** Regular Meeting of May 31th, 2016
- 5. PZ Case No. 16-16; DSM Investment Partners, LLC Site Plans:** DSM Investment Partners, LLC has submitted site plans for the development of a 15,000 square foot building housing offices, warehouse facilities, and 2 rental spaces. The site is Lot 3 of Beaver Drive Business Park and Outlot YY of Beaver Pines Plat 2 located on NW 57th Avenue, just west of NW Beaver Drive. The site is zoned M-1, Light Industrial.
- 6. PZ Case No. 16-13; Hidden Valley Estates Zoning Map Amendment:** The property owner has requested a rezoning of 13.88 acres from A-R, Agricultural Reserve District to R-1(75), Single-Family Residential District. The property is located West of NW 100th Street and approximately 275 feet south of the Johnston City Limits.
- 7. PZ Case No. 16-15; Canterbury Woods Plat 2 Preliminary Plat:** The applicant, Canterbury Woods, L.L.C., is proposing to subdivide a 7.664-acre Outlot ZZ of Canterbury Woods Plat 1 into 3 single-family residential lots. The property is zoned R-1(75) with restrictions based upon a Development Agreement entered into as part of the rezoning of the property.
- 8. Other Business**
- 9. Adjournment**

Next Scheduled Regular Meeting: Monday, June 27th, 2016.

Posted on or before June 10th, 2016 at: Johnston City Hall, Johnston Public Library, Johnston Post Office, Johnston Public Works, Crown Point Community Center, and Johnston Website (<http://www.cityofjohnston.com/agendacenter>)



PLANNING & ZONING COMMISSION

City of Johnston
6221 Merle Hay Road, Johnston, IA 50131

Minutes
Regular Meeting: Monday, May 31, 2016

AGENDA

1. Call to Order

Substitute Chairman Johnson called the meeting to order at 7:05 p.m.

2. Roll Call

	Spencer	Severino	Johnson	Smith	Vacant	Petersma	Anderson
Present	X	X	X				X
Absent				X	X	X	

City Staff Present: Aaron Wolfe, Rebekah Davis

3. Approval of Agenda

Johnson called for a vote to approve the agenda.

	Spencer	Severino	Johnson	Smith	Vacant	Petersma	Anderson
Aye	X	X	X				X
Nay							
Abstain							

4. Approval of Meeting Minutes: Regular Meeting of May 9, 2016.

Roll Call Vote:

	Spencer	Severino	Johnson	Smith	Vacant	Petersma	Anderson
Aye	X	X	X				X
Nay							
Abstain							

5. PZ Case 14-16; White Oak Place Apartments Site Plan: The applicant, Windsor Apartments LLC, is seeking re-approval of the site plans for the White Oak Place Apartments on Lots 8 and 9 of Johnston Commerce Park Plat 2, east of NW 100th Street and north of White Oak Lane.

Wolfe presented the staff report.

Johnson noted from the initial approval of the site plan that he still has reservations about routing the trail through the center of the apartments. He inquired about an estimated 4 foot drop in elevation between the detention basin and the retaining wall adjacent to the trail. He requested that the applicant specify the distance from the edge of trail and the retaining wall.

Jaime Myers, Premier Real Estate Services, 2540 73rd Street, Urbandale, Iowa, the applicant could not specify distance the between the edge of trail and the retaining wall. However, he noted that the slope in elevation between the detention basin and the retaining wall is closer to 2 feet and that the detention basin would be deeper at the west end of the basin.

Myers noted the revisions made to the original site plan created more secure buildings for residents. He had revised the material used in the initially approved site plan from vinyl to hardiplank. He stated the changes reflect their desire to create a beautiful neighborhood.

Spencer inquired if the Board of Adjustments variance approval transferred with the property ownership. Wolfe affirmed.

Severino questioned if the prior negotiations with the neighbors would continue with to this site plan. Wolfe stated that all the neighbors concerns with the creating a buffer to the east and dividing the parking lot to the west have been addressed in this site plan.

Motion by Anderson, second by Spencer to approve PZ Case 14-16; White Oak Place Apartments Site Plan, subject to the following conditions:

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.

The Planning & Zoning Commission recommends approval of PZ Case 14-16; White Oak Place Apartments Site Plan, with the following conditions:

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.
2. Applicant shall furnish evidence of an approved Storm Water Pollution Prevention Plan, NPDES Permit #2, and Johnston Grading Permit prior to any ground disturbing activity on the site.
3. Payment of \$19,896.80 in satisfaction of Chapter 180.43 of the City of Johnston Code of Ordinances regarding parkland dedication is due with final plat or otherwise prior to issuance of a building permit.
4. Applicant submittal of a recorded stormwater maintenance management agreement for proposed stormwater management facilities.

The following items shall be amended on the Site Plan prior to issuance of a building permit:

5. Amend owner/applicant information to reflect current ownership.
6. Provide a recorded trail easement and furnish written permission from the school district approving the proposed trail connection on school district property.
7. Submit a revised photometric layout for paved areas only which indicates the installed position of all exterior lighting in accordance with City guidelines for site illumination established by Resolution 99-56.
8. Address comments 1, 2, 3, 4, 5, and 7 from Foth's review letter dated May 26, 2016.

Roll Call Vote:

	Spencer	Severino	Johnson	Smith	Vacant	Petersma	Anderson
Aye	X	X	X				X
Nay							
Abstain							

6. Other Business.

7. Adjournment

Meeting adjourned at 7:22 PM.

Chair

Secretary



Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT

Monday, June 13th, 2016

Subject: Consider making a recommendation on the site plans for DSM Investment Partners located at 4945 NW 57th Avenue (PZ Case 16-16).

SYNOPSIS:

DSM Investments, LLC has submitted site plans for the development of a 15,000 square foot building that would house an office area, warehouse facility, and two rental spaces. The property is located on NW 57th Avenue and west of NW Beaver Drive. The site is zoned M-1, Light Industrial, and is legally described as Lot 3 Beaver Business Park and Outlot YY Beaver Pines Plat 2.

RECOMMENDATION:

Staff recommends approval and provides the following motion for the commission’s consideration:

The Planning & Zoning Commission recommends approval of PZ Case 16-16, the Site Plans for 4945 NW 57th Avenue with the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. A Storm Water Pollution Prevention Plan, Evidence of NPDES Permit from the Iowa DNR and a City Grading Permit shall be provided prior to any ground disturbing activity on the site.
3. No exterior site lighting may be installed unless and until a photometric layout and manufacturer’s cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston’s site lighting requirements as established by Resolution 99-56 for staff review.
4. A Stormwater Management Facilities Maintenance Agreement shall be provided and accepted by the City Council prior to issuance of a building permit.
5. The glass curtain wall is an acceptable material to be used towards satisfaction of the 25% brick, architectural concrete, textured concrete block, architectural steel, or stone panel requirement of Chapter 166.32.E of the Johnston Code of Ordinances.
6. **The site plans must be amended and the following items shall be completed prior to the issuance of a building permit:**

- a. The engineer approval seal section on sheet 1 should indicate that sheets 1, 2, and 3 are covered by the engineers seal.
 - b. Correct the landscaping plan so the buffer and open space landscaping plant schedules match the landscape drawings.
 - c. The open space plant schedule shall indicate that 4 of the required open space trees shall be at minimum 2" to 2 ½" caliper diameter. The remaining 7 required open space trees shall be indicated to be at minimum 8 feet in height. Evergreens used to satisfy the minimum open space tree requirements shall not be less than 6 feet in height.
 - d. Address Foth's review letter dated June 9, 2016.
7. **The architectural elevations must be amended and the following items completed prior to the issuance of a building permit:**
- a. The combination of brick and glass curtain wall shall account for at minimum 25% of the south architectural elevation.

Attachments:

- Vicinity Map
- Site Plans, prepared by ABACI Consulting, Inc dated May 2016;
- Architectural Elevations for DSM Investment Partners;
- Development Review Comments by Staff dated May 24th, 2016;
- Development Review Comments by Foth Infrastructure & Environment, LLC dated June 9, 2016;
- Mailing List and Mailing Notice

PROPERTY OWNER:	Greedy Investments, LLC ATTN: Ted Greedy 6230 NW Beaver Drive Johnston, IA, 50131
APPLICANT:	DSM Investment Partners, LLC ATTN: Ted Greedy 6230 NW Beaver Drive Johnston, IA, 50131
REPRESENTATIVES:	ABACI Consulting, Inc. ATTN: Mark McMurphy 101 NE Circle Drive Grimes, IA, 50111
BACKGROUND & PRIOR APPROVALS:	This site was platted as Lot 3 Beaver Business Park on May 5 th , 2008 and Outlot YY Beaver Pines Plat 2 on August 19 th , 2013. No site plans have been approved for this site to date.
ZONING & BULK REQUIREMENTS:	<p>M-1, Light Industrial District. The M-1 District is intended to provide areas of the City suitable for activities and uses of a light industrial nature.</p> <p>Minimum Bulk Requirements for the subject lot are those of the M-1, Light Industrial District:</p> <p style="padding-left: 40px;">Front Setback: 50 feet Side yard: 10 feet Sum of both side yard setbacks: 20 feet Rear Yard: 50 feet</p> <p>As proposed all bulk regulations are met with this site.</p>
TRAFFIC ACCESS & CIRCULATION:	Access to the site will be from NW 57 th Avenue and a private access road on the north side of the property. NW 57 th Avenue is scheduled to be reconstructed in the future as part of the East of Merle Hay Road Capital Improvement Plan projects.
PEDISTRIAN CIRCULATION & SIDEWALKS:	A five-foot wide sidewalk is proposed to be constructed along NW 57 th Avenue with future NW 57 th Avenue street improvements. This sidewalk would connect to adjacent properties as they develop.
PARKING AND LOADING:	<p>Off-street parking and loading must meet the regulations found in Chapter 166.33.3.A.2 of the City of Johnston Code of Ordinances, which requires banks, businesses and professional offices have one parking space for each 200 square feet of gross floor area up to 5,000 square feet and one space for each 275 gross square feet thereafter.</p> <p>Off-street parking and loading must also meet the regulations found in</p>

Chapter 166.33.3.A.21 of the City of Johnston Code of Ordinances, which requires wholesale establishments or warehouses have one parking space for each person regularly employed on the premises and one space for each 2,000 square feet of floor area.

The building is 15,000 square feet in size, but the area for each use is only known for the east 10,000 square feet of the building. The remaining 5,000 square feet of the building is assumed to develop similarly to the east portion of the building. Based on this assumption staff presumes that the west 5,000 square feet will consist of the same proportion of office to warehouse and that the number of employees would be proportional to the known area. The following is the required parking for the site:

East 10,000 Square Feet

- 1,980 sq. ft. office / 200 = 10 spaces
- 8,020 sq. ft. warehouse / 2,000 = 4
- 1 parking space per employee = 10
- Total = 23 parking spaces

West 5,000 Square Feet

- 990 sq. ft. office / 200 = 5
- 4,010 sq. ft. warehouse / 2,000 = 2
- 1 parking space per employee = 5
- Total = 11 parking spaces

The total parking required for this site is 36 parking spaces. The site plan is in compliance with 37 parking spaces. An additional 12 parking spaces are shown as future parking. In addition, ADA requirements are met with two accessible stalls provided.

Chapter 166.33.2 of the Johnston Code of Ordinances requires every building with a gross floor area of 10,000 square feet or more, which is occupied by warehouse or office uses, which require the receipt or distribution by vehicles of material or merchandise, there shall be at least one off-street loading area. For each 20,000 square feet thereafter there shall be an additional loading area.

The proposed building is 15,000 square feet. As such, the site is required to have one loading area. The site plans and architectural elevations show four loading areas will be located on the north side of the building.

PUBLIC UTILITIES:

An 8" water main is present along the south side of the private road on the north of this site. An 8" sanitary sewer main is present along the north side of the private street on the north of this site. Water and sewer services were previously stubbed to the lot and will continue to the site with 6" lines.

<p>FIRE PROTECTION:</p>	<p>Based on the size of the building it must be sprinkled for fire protection. The fire department sprinkler connection is indicated on the site plans on the north side of the building.</p> <p>A Knox box will also be required by the fire department for the building. The Knox box location is indicated on the north side of the building next to the sprinkler room.</p>
<p>FLOODPLAIN:</p>	<p>The site is not located within the 100-year floodplain.</p>
<p>DRAINAGE:</p>	<p>A stormwater basin is depicted at the west side of the lot. The basin is sized appropriately to capture stormwater from 5 and 10 year storm events and release at a pre-settlement level and is designed to encourage infiltration of smaller storm events.</p> <p>A second smaller detention basin is located on the north east corner of the property. The basin is sized appropriately to capture stormwater from 5 and 10 year storm events and release at a pre-settlement level and is designed to encourage infiltration of smaller storm events.</p> <p>Staff recommends a condition of approval requiring applicant to provide a recorded stormwater management maintenance agreement detailing a long-term maintenance schedule for both proposed stormwater basins and assigning responsibilities for such.</p>
<p>ARCHITECTURE:</p>	<p>Chapter 166.35.2.E prohibits the exclusive use of sheet metal as an exterior building material in M-1 Districts. Furthermore, the section requires any wall area facing and within 300 feet of a public thoroughfare shall be comprised of no less than 25% brick, architectural steel, architectural concrete panel, textured concrete block, or stone panels. For this site this would require that the south wall area be comprised of at least 25% of one of these materials. To determine the percentage of the wall area covered by the required material windows are removed from the total wall area. For this building the staff removed the windows and the glass curtain wall from the total wall area. As proposed only 13.8% of the wall area facing NW 57th Avenue is composed of brick.</p> <p>The applicant is requesting that the glass curtain wall on the east side of the building be considered as an acceptable material to be used towards satisfaction of the 25% requirement. The glass curtain wall is an architectural feature intended to be permanent. With the glass curtain wall and the brick combined the area of the south architectural elevation would be 23.9% of the total area minus non glass curtain wall windows.</p> <p>Staff recommends a condition of approval to accept the glass curtain wall as an acceptable material to be used towards satisfaction of the 25% brick, architectural concrete, textured concrete block, architectural steel, or stone panel requirement of Chapter 166.32.E of the Johnston Code of</p>

Ordinances.

Furthermore, staff recommends a condition of approval that the amount of brick or glass curtain wall be increased so that combined the two account for, at minimum, 25% of the south architectural elevation.

OPEN SPACE:

The site is required to have 18,713 square feet of open space. 37,195 square feet of open space is being provided prior to the future parking being installed. With the future parking installed the site would provide 35,447 square feet of open space.

LANDSCAPING:

For every 1,500 square feet of open space a tree is required and for every 1,000 square feet of open space a bush is required. The area of the buffer is removed from the total lot area for determining open space landscaping. For this site the following landscaping is required and provided:

	Required	Provided
Trees	11	25
<i>2" - 2 1/2" Caliper</i>	4	0
<i>8 - 10 feet in Height (6 feet for Evergreens)</i>	7	0
Shrubs	16	16

The open space planting schedule lists the sizes of the landscape at the time of planting. Proposed are more open space trees than are required, but the plant schedule and the drawings don't match. This does not impact compliance with city code, but the site plans should be amended to properly reflect what will be planted on the site. As proposed the open space landscaping does not meet the minimum sizes for landscaping at the time of planting though.

Staff recommends a condition of approval that the open space plant schedule indicate that 4 of the required open space trees shall be at minimum 2" to 2 1/2" caliper diameter. The remaining 7 required open space trees shall be at minimum 8 feet in height. Evergreens used to satisfy minimum the open space tree requirements shall not be less than 6 feet in height.

BUFFERS:

A 60 foot buffer is required between this property and the properties to the west. The buffer width is split between this property and the properties to the west. An alternative buffer was approved by the City Council with the preliminary plat of Beaver Pines Plat 2. This buffer accounts for a six foot tall privacy fence that splits the buffer. The following is the required buffer landscaping and that which is provided:

	Required	Provided
Evergreens	3	2
Overstory Trees	3	3
Understory Trees	8	8

According to the buffer landscaping plant schedule there should be one additional species of evergreen tree to meet the evergreen requirement of the buffer. The landscaping drawing does not indicate this tree though. However, since more open space trees are being provided than are required and many are placed within the buffer area one of the evergreens counted towards open space plantings could count towards the buffer plantings. Staff recommends that the plant schedules be amended to reflect the landscape drawings.

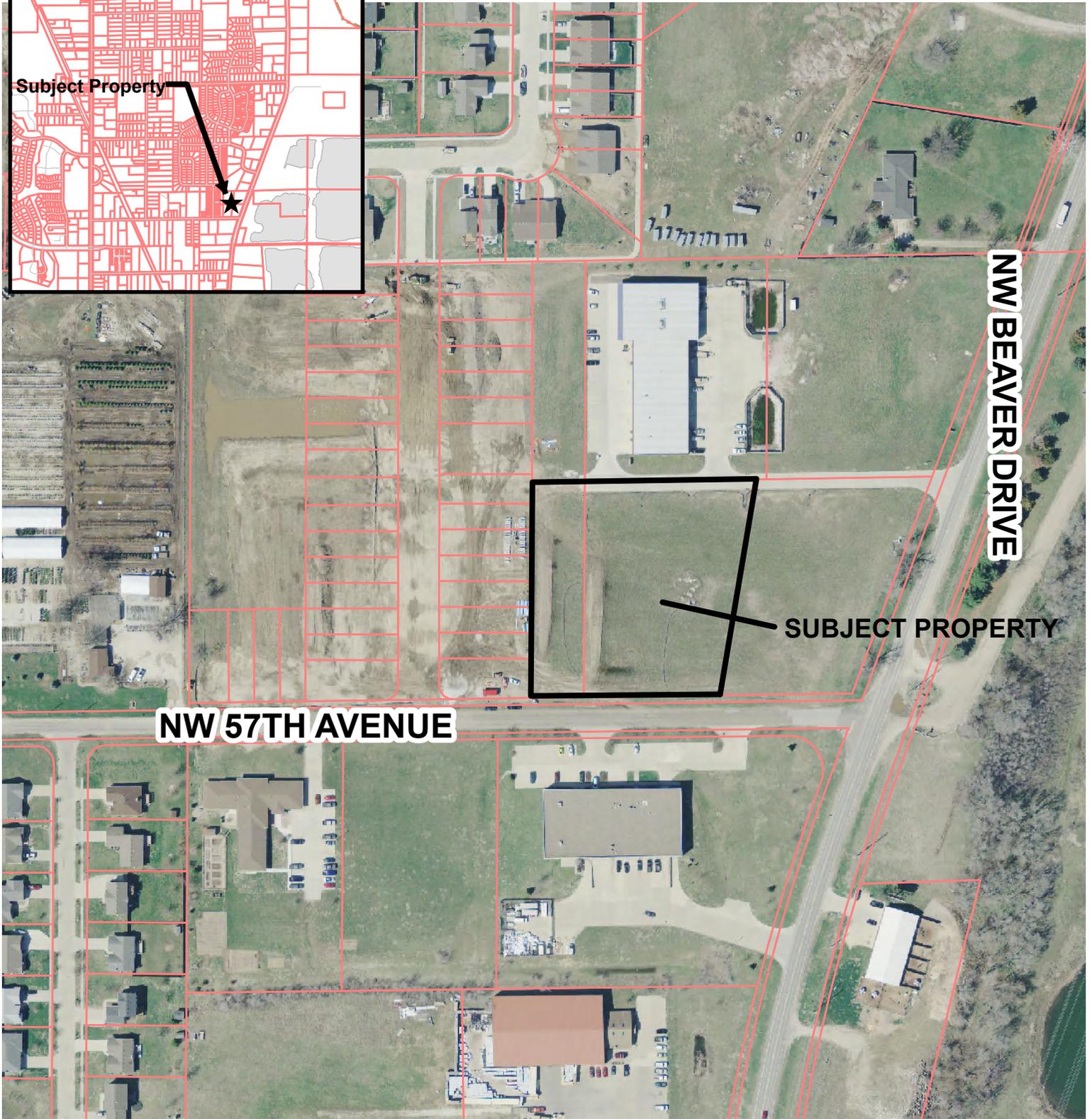
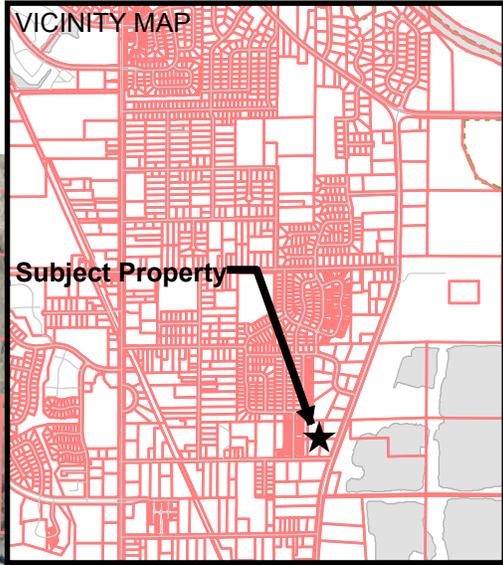
NPDES PERMIT: A SWPPP and NPDES Permit are required and must be approved by City Staff prior to issuance of a City Grading Permit and any ground disturbing activity.

SITE LIGHTING: No photometric layout has been submitted by the applicant. Staff recommends a condition of approval that no exterior site lighting may be installed unless and until a photometric layout and manufacturer’s cut sheets for proposed lighting have been submitted, reviewed, and approved in satisfaction of Johnston’s site lighting requirements as established by Resolution 99-56.

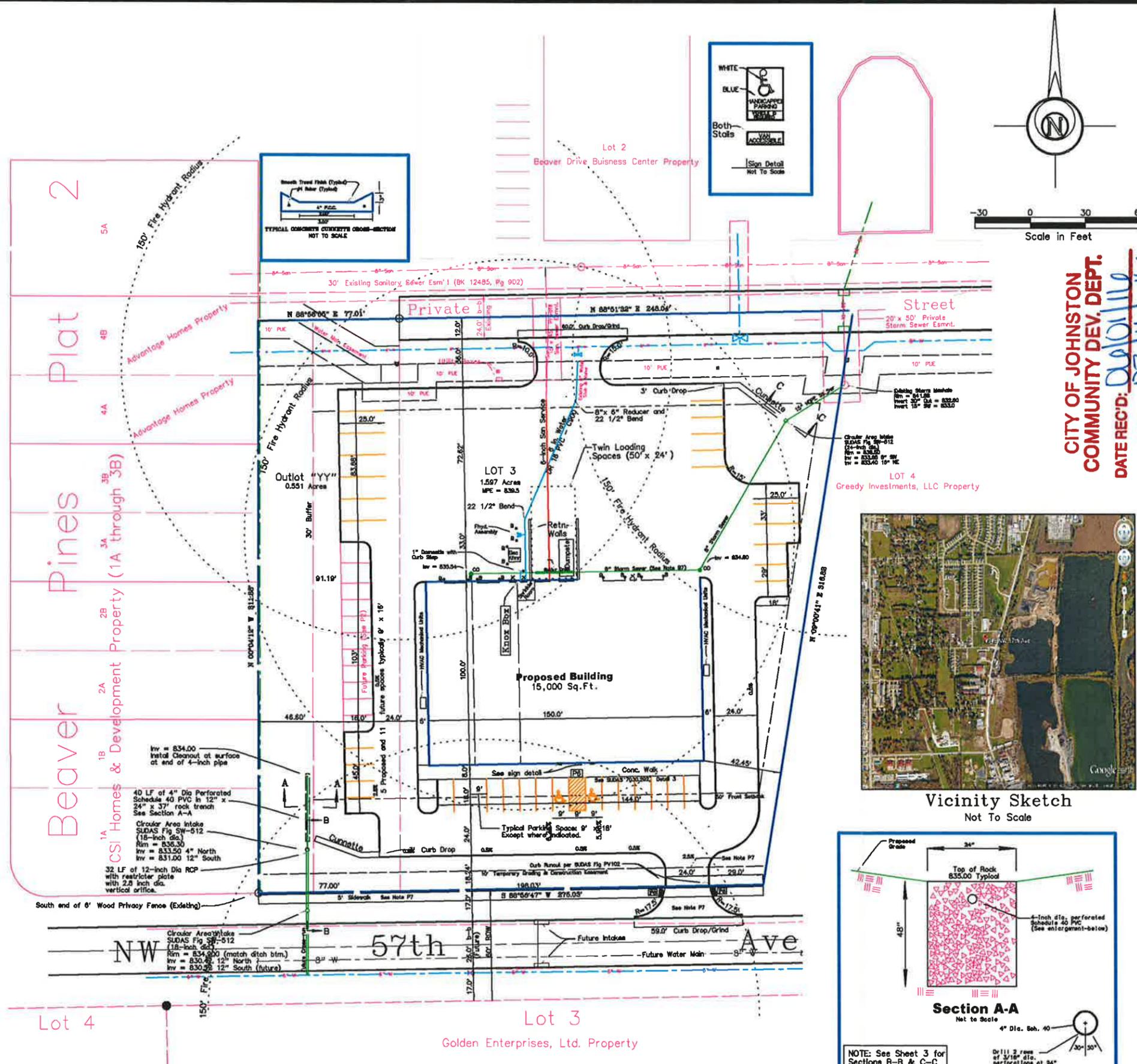
ADJACENT OWNER NOTICE: Notice was sent to the properties adjacent to this site to make them aware of the proposed development. A copy of the notice and mailing list are attached; as of publication of this report no comments have been received.

CONSULTANT COMMENTS: Foth Infrastructure & Environment, LLC has reviewed the Site Plan and offered comments in their June 9th, 2016 review letter. Staff recommends a condition of approval requiring all outstanding comments from Foth be addressed prior to the issuance of a building permit.

PZ CASE 16-16
DSM Investment Partner's, LLC Site Plan



Created by City of Johnston Department of Community Development
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033



LEGAL DESCRIPTION:
 Lot 3, Beaver Drive Business Park Plat 1, Official Plat and Outlot "YY", Beaver Pines Plat 2, Official Plat, all in the City of Johnston, Polk County, Iowa.

Said parcels contain 2.148 acres.
ZONING NOTES:
 Z1) The existing and proposed zoning is M-1 "Light Industrial"
 Z2) Bulk Regulations: Req'd. Proposed
 Front BSB 50' 68.24'
 Side BSB 10' 91.19' & 42.45'
 Rear BSB 50' 153.6'
 Open Space 20% (18,713 Sq. ft.) 40% (37,195 sq ft)/(w/ addnl pkg: 38%: 35,447 sq ft.)
 Max. Ht. 50' 22'

BUILDING NOTES:
 B1) The proposed building will be used as office and warehouse. The east one-third of the building will be offered for lease and tenant improvements constructed accordingly. It is presumed that the uses and build-out will be similar to that of the balance of the building.
 B2) For the east two-thirds of this building the largest workshift will have 9 employees, and a total of 10 employees will staff this site. It is assumed that the west third will have a proportionate number of employees. Therefore we can expect no more than 15 employees on site. One employee per will be a warehouse employee.
 B3) The building will be steel frame construction with a brick facade on the front.
 B4) The building will stand 19.08 feet at the rear eave with a 1/2 to 12 roof pitch. The peak of the roof will be 22 feet high at the front. See detailed architectural plans, by others, for additional information.
 B5) The building will have fire protection sprinklers.
 B6) The east two-thirds of the building will have 3,960 sq. ft. of office space and 8,020 sq. ft. of warehouse. Assuming similar and proportionate build-out of the west one-third yields 5,940 sq. ft. of office and 12,030 sq. ft. of warehouse.
 B7) The downspouts will be connected to the 8-inch diameter storm sewer along the rear of the building. The actual location of the proposed downspouts may vary from that shown. Refer to the detailed building plans for priority information.
 B8) Only building mounted exterior lighting is proposed. Cutoffs will be installed so that adjacent properties or right-of-ways shall not be directly illuminated.
 B9) A separate sign permit will be obtained for the any commercial signs.

PAVEMENT/PARKING NOTES:
 P1) The required parking is 1 space per each 200 sq ft of office plus 1 space per 2,000 sq ft of warehouse. We must add one space per warehouse worker. The total parking spaces required equals 25 for the east 10,000 square feet of the building. It is assumed that the west 5,000 square feet of the building will develop in similar fashion. Therefore the total projected parking required is 25 x 1.5 = 37.5 This includes 2 accessible spaces.
 P2) The proposed parking is 38 spaces (including 2 accessible spaces) and 11 additional future/optional parking spaces are provisioned.
 P3) The proposed pavement will be 6-inch thick PCC.
 P4) The proposed curbing will be standard 6" PCC except where 4-inch sloped curb is indicated.
 P5) The proposed pavement area is 41,574 square feet.
 P6) Install accessible ramps and truncated domes in accordance with SUDAS figure 7030.205 wherever a walkway transitions onto a parking lot, drive or street.
 P7) Northwest 57th Avenue is slated for reconstruction soon. Construction of the public sidewalk will be deferred and will be completed as part of that project. A construction joint shall be placed in the driveway at the ridge line 10 feet north of the right-of-way line (on the temporary construction easement line). That portion of the driveway south of this construction joint may be constructed of HMA or 4-inch thick PCC as it will be removed and replaced with the street improvements.

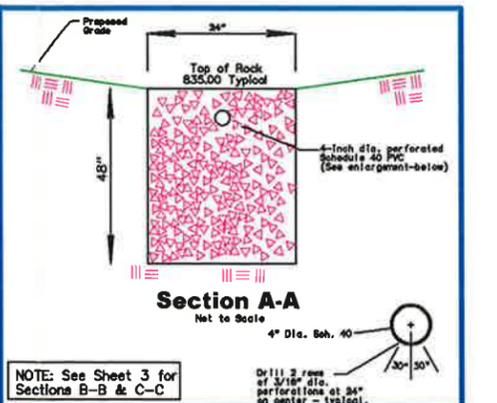
UTILITY NOTES:
 U1) The water supply is by the City of Johnston.
 U2) Sanitary Sewer service is by the City of Johnston.
 U3) Any disturbed tile lines or subsurface drains must be restored/rerouted.
 U4) The electric service is by MidAmerican Energy.
 U5) The natural gas service is by MidAmerican Energy.
 U6) The telephone service is by Century Link.

JURISDICTIONAL SPECIFIC NOTES:
 J1) All construction shall be in accordance with the 2014 Iowa Statewide Urban Standard Specifications for Public Improvements (SUDAS) and any City of Johnston Supplemental Specifications except where explicitly indicated otherwise.
 J2) Obtain permit or written approval from the City prior to commencing work within the right-of-ways. The contractor is responsible for any and all traffic control which shall be in accordance with the "Manual of Uniform Traffic Control Devices."

Owner/Developer: Greedy Investments, Inc.
 6230 NW Beaver Drive
 Johnston, Iowa 50131-1150
 Ph: 515-276-7812
 Fx: 515-276-7811
 e-mail: Buildingsinc@gmail.com
Engineer/Surveyor: Mark A. McMurphy, PE & PLS
 Abaci Consulting, Inc.
 101 NE Circle Drive
 Grimes, IA 50111
 Ph: 515-986-5048
 Fx: 515-986-0588
 e-mail: Mark@AbaciConsulting.com



Vicinity Sketch
 Not To Scale



NOTE: See Sheet 3 for Sections B-B & C-C

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Preliminary

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016.

ADDITIONAL PAGES COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE): Sheet 2 of 3.

CALL 48 HOURS BEFORE YOU DIG
 1-800-292-8989

NOTE: THIS SURVEY/ENGINEERING DOCUMENT WAS PREPARED FOR USE ON THIS PROJECT IN ACCORDANCE WITH THE CLIENT'S SCOPE OF WORK REQUIREMENTS. ABACI CONSULTING, INC. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THIS DRAWING (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID SCOPE OF WORK REQUIREMENTS.

UTILITIES SHOWN FOR REFERENCE ONLY. IOWA LAW REQUIRES AT LEAST 48 HOURS ADVANCE NOTICE BEFORE EXCAVATION BEGINS. NOTIFY IOWA ONE-CALL SERVICE PHONE 1-800-292-8989. ADDITIONALLY, THE CONTRACTOR SHALL ALSO NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION AND HAVE ANY AND ALL PRIVATE UTILITIES LOCATED.

ABACI CONSULTING, INC.
 CIVIL ENGINEERING - LAND SURVEYING
 101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048

STANDARD SYMBOLS LEGEND:

● IRON ROD FOUND	W-2 WATER MAIN	○ Proposed Spot Elevation (±)
○ 1/2" DIA. x 30" IRON PIN SET	⊕ GAS MAIN	— Proposed Contour
W/ #14@74 CAP	— UNDERGROUND ELECTRIC	— Drainage Direction
▲ SECTION CORNER MONUMENT FOUND	— OVERHEAD ELECTRIC	— Chain-set
▲ SECTION CORNER MONUMENT SET	— UNDERGROUND TELEPHONE	○ Bolard
— FENCE LINE	+/- MORE OR LESS	
CLF CHAIN LINK FENCE	M.P. MEASURED / PLATTED	

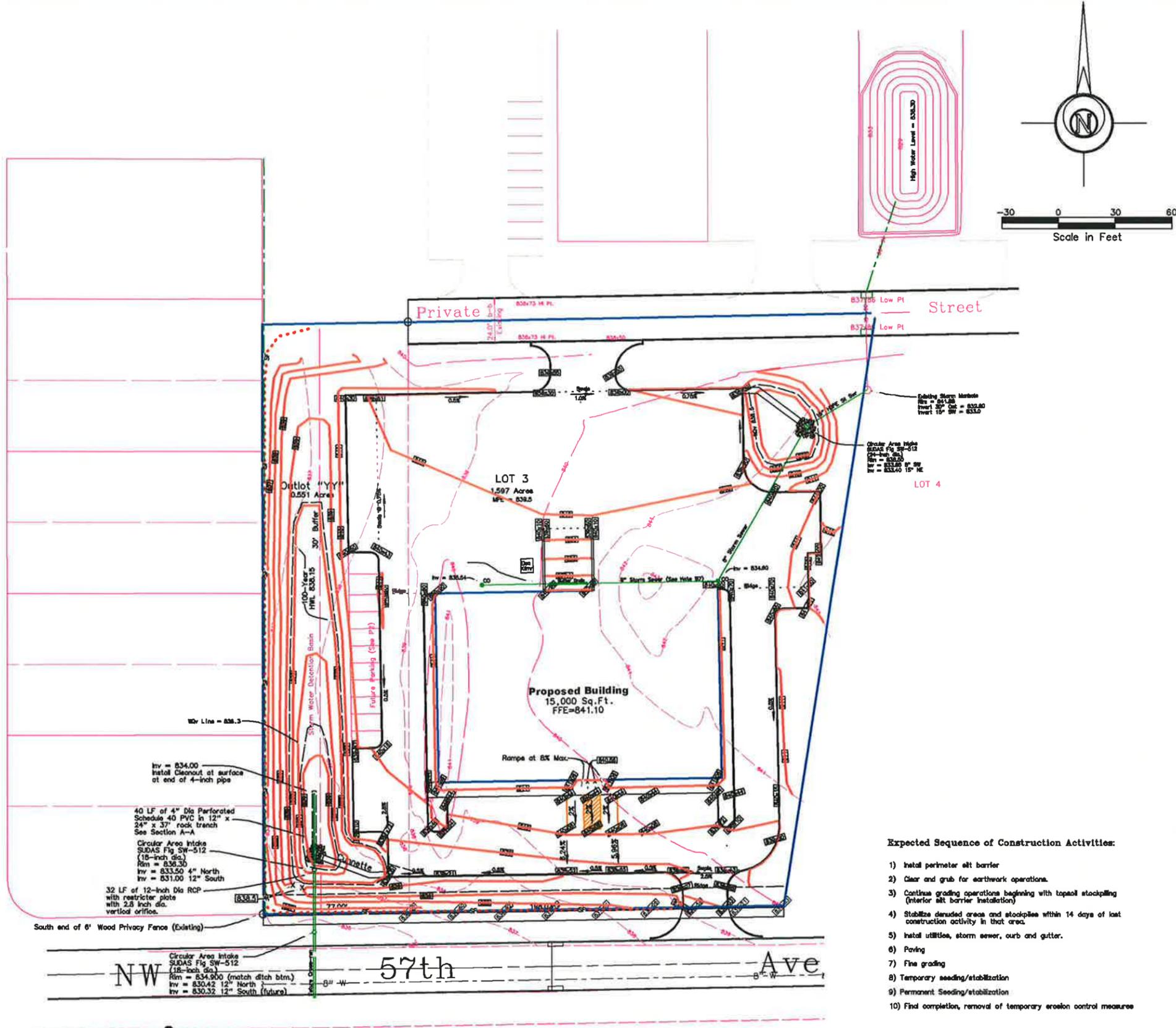
BENCHMARK: Storm Sewer Manhole Rim at NE Corner of this site. Elevation = 841.28

REVISIONS: 5/12/2016 First Submittal

Dimension Plan @ 4945 NW 57th Ave
 for
DSM Investment Partners, LLC

SCALE: AS SHOWN UNLESS SPECIFIED
 1 Inch = 30 Feet

DRAWN BY: MM
 CHECKED BY: MM
 DATE OF COPY: May, 2016
 SHEET NO: 16-00953
 SHEET 1 OF 3



GRADING NOTES:

- G1) The proposed spot elevations are top of slab (unless otherwise indicated).
- G2) The grading is balanced on site.
- G3) This site disturbs disturbs more than one acre. See the SWPPP prepared separately from this.
- G4) This site is in Zone "X" per FEMA FIRM map community-panel no. 190745-006D with a revision date of 07-19-2000.
- G5) Any dirt or debris spilled onto adjacent properties or right-of-way shall be cleaned up promptly.

Storm Water & Grading Notes:

- 1) The contractor is responsible for the protection of all utilities. Call Iowa One Call before digging 1-800-282-6868.
- 2) Strip topsoil in excavated and fill areas. Remove all vegetation and organic materials prior to placing and compacting the fill.
- 3) All cut and fill areas shall be maintained for proper drainage at all times.
- 4) All fill shall be placed in lifts no greater than 8 inches and compacted to a minimum of 95% of Standard Proctor unless otherwise specified in the construction plans. Obtain required compaction within a soil moisture content range of optimum moisture to 4 percentage points above optimum moisture.
- 5) The contractor is responsible for any and all materials testing required to assure compliance with the project specifications.
- 6) "Approved equal" means approved by both the City of Johnston and the Project Engineer.
- 7) In the event of a discrepancy between these specs. and the detailed construction drawings, the detailed construction drawings shall govern.
- 8) Any cohesionless soils encountered shall be compacted to 95% of Standard Proctor beneath pavements and critical backfill areas.
- 9) Proof-roll the pavement subgrade prior to placing pavement. Remove and replace any unsuitable soils to a depth of 2 feet.
- 10) Maintain moisture content of pavement subgrade soils consisting of clays/silts between 0 and 4 percentage points above optimum until the pavement is placed.
- 11) Curb backfill shall be compacted and sloped to provide adequate drainage and preventing water from ponding and infiltrating beneath the pavement.
- 12) See the typical street cross-section for road grading on this sheet.
- 13) Disturb as little area as possible during grading procedures.
- 14) Stockpile all stripped topsoil and all excess cut in the area shown on this plan (or in a suitable location). Strip a minimum of 8" of topsoil, respread over all disturbed areas after final grades are reached (except under pavement).
- 15) See the Storm Water Pollution Prevention Plan (SWPPP) for the initial erosion control measures.
- 16) Post development runoff will not adversely affect downstream properties or facilities.
- 17) It shall be the developer's responsibility to apply for and obtain any storm water discharge permits from the Iowa Department of Natural Resources.
- 18) Riprap shall be provided by the developer at the storm sewer outlets and at the detention basin outlet.
- 19) Detention for this site is provided by a detention basin located in the Southwest corner of this site.
- 20) The contractor and subcontractors must maintain proper erosion control throughout the entire project.
- 21) Site soil material must be retained on site by preventing erosion. This includes soil excavations for foundations on each respective lot.
- 22) Contractor must promptly remove all mud, soil and debris tracked onto city streets.

Site Notes:

- S1) The project is the development of a commercial building. This includes grading, utilities, paving, and building. The site is 2.148 acres of which all will be disturbed. The final runoff coefficient for the developed site is calculated to be 0.70.
- S2) The contractor shall protect adjoining properties from any damage resulting from the movement of soil or debris from the project site.
- S3) The contractor shall install silt fencing along the downstream perimeter of the site prior to any clearing or grading operations.
- S4) Preserve any existing vegetation until construction is necessary in that area.
- S5) Any proposed detention basins may be used as temporary siltation basins. The contractor shall remove excess sediment from the basin and ensure that final grades match the proposed grades. The contractor over-excavate as needed to ensure that silts do not plug or create a confining layer in the bottom of the basins which would restrict infiltration. The contractor shall manage the timing of the construction of the 24" x 40" rock trench to ensure silts do not plug/restrict the infiltrative properties of the trench.
- S6) Provide additional silt fence, silt basins, earth dikes, ditch checks, silt fence enclosures around intakes and flared end sections as needed for additional control.
- S7) Seed all areas (temporary or permanent) upon completion of final grading as soon as possible.
- S8) If construction activity is not planned to occur for at least 21 days in a disturbed area, stabilize with temporary erosion control within 14 days of ceasing work in the area.
- S9) The contractor is required to maintain all erosion control measures (temporary and permanent) and keep them in working order. Cleaning of siltation controls shall occur no later than when they have lost 50% of the capacity.
- S10) The project and erosion control devices shall be inspected every 7 days and within 48 hours of a half inch or greater rainfall or heavy snowfall. Record the findings of the inspection and take any actions necessary to ensure that the erosion control measures are working properly.
- S11) Final stabilization means the point at which all soil disturbing activities at the site have been completed, and a uniform permanent vegetative cover with a density of 70% of the cover for unimproved areas and areas not covered by permanent structures has been established or equivalent permanent stabilization measures (such as the use of riprap, gabions, or geotextiles) have been employed.
- S12) See SLDAS Standard Specifications Figure 9040.119 for silt fence details.
- S13) Staging area to contain job trailers, fueling locations, temporary sanitary facilities, materials storage, concrete washout area, etc. Control runoff with diversion berms or silt fence and direct towards the siltation basin.

General Notes:

- G1) The contractor shall comply with all erosion control requirements of the Iowa code, the Iowa Department of Natural Resources NPDES permit, the Environmental Protection Agency, and local ordinances.
- G2) It is the contractor's responsibility to take all the necessary measures to eliminate erosion from the project site and borrow or fill areas including the controls shown on this plan.
- G3) The contractor will not hold the Owner and Engineer responsible for any and all claims of any type whatsoever resulting from damages to adjoining properties including attorney fees.
- G4) All sediment or debris must be removed from adjoining properties promptly or the Owner will remove the items and deduct the cost from the amount due to the contractor.
- G5) This project requires that the Owner obtain a NPDES permit for storm water discharge (No. 2). The contractor is responsible for compliance with the permit including the SWPPP.
- G6) The SWPPP and all documents associated with it and the permit shall be kept onsite at all times and be available to present to the Iowa Department of Natural Resources upon request.
- G7) Upon final completion and stabilization of the site, a notice of discontinuance must be filed by the Owner. The Owner must retain all documents associated with the permit and SWPPP for three years.
- G8) The contractor shall provide all documents including the original and inspection records to the Owner upon issuance of the notice of discontinuance.

Expected Sequence of Construction Activities:

- 1) Install perimeter silt barrier
- 2) Clear and grub for earthwork operations.
- 3) Continue grading operations beginning with topsoil stockpiling (interior silt barrier installation)
- 4) Stabilize denuded areas and stockpiles within 14 days of last construction activity in that area.
- 5) Install utilities, storm sewer, curb and gutter.
- 6) Paving
- 7) Final grading
- 8) Temporary seeding/stabilization
- 9) Permanent seeding/stabilization
- 10) Final completion, removal of temporary erosion control measure

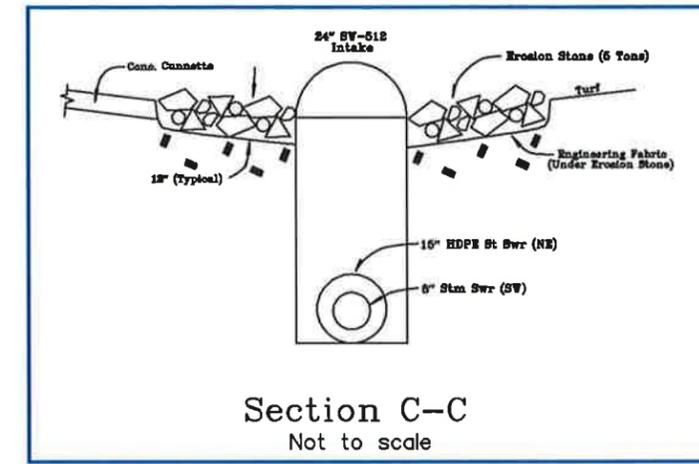
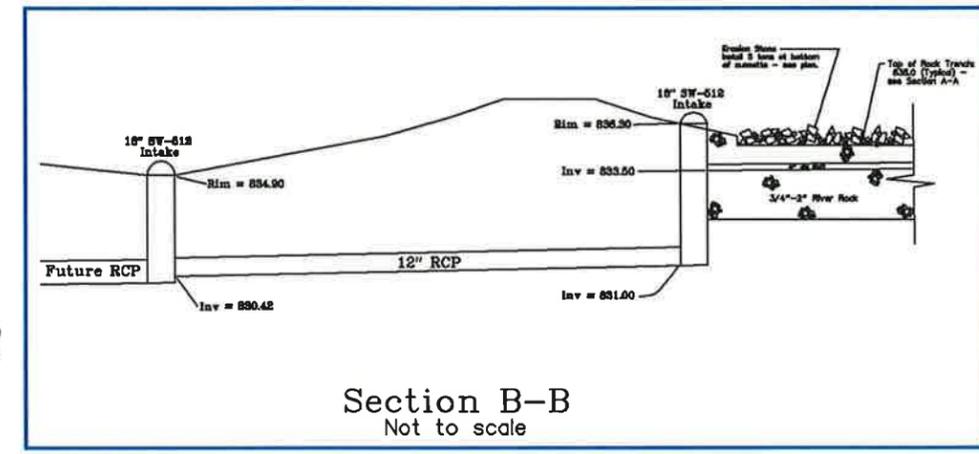
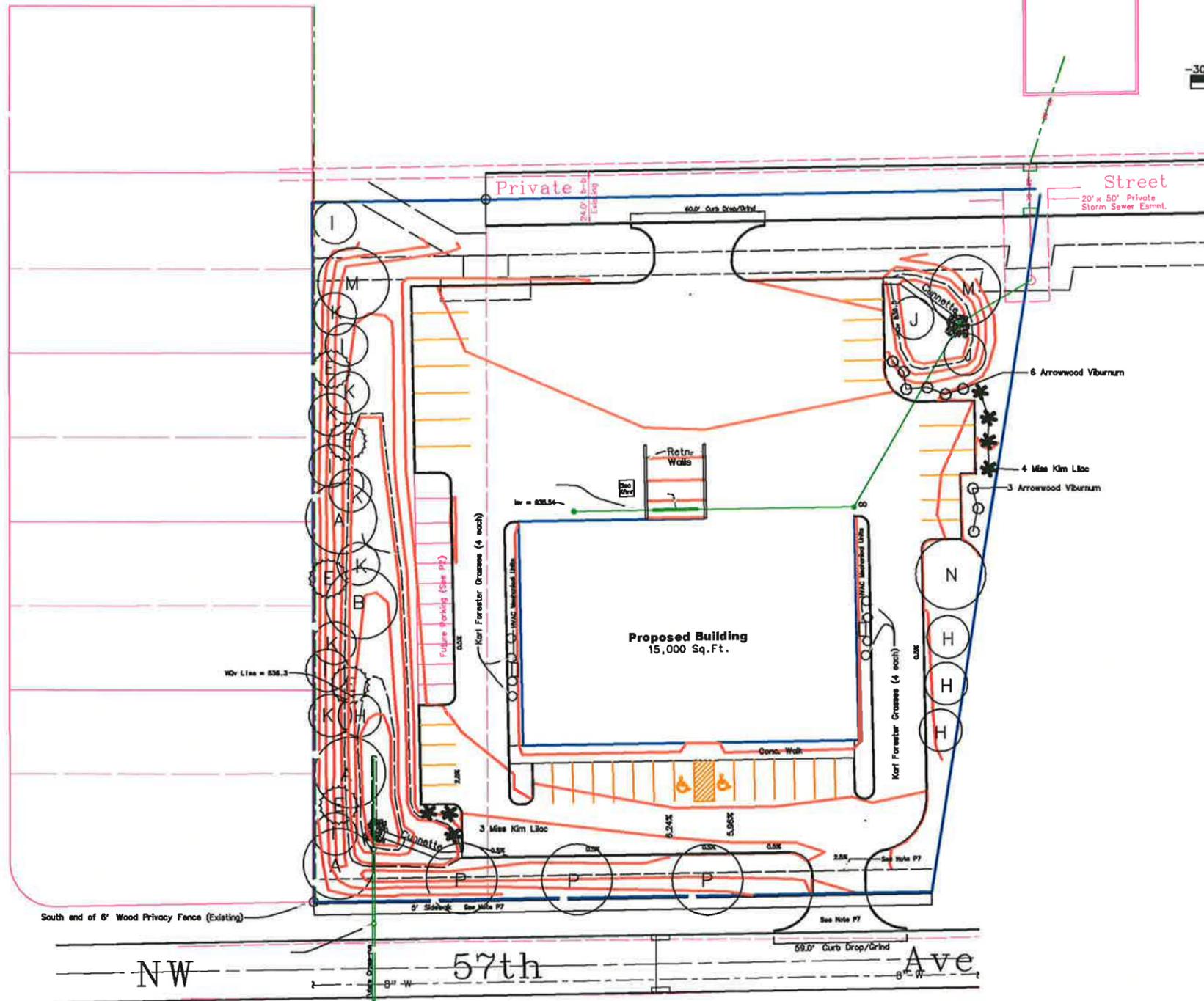
ABACI CONSULTING, INC.
 CIVIL ENGINEERING - LAND SURVEYING
 101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048

STANDARD SYMBOLS LEGEND:		BENCHMARK:	
● IRON ROD FOUND	—W— WATER MAIN	①	Proposed Spot Elevation (±)
○ 1/2" DIA. x 30" IRON PIN SET	—G— GAS MAIN	②	Proposed Contour
—w/ #14474 CAP	—USE— UNDERGROUND ELECTRIC	③	Drainage Direction
▲ SECTION CORNER MONUMENT FOUND	—OHE— OVERHEAD ELECTRIC	④	Outlet
△ SECTION CORNER MONUMENT SET	—UT— UNDERGROUND TELEPHONE	⑤	Bollard
— FENCE LINE	+/- MEASURED OR PLATTED	⑥	Silt Fence/Sock/Wattle
CLF CHAIN LINK FENCE			

BENCHMARK:
 Storm Sewer Manhole Rim at NE Corner of this site.
 Elevation = 841.83

REVISIONS:
 5/12/2016 First Submittal

Grading Plan @ 4945 NW 57th Ave
 for
DSM Investment Partners, LLC
 1 inch = 30 Feet
 May, 2016



Buffer Planting Schedule*

Key	Qty.	Common Name	Scientific Name	Size
A	1	Celebration Sugar Maple	Acer Freemanii "Celzam"	1 1/2 - 2" Cal.
B	1	Imperial Honey Locust	Gleditsia Tricanthos "Imperial"	1 1/2 - 2" Cal.
E	2	Colorado Blue Spruce	Picea Purpurea Glauca	5-6' Ht.
F	1	Black Hills Spruce	Picea Glauca Densata	5-6' Ht.
I	4	Royal Raindrops Crabapple	Malus "Royal Raindrops"	1 1/2 - 2" Cal.
K	4	Autumn Brilliance Serviceberry	Amelanchier Grandiflora "Autumn Brilliance"	5-6' Ht.
M	1	Bicolor Oak	Quercus Bicolor	1 1/2 - 2" Cal.

* These plants are provided in accordance with the approved buffer planting plan for Beaver Pines Plat 2. These will be placed in the veed 30 feet of this property.

Open Space Planting Schedule**

Key	Qty.	Common Name	Scientific Name	Size	Remarks
A	2	Celebration Sugar Maple	Acer Freemanii "Celzam"	1 1/2 - 2" Cal.	Located in the buffer.
E	3	Colorado Blue Spruce	Picea Purpurea Glauca	5-6' Ht.	Located in the buffer.
H	3	Supertyme Crabapple	Malus "Supertyme" Supertyme	1 1/2 - 2" Cal.	Not inside the buffer.
I	1	Supertyme Crabapple	Malus "Supertyme" Supertyme	1 1/2 - 2" Cal.	Located in the buffer.
J	1	Royal Raindrops Crabapple	Malus "Royal Raindrops"	1 1/2 - 2" Cal.	Not inside the buffer.
J	2	Royal Raindrops Crabapple	Malus "Royal Raindrops"	1 1/2 - 2" Cal.	Not inside the buffer.
K	7	Autumn Brilliance Serviceberry	Amelanchier Grandiflora "Autumn Brilliance"	5-6' Ht.	Located in the buffer.
M	1	Bicolor Oak	Quercus Bicolor	1 1/2 - 2" Cal.	Not inside the buffer.
M	2	Bicolor Oak	Quercus Bicolor	1 1/2 - 2" Cal.	Located in the buffer.
N	1	October Glory Maple	Acer Rubrum "October Glory"	1 1/2 - 2" Cal.	Not inside the buffer.
P	3	River Birch	Betula nigra	1 1/2 - 2" Cal.	Not inside the buffer.
P	7	Miss Kim Liliac	Syringa Pinnatifida "Miss Kim"	#5 Container	Not inside the buffer.
P	9	Arrowwood Viburnum	Viburnum dentatum	#5 Container	Not inside the buffer.

** These plants are provided to fulfill the open space planting requirements. Some of these plants may be positioned within the buffer area. If located in the buffer they are additional - above and beyond - to the approved buffer planting plan.

LANDSCAPING NOTES:

- L1) All disturbed/unpaved areas shall be seeded or sodded as soon as practical.
- L2) Only plants meeting American Standard for Nursery Stock(ANSI Z60.1-2004 or most current) shall be placed on this site.
- L3) See planting schedule for additional details/requirements.

ABACI CONSULTING, INC.
 CIVIL ENGINEERING - LAND SURVEYING
 101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048

STANDARD SYMBOLS LEGEND:

- IRON ROD FOUND
- 1/2" DIA. x 30" IRON PIN SET
- ▲ SECTION CORNER MONUMENT FOUND
- △ SECTION CORNER MONUMENT SET
- ✕ FENCE LINE
- CLF CHAIN LINK FENCE
- W-2 WATER MAIN
- G-1 GAS MAIN
- USE UNDERGROUND ELECTRIC
- OHE OVERHEAD ELECTRIC
- UGT UNDERGROUND TELEPHONE
- +/- MORE OR LESS
- M/P. MEASURED / PLATTED
- Proposed Spot Elevation (±)
- Proposed Contour
- Drainage Direction
- Open-cut
- Boleard

BENCHMARK:
 Storm Sewer Manhole Rim at NE Corner of this site.
 Elevation = 841.58

REVISIONS:
 5/12/2016 First Submittal

Landscaping Plan & Details @ 4945 NW 57th Ave
 for
DSM Investment Partners, LLC

SCALE: 1 inch = 30 Feet
 DRAWN BY: MM
 CHECKED BY: MM
 DATE OF COPY: May, 2016
 SHEET NO. 16-00653 Sheet 3 of 3



A01: Colored Elevations
 A02: Elevations
 A03: General Layout
 A04: 1st Floor Plans
 A05: 2nd Floor Plans
 A06: Enlarged Office Plans
 A07: Landscaping Plan

Metal Siding = Slate Gray
 Trim = Royal Blue
 Curtain Wall/Store Front = Clear Anaodized
 Glass: Clear with Low-E Color

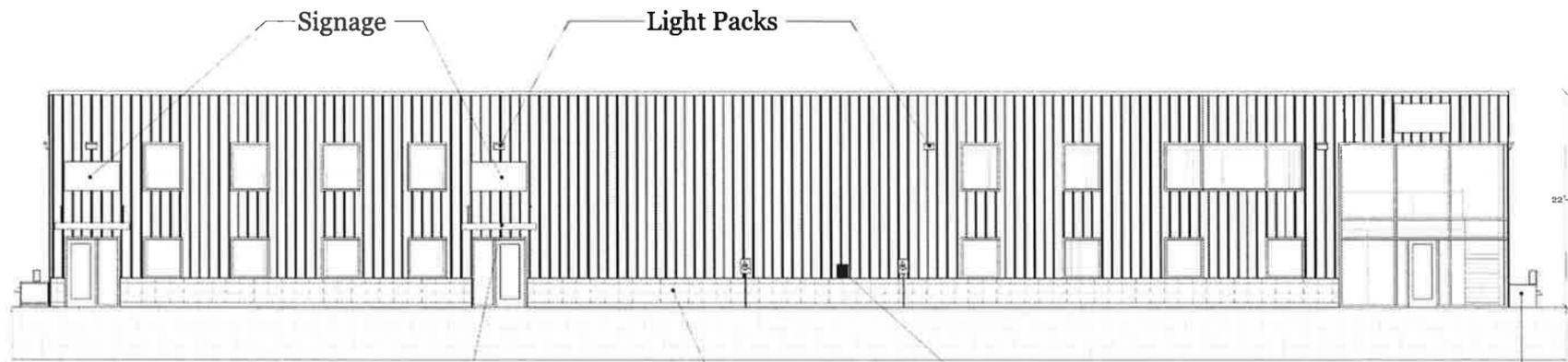
**CITY OF JOHNSTON
 COMMUNITY DEV. DEPT.**
 DATE REC'D: 05/25/16
 CASE NO.: PZ 16-16

DSM Investment Partners, LLC

Building Concept

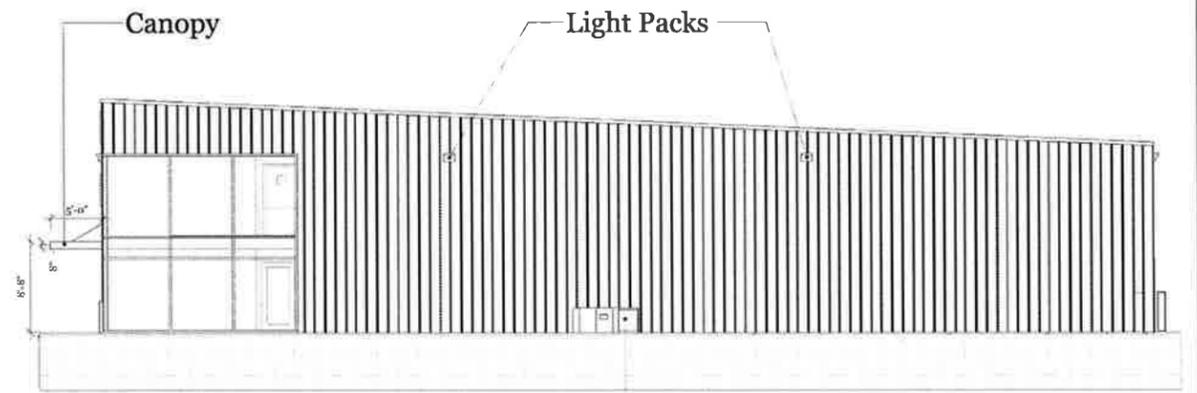
REVISIONS

NO.	DATE	REVISIONS	REMARKS
1	05/25/16	First Submittal	
2			
3			
4			
5			



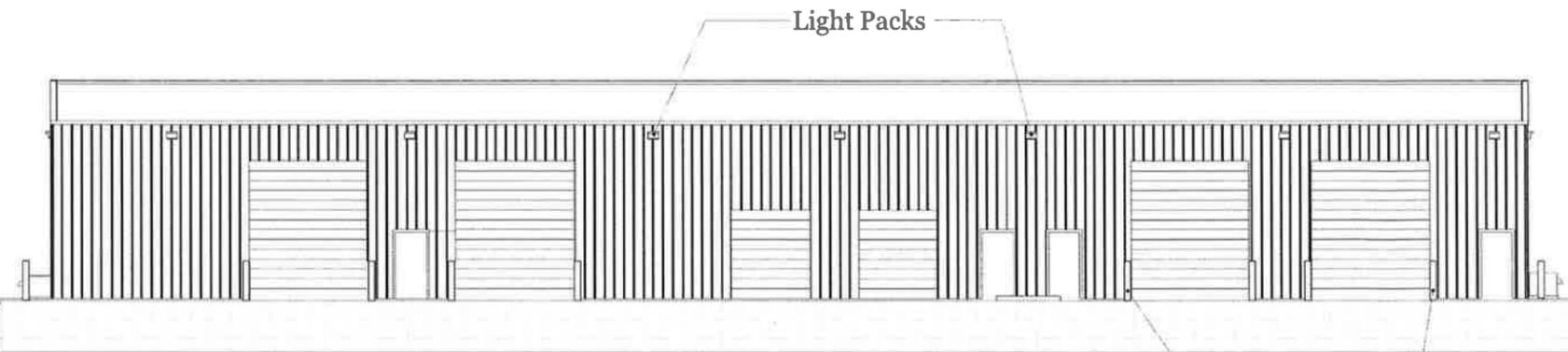
1
A02 South Elevation

Metal Siding = 2220.5 sqft
 Windows = 320.5 sqft
 Signage = 54 sqft
 Curtain Wall/Storefront = 355.5 sqft
 Brick = 364.5 sqft
 Canopies = 10 sqft
 Total Square Feet = 3325



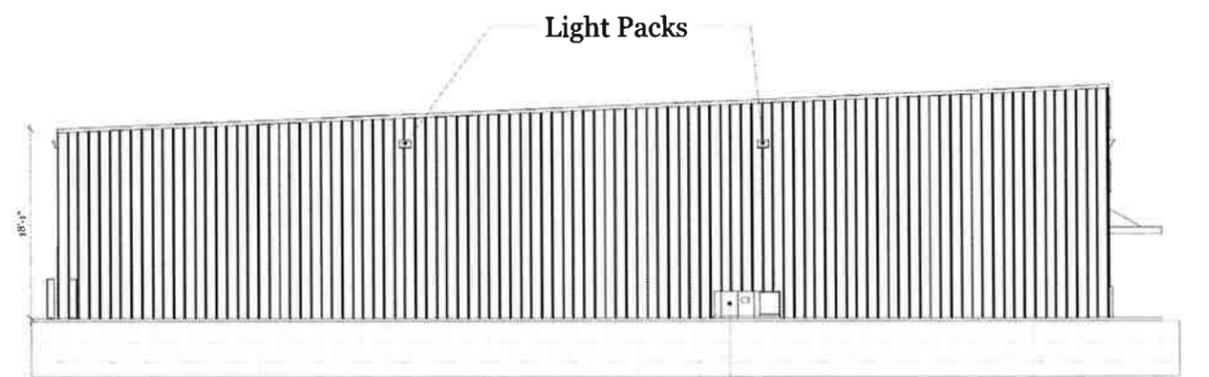
2
A02 East Elevation

Metal Siding = 1697 sqft
 Curtain Wall/Storefront = 314.5 sqft
 Total Square Feet = 2011.5



3
A03 North Elevation

Metal Siding = 1774.84 sqft
 Doors = 102.66 sqft
 Overhead Doors = 834 sqft
 Total Square Feet = 2711.5



4
A02 West Elevation

Metal Siding = 2012.5 sqft
 Total Square Feet = 2012.5

REVISIONS		REMARKS
1	05/12/16	First Submittal
2		
3		
4		
5		



1 South Elevation
A01 Slate Gray



2 East Elevation
A01 Slate Gray



3 North Elevation
A01 Slate Gray



4 West Elevation
A01 Slate Gray

Colored Elevations

DSM Investment Partners, LLC

Building Concept

REVISIONS		REMARKS
1	05/23/20	First Submittal
2		
3		
4		
5		

01

A



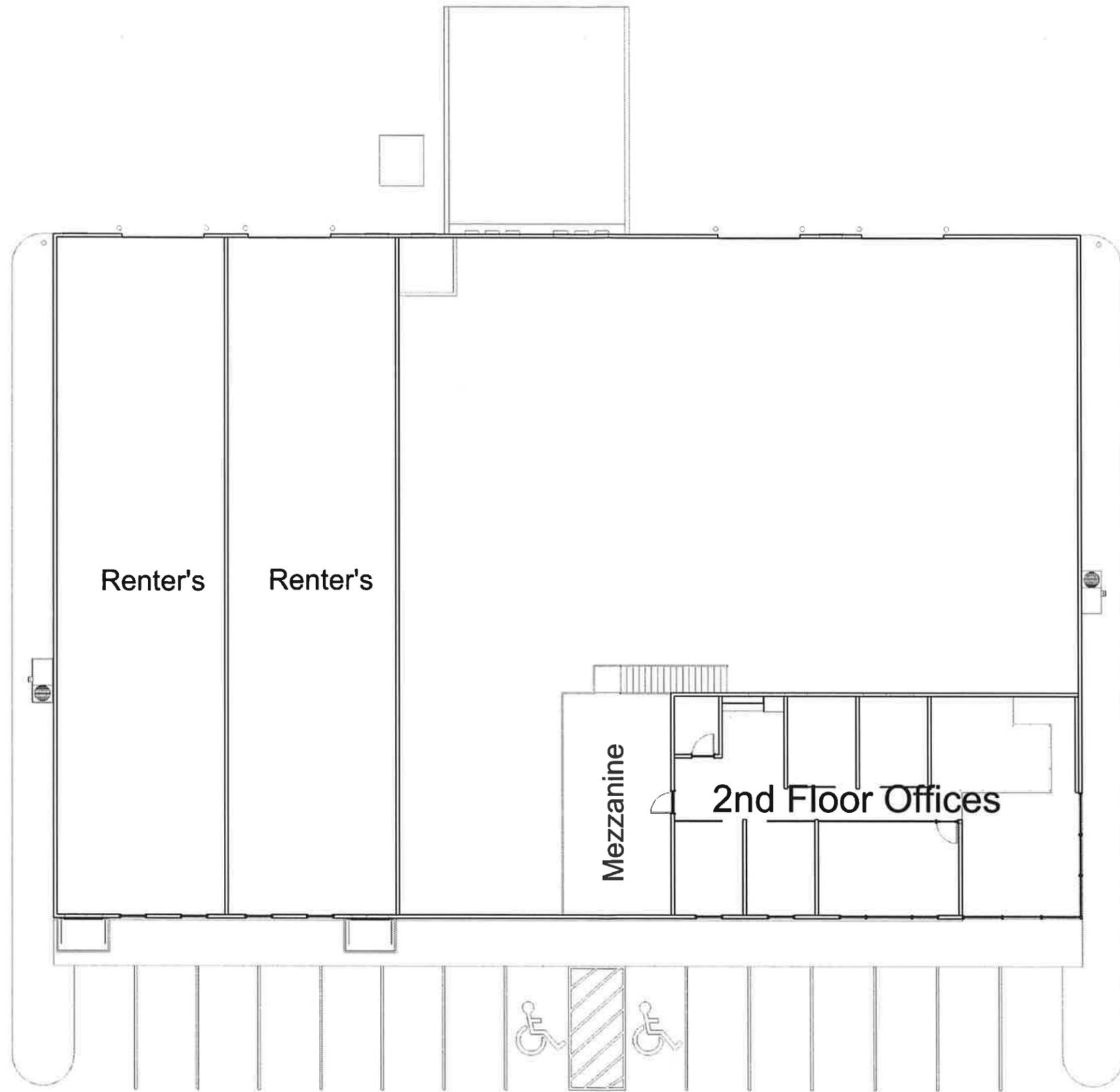
1st Floor Plans

DSM Investment Partners, LLC

Building Concept

REVISIONS

	DATE	REVISIONS	REMARKS
1	03/25/16		
2	05/12/16	First Submittal	
3			
4			
5			



2nd Floor Plans

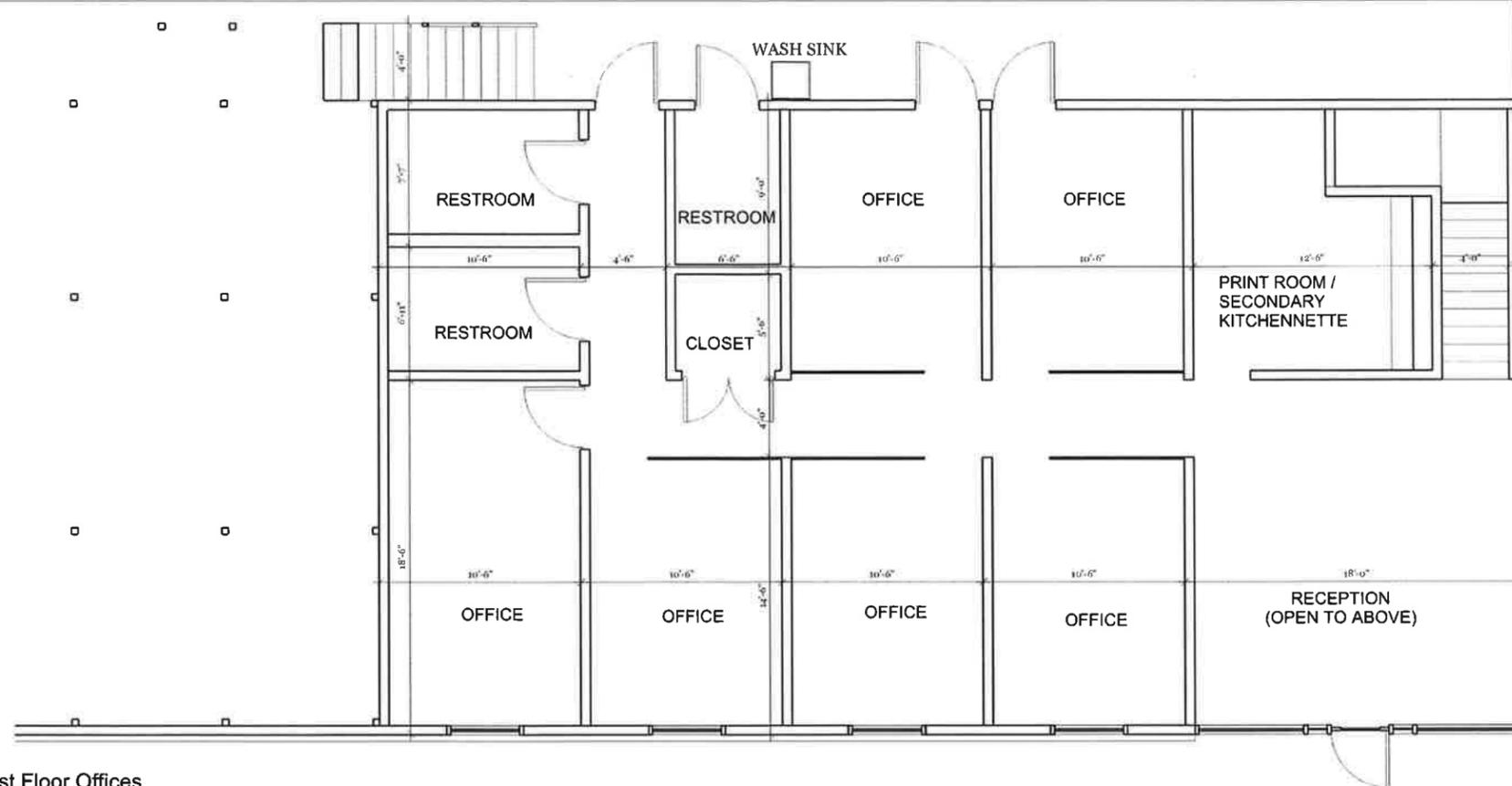
DSM Investment Partners, LLC

Building Concept

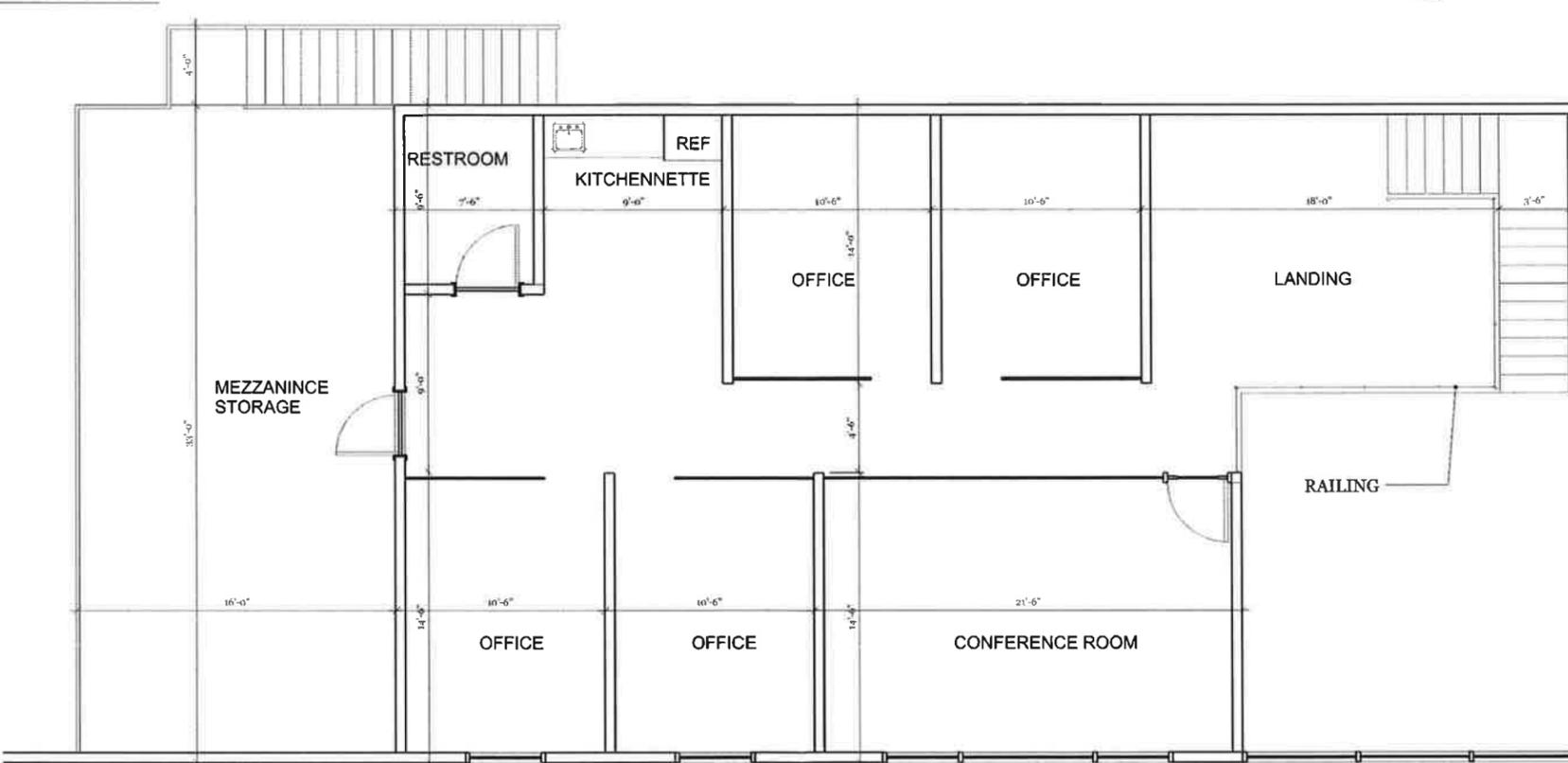
REVISIONS		REMARKS
1	02/25/16	First Submittal
2		
3		
4		
5		

05

A



1 1st Floor Offices
A06



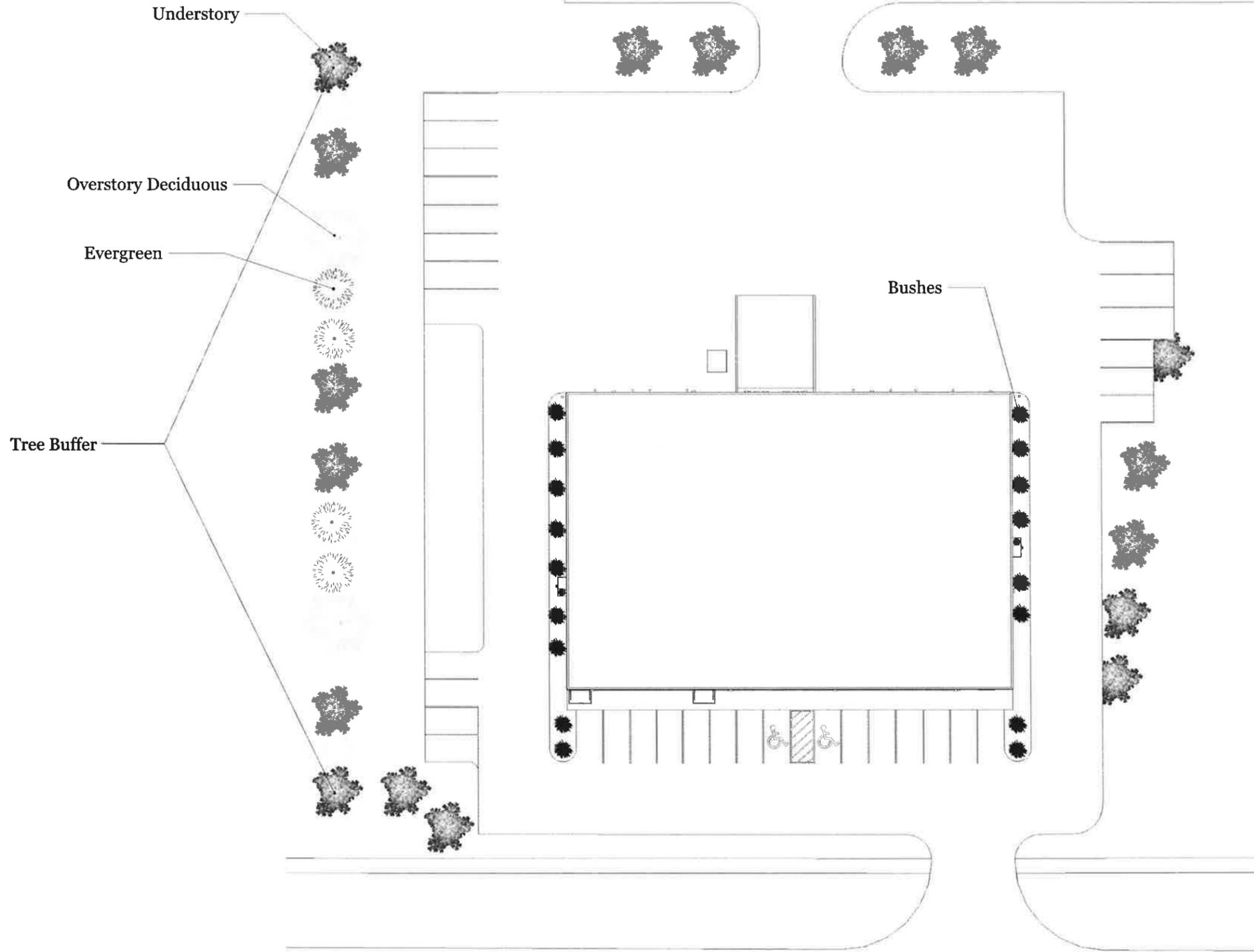
2 2nd Floor Offices
A06

Enlarged Office Plans

DSM Investment Partners, LLC

Building Concept

REVISIONS	
NO.	REMARKS
1	03/25/16 First Submittal
2	
3	
4	
5	



Landscape Plan

DSM Investment Partners, LLC

Building Concept

REVISIONS		REMARKS
1	05/25/16	First Submittal
2		
3		
4		
5		

07

A



MEMORANDUM

City of Johnston, Iowa

SENT VIA EMAIL

DATE: May 24th, 2016

TO: Ted Greedy, Greedy Investments, LLC
Mark McMurphy, ABACI Consulting, INC

FROM: Clayton Ender, Planning Intern

RE: DSM Investment Partners, LLC, 4945 NW 57th Ave

We have reviewed the proposed site plan for DSM Investment Partners, LLC, 4945 NW 57th Ave, and would note the following:

Sheet One

1. Note J1 should indicate that it will be 2014 SUDAS that is used.
2. Note B2 should include actual number of employees.
3. Note B4 states a roof pitch of 34:1. Is this supposed to be a pitch of 1:34?
4. A KNOX box will be required for emergency access. Indicate location on site plan.
5. The no parking area next to the handicap spaces needs to be a minimum of 8 feet in width. Please indicate the width of this area to verify ADA compliance.
6. One of the handicap accessible spaces must be signed van accessible.
7. All parking stalls, handicap included, must be a minimum of 9 feet in width and 18 feet in length; unless overhang over an open space is available (then the length may be 16 feet). Please identify the typical parking stall dimensions.
8. Required parking includes 1 parking space per person regularly employed in the warehouse space. This could increase the minimum required parking spaces.
9. The total parking required calculation in note P1 is incorrect. The required parking needs to include 1 parking space per employee for the warehouse use.
10. The site plans and architectural elevations appear to show loading docks on the North side of the building. These loading docks must be a minimum of 12 feet in width and 50 feet in length. If these areas are to be ground loading areas they must be at minimum 10 feet in width and 20 feet in length. Indicate the typical size of these loading dock areas.

Sheet Two

11. Note S1 states that the site is 20.25 acres. Please correct this note.
12. Note S5 is not needed.

Architectural Elevations

13. All HVAC units must be shown on the site plan and must be screened from view. If located on rooftop, elevation drawings should indicate rooftop systems and screening.
14. The South architectural elevation must consist of at least 25% brick, architectural concrete, textured concrete block, architectural steel, or stone panel. Currently this elevation only consists of 12% brick. The remaining materials do not count towards the 25% requirement.
15. Signage is by a separate permit, but staff would note:
 - a. Total building sign area may not exceed 5% of the total square footage of the south architectural elevation.
 - b. Sign area will be determined using Formula A which can be found in Chapter 170.05, Sign Area Formulas, in the Johnston Code of Ordinances.

General Comments

16. Indicate the required open space in square footage. Required open space is determined using the following formula:

$$92,566.88 \text{ SF (Total Lot Area)} \times 20\% = 18,713 \text{ SF (Total Required Open Space)}$$

17. The future parking cannot reduce the open space provided below the minimum required open space. Include a calculation for open space provided after future parking in addition to open space provided without future parking.
18. A 60 foot landscaped buffer between this property and the properties to the west is required. This buffer is split between the two properties (30 feet each) and would result in half of the buffer requirements being placed on this site. For every 100 feet in length of the required buffer the buffer shall consist of the following buffer requirements (These are half the requirements); 2 evergreen trees; 1 overstory deciduous trees; 3 understory trees and 12 shrubs. Include the buffer landscaping on a landscaping plan.
19. Open space landscaping is required and the required plantings is determined by using the following formula:

$$92,566.88 \text{ SF} - 9356.4 \text{ (Total Lot Area} - \text{Required Buffer Area)} \times 20\% = 16,642.096 \text{ SF (Required Open Space used to calculate required landscaping)}$$

Open space landscaping must consist of 1 tree per 1,500 square feet of the above calculation total and 1 shrub per 1,000 square feet of the above calculation total.

20. The applicant shall include 2 photometric plans for exterior lighting as an overlay on the proposed site: (1) entire site and (2) paved areas only. Include a written statement of percentages from initial to maintained foot-candle levels. Also include manufacturer's cut sheets for all proposed site lighting materials.
<http://cityofjohnston.com/index.aspx?NID=288>

21. All stormwater management facilities (swales, basins, bioretention, etc.) require a recorded maintenance agreement detailing the necessary ongoing maintenance of the facility. A template for this agreement may be found at <http://www.cityofjohnston.com/DocumentCenter/View/726>.
22. An executed NPDES Permit, full SWPPP and City Grading Permit will need to be provided for review a minimum of 10 days prior your anticipated start date for any ground disturbing activities. A city grading permit is available at <http://www.cityofjohnston.com/documentcenter/view/1412>. Review and approval must occur prior to work beginning.
23. A building permit and construction drawings will need to be provided for review a minimum of 14 days prior to your anticipated start date for building construction activities. Review and approval must occur prior to work beginning.
24. Please include a cover sheet to accompany revisions which lists corrections made to the site plan.
25. Please see additional comments on the site plan as provided by Foth Infrastructure and Environment, LLC and Johnston Public Works.

This project is scheduled for a development review meeting on Wednesday, May 25th, 2016 at 2:30p.m. Four full size copies of revised plans, four 11 x 17 inch reductions and a PDF version of all site plans and building elevations and two copies of any revised stormwater management reports must be submitted by Wednesday, June 1st, 2016 in order to proceed to the Planning and Zoning Commission on June 13th, 2016 and to the City Council on June 20th, 2016.

If you have any questions, please contact me at 727-7763 or by email at intern@cityofjohnston.com.

cc: File
Josh DeBower, Foth
Matt Greiner, Construction Inspector
David Wilwerding, Community Development Director
Aaron Wolfe, Senior Planner



June 9th, 2016

Aaron Wolfe, Senior Planner
City of Johnston, P.O. Box 410
6221 Merle Hay Road
Johnston, IA 50131

RE: DSM Investments Partners Site Plan for 4945 NW 57th Ave
Development Review 2
Case No. PZ 16-16

Foth Infrastructure and Environment, LLC has completed a review of the site plan received June 3rd, 2016 for the above referenced project. Based on our review, the following comments are offered:

SWMP

1. Include City of Johnston storm water summary page.
2. Include TC calculations for predeveloped conditions
3. Include existing conditions drainage area map.
4. Limit sheet flow length to 100' in proposed condition.
5. Unable to verify north calculation at lower portion of page 22.
6. Include HydroCAD pond summary to verify storage of pond SW detention.
7. Include full HydroCAD output to verify SW detention pond outlet structure.
8. Adjust CN value of water quality 1.25" storm following storm water management manual procedure.
9. Calculate water quality volume and on site treatment and include this information in site plan.
10. Grading plan shows high water level of existing pond. Verify proposed flows added to this pond will not alter this level.
11. Calculate flows of parking lot drainage flumes to verify 5 tons will be sufficient to reduce erosion.

Site Plan

Dimension Plan

12. Add FL of proposed sanitary service and add critical crossing elevations at water service crossing.
13. Note P4 specifies that 4" curb will be used where indicated, 4" curb is not indicated on plan.

Grading Plan

14. Provide top of curb and bottom of curb elevations at front entrance of the building to verify ramp and curb let down meets ADA requirements.

Please contact me at 515.251.2552 if you have questions or comments.

Sincerely,

Foth Infrastructure & Environment, LLC

A handwritten signature in blue ink that reads "Tyler Anderson".

Tyler Anderson, P.E.
Civil Engineer

NAME	ADDRESS	CITY, STATE, ZIP CODE
SPS COMPANIES LEASING II LLC	6363 HWY 7	MINNEAPOLIS, MN, 55416
GREEDY INVESTMENTS LLC	6865 NW 52ND COURT	JOHNSTON, IA, 50131
ADVANTAGE HOMES LLC	6250 NW BEAVER DRIVE STE A6	JOHNSTON, IA, 50131
CSI HOMES & DEVELOPMENT LLC	6060 NW BEAVER DRIVE	JOHNSTON, IA, 50131
TROSPER REAL ESTATE COMPANY LLC	5750 NW BEAVER DRIVE	JOHNSTON, IA, 50131
GOLDEN ENTERPRISES LTD	5670 NW BEAVER DRIVE	JOHNSTON, IA, 50131

Notice of Public Meeting

June 3, 2016

The Johnston Planning and Zoning Commission will hold a Public Meeting at 7:00 p.m. on Monday, June 13, 2016 and the Johnston City Council will hold a Public Meeting at 7:00 pm on Monday, June 20, 2016. Both meetings will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road to consider the following item:

PZ Case No. 16-16; DSM Investment Partners, LLC Site Plan

DSM Investment Partners, LLC has submitted site plans for the development of a 15,000 square foot building housing offices, warehouse facilities, and 2 rental spaces. The site is Lot 3 of Beaver Drive Business Park and Outlot YY of Beaver Pines Plat 2 located on NW 57th Avenue, just west of NW Beaver Drive. The site is zoned M-1, Light Industrial. The proposed site plan and building elevations are available at the link below.

If you have questions or comments on the above-described action, please contact the city staff person listed at the bottom of this card, or attend the meeting at the above-listed date and time. Additional information, including the site plan is also available under the “proposed development” section of the City’s Website: <http://www.cityofjohnston.com/Index.aspx?NID=435>.

Clayton Ender, Planning Intern
Johnston City Hall; 6221 Merle Hay Road; Johnston, IA 50131
Phone: 727-7763; Email: cender@cityofjohnston.com



Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT
June 13, 2016 Meeting

SUBJECT: Consider recommending approval of an official zoning map amendment for approximately 13.88 acres and adjoining right-of-way from A-R, Agricultural Reserve District to R-1(75), Single-Family Residential District. The subject property is located west of NW 100th Street and approximately 275 south of the Johnston City Limits (adjacent to Camp Dodge).

SYNOPSIS:

The property owner has requested a rezoning of their property from A-R, Agricultural Reserve District to R-1(75) Single-Family Residential District. The City Council has directed this request to the Planning and Zoning Commission for review and recommendation.

The applicant has submitted a development concept illustrating a lot layout of 14 new lots and one existing lot over the proposed rezoning area (1.08 units/acre).

RECOMMENDATION:

Staff recommends approval and provides the following motion for the commission’s consideration:

The Planning & Zoning Commission recommends approval of PZ Case No. 16-13, an amendment to the Official Zoning Map for 13.88 acres and adjoining right-of-way from from A-R, Agricultural Reserve District to R-1(75), Single-Family Residential District, subject to a maximum density of no more than two units per acre as restricted by proposed development agreement.

Motion by _____, seconded by _____ to recommend approval of PZ Case No. 16-13.

- Attachments:
- Development Concept;
 - Neighborhood Mailing Notice and Vicinity Map;
 - Draft Development Agreement;
 - Northwest Area Focus Area Johnston 2030 Comprehensive Plan;

**BACKGROUND &
PRIOR APPROVALS:**

In 1990, Polk County adopted a new comprehensive plan and implemented a new zoning ordinance. At that time the Elmerodo Estates subdivisions were rezoned to "Suburban District". Properties north of Elmerodo Estates One and Two, including the subject property, remained A-1 (the county's designation for agricultural properties at the time).

In September 2007, Polk County again implemented new comprehensive plan recommendations and adopted a new zoning map. The Elmerodo Estates subdivisions were rezoned LDR (Low Density Residential). Property north of Elmerodo Estates remained A-1.

The bulk regulations for Polk County's LDR district follow:

Lot size	12,000 s.f.
Lot Width	75'
Front Yard Setback	35'
Rear Yard Setback	35'
Side Yard Setback	10'

The subject property was annexed into city limits in 2008 as part of the 837.52 acre annexation of properties east and west of NW 100th Street and north of NW 70th Avenue (known as the Northwest Annexation).

Upon annexation, Elmerodo Estates Plats One and Two were given an R-1(100) zoning designation which allows single family uses on lots with a minimum frontage of 100 feet and minimum lot area of 15,000 square feet. The area north of Elmerodo Estates Plats One and Two was given a zoning designation of A-R, Agricultural Reserve District.

**COMPREHENSIVE
PLAN:**

The Johnston 2030 Comprehensive Plan approved December 6, 2011, depicts the subject property as "Low Density Residential", with language specific to the Northwest Area Focus Area restricting development to not more than two units per acre. The development concept submitted by the applicant would result in densities of 1.08 units per acre. A copy of the Northwest Area Focus Area from the Johnston 2030 Comprehensive Plan is attached.

EXISTING ZONING:

A-R, Agricultural Reserve District with Floodway Fringe Overlay. This rezoning impacts the base zoning only and will not impact the floodway fringe zoning layer.

PROPOSED ZONING:

The proposed zoning classification for the subject parcels and adjacent right-of-way is R-1(75), Single-Family Residential with a development agreement restricting overall density to 2 units per acre. Said development agreement is included as an attachment. The applicable bulk regulations follow:

- Lot Area: 9,500 sq. ft. minimum

- Lot Width: 75 ft.
- Front Setback: 35
- Side Yard: 8/17
- Rear Yard: 35
- *Density may not exceed 2 units per acre

*Comprehensive Plan imposes this restriction on subject property.

ADJACENT LAND USES:

Properties in Elmerodo Estates Plats 1 and 2 south of the subject property are zoned R-1(100).

Properties north of the subject property are zoned R-1(150), Single Family Residential.

Properties east of the subject property opposite NW 100th Street are zoned PUD, being located in the Crosshaven PUD.

Properties west of the subject property are zoned A-R, Agricultural Reserve District.

BUFFERING:

There is no buffer requirement between the proposed R-1(75) district and the existing R-1(150) district to the north of the subject property. Likewise, there is no buffer requirement between the proposed R-1(75) district and adjacent R-1(100) uses.

STREAM BUFFERING:

The City of Johnston Watershed Assessment and Stormwater Management Action Plan categorizes Little Beaver Creek as a “Type I” stream, and stipulates proper buffer protection as a key concern for such in order to: “...provide for ongoing maintenance, prevent streambank erosion and protect or enhance existing wildlife habitat.”

Type 1 Streams need buffers focused on protecting the existing floodplain area from development. Selective tree clearing and removal can help streambank stability by allowing erosion resistant deep rooted grasses and flowers to be established.

Toward these ends, Chapter 145.19 of the City of Johnston Code of Ordinances requires Type I streams shall be protected by a 100’ wide stream buffer on each side perpendicular to the waterway as measured from the outer wet edge during base flows. Said area must be defined within recorded easement which includes a management plan, and must include a dominant vegetation consisting of existing naturally regenerated or seeded planted native trees, shrubs, perennial grasses and forbs suited to the soil and hydrology of the site and intended purpose.

Future platting efforts of the subject property must illustrate stream buffering sufficient to meet the above-listed requirements.

TRAFFIC ACCESS & CIRCULATION:

The concept plan provided by Civil Engineering Consultants Inc. dated 5/12/16 depicts a road extending west from NW 100th Street to serve a subdivision consisting of 14 single-family lots. The existing home owned by Mark Shryock at 8094 NW 100th Street will retain access to NW 100th Street.

The depicted street dead-ends against the west-adjacent property which is owned and farmed by neighboring property owner George Hofman. There is potential for future development of the Hofman property through extension of the depicted street.

Chapter 180.29 of the Code of Ordinances stipulates all temporary dead-end streets serving four or more lots or exceeding 200 feet in length shall terminate in a temporary turn-around constructed of temporary Asphaltic Concrete or alternate with a minimum diameter of 60' or other satisfactory means of turning a vehicle, including vehicles required to remove snow. The issue of street termination is one that will be examined with subdivision of the property and submittal of construction drawings.

UTILITIES:

Sanitary Sewer: The Little Beaver Creek Trunk sewer project extended the trunk sewer from NW 86th Street westerly to Crosshaven. Crosshaven Plats 1-6 have seen service main extensions of the trunk sewer, with plat 6 extending sanitary sewer to NW 100th Street. The subject property will be serviced by extension of sanitary sewer under NW 100th Street.

The applicant will be responsible for payment of the Little Beaver Creek Trunk Sewer Connection District Fee for the portion of the plat not within undevelopable outlots. The per acre fee is \$3,450 increasing annually. After July 1, 2016 the fee will be \$3,550/acre.

Water: An 8" city water main is already extended to the site on the west side of NW 100th Street. The subject property is within the Northwest Expansion Area Water District. Payment of the \$1,750 per acre fee is required prior to City Council approval of any Final Plat.

FLOOD PLAIN:

This property is within Zone AE and Zone X on the Flood Insurance Rate Map. A small area of the floodway encroaches on the north property boundary. Zone AE is the area with a 1% annual chance of a flood, also known as the 100-year flood. Zone X is the area with a 0.2% annual chance of a flood, also known as the 500-year flood.

The area defined as AE and X is located within the Floodway Fringe Overlay zoning district. This rezoning impacts the base zoning only and does not impact the overlay zone. Future development in the overlay district will have to meet the requirements of the overlay district in addition to the underlying zoning district.

**PARKLAND
DEDICATION:**

Chapter 180.43 of the City of Johnston code of ordinances requires dedication of 5 acres of public parkland for each 1,000 residents added to the community. The necessary dedication will be tabulated with approval the final plat and is based on the number of lots/single-family dwellings created. Based upon the concept plan submitted by the developer, 14 new lots are proposed and the parkland dedication would be tabulated using the following formula:

- 2.98 people per dwelling X 14 single family dwellings X 0.005 acres of parkland per person = 0.2086 acres.

Chapter 180.43 allows the developer to propose an equal value alternative to parkland dedication. Most who propose an alternative propose to pay a per-acre fee. In computing said fee, staff attributes a land value of \$28,000 per acre. $.5066 \text{ acres} \times \$28,000 = \$5,840.80$. The parkland dedication or equal value alternative will be addressed with the final plat.

**NORTHWEST AREA
WATER
CONNECTION
DISTRICT:**

The subject property is within the Northwest Area Water District. Payment of district connection fees in the amount of \$1,750 per acre is required prior to City Council approval of any Final Plat [$\$1,750 \times 13.88 \text{ acres} = \$24,290$].

**LITTLE BEAVER
CREEK SANITARY
SEWER
CONNECTION
DISTRICT:**

The subject property is located in the Little Beaver Creek Sanitary Sewer Connection District. Payment of the \$3,450 per acre fee is required prior to City Council approval of the final plat ($\$3,450 \times 13.88 = \$47,886$). This fee increases annually. After July 1, 2016 the fee will be \$3,550/acre.

**IMPROVEMENTS TO
ADJACENT
ROADWAYS:**

NW 100th Street is a two-lane asphalt county roadway with roadside ditches. The city's subdivision regulations require the property owner to improve adjacent streets to the standards of a collector street, or submit a petition and waiver agreeing to be assessed for the improvements. This requirement would apply to NW 100th Street and the amount will be computed with submittal of the plat (assessment costs are based on street frontage which is undetermined at this time). An executed petition and waiver is required prior to City Council approval of the Final Plat.

**PUBLIC NOTICE
AND ADJACENT
NEIGHBOR
COMMENTS:**

A notice has been sent to all properties within 320 feet of the rezoning area, and staff has posted a proposed development notice to the city's website. Copies of the mailing and development notices are attached.

Notice of Public Meeting

June 1, 2016

The Johnston Planning and Zoning Commission will hold a Public Meeting at 7:00 p.m. on Monday, June 13, 2016 in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road to consider the following item:

PZ Case No. 16-13; Hidden Valley Estates Zoning Map Amendment

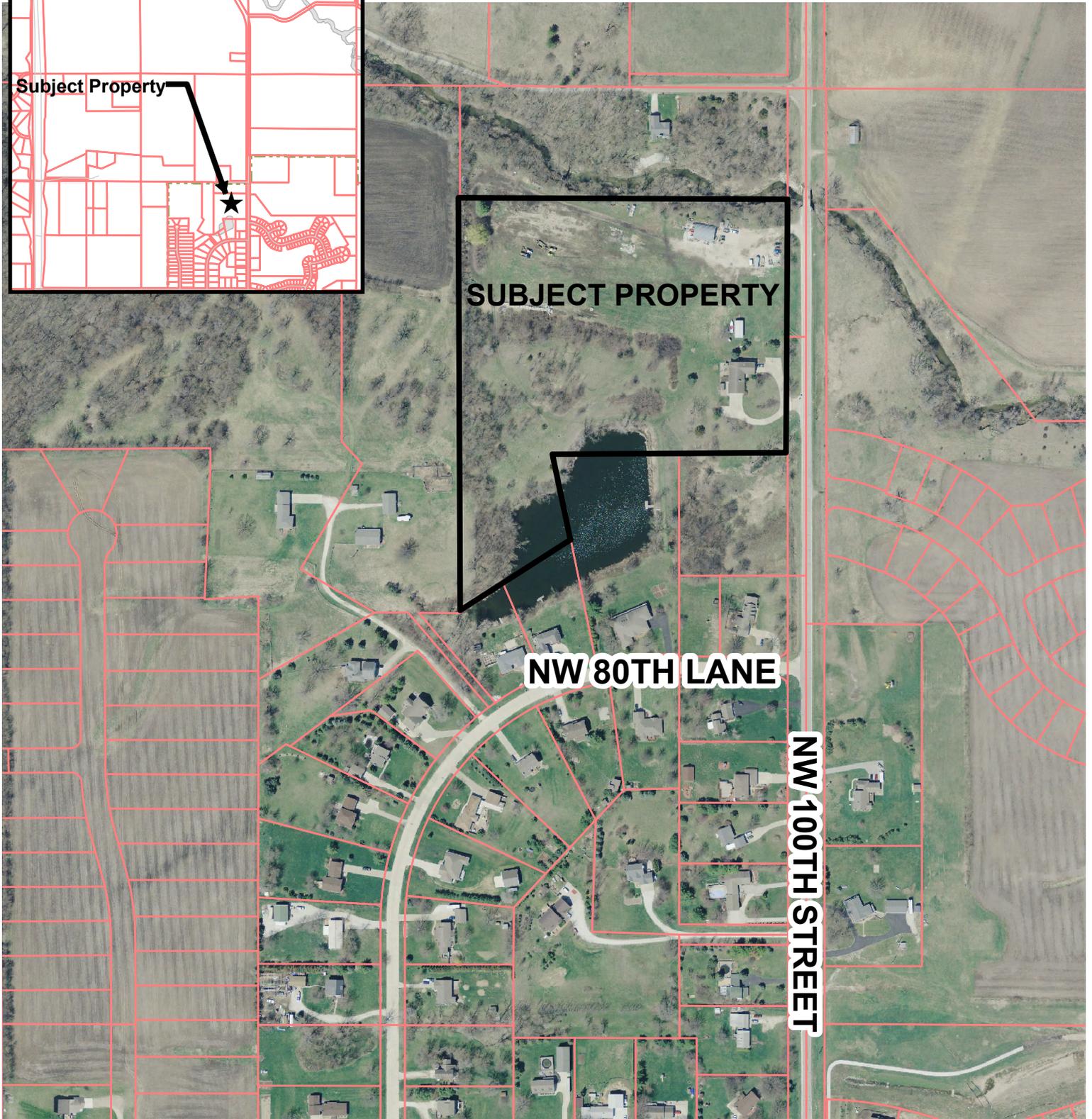
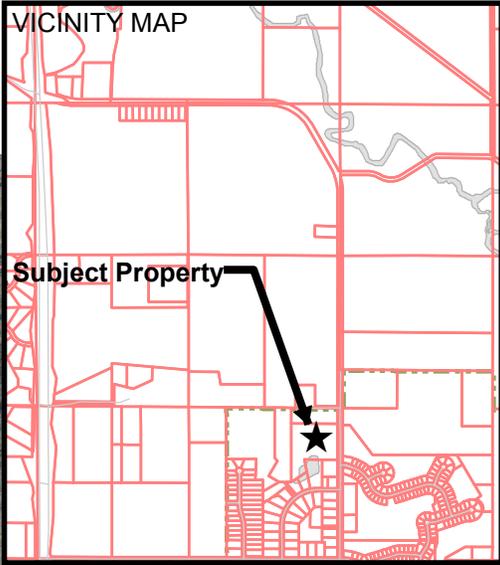
The property owner has requested a rezoning of 13.88 acres from A-R, Agricultural Reserve District to R-1(75), Single-Family Residential District. The property is located West of NW 100th Street and approximately 275 feet south of the Johnston City Limits.

If you have questions or comments on the above-described action, please contact the city staff person listed at the bottom of this card, or attend the meeting at the above-listed date and time. Additional information is available under the "proposed development" section of the City's Website: <http://www.cityofjohnston.com/Index.aspx?NID=435>.

Aaron Wolfe, Senior Planner
Johnston City Hall; 6221 Merle Hay Road; Johnston, IA 50131
Phone: 727-7766; Email: awolfe@cityofjohnston.com

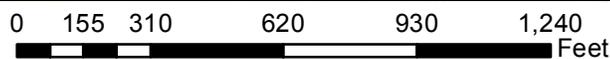
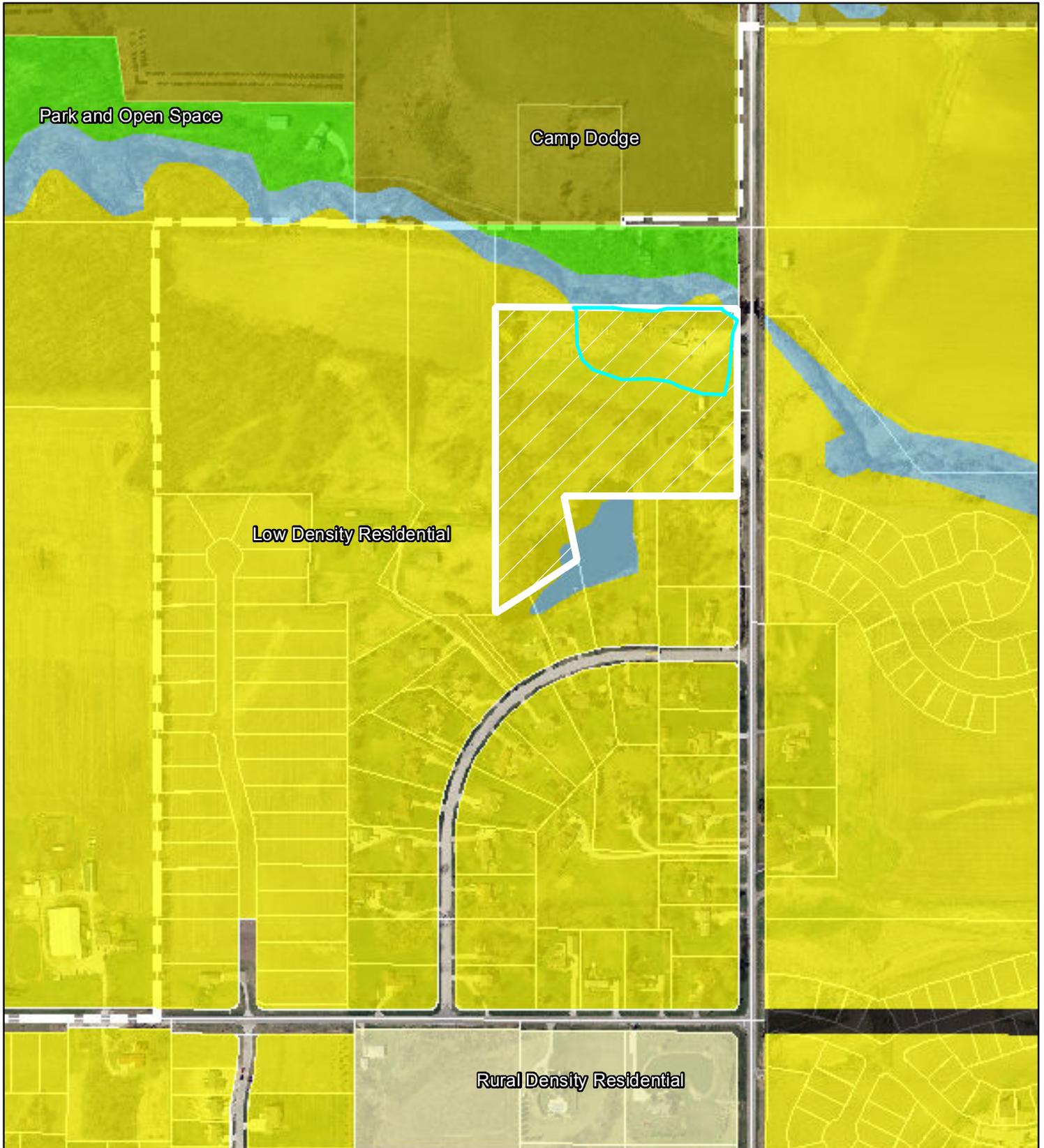
NAME	ADDRESS	CITY, STATE, ZIP CODE
KAITLYN HEIDESCH USA	10100 NW 82ND AVE 215 N 17TH ST	GRIMES, IA, 50111 OMAHA, NE, 68102
MARK MERTENS	2733 WITMER ST	DES MOINES, IA, 50310
MARK SHRYOCK	POB 744	GRINNELL, IA, 50112
JUDITH MERTENS	8002 NW 100TH ST	GRIMES, IA, 50111
TOMI NELSON	10154 NW 80TH LN	GRIMES, IA, 50111
LEE REED	7958 NW 103RD LN	GRIMES, IA, 50111
JEREMIAH JOENS	10211 NW 80TH LN	GRIMES, IA, 50111
GEORGE HOFMANN	10207 NW 80TH LN	GRIMES, IA, 50111
ROBERT SINNOTT	10157 NW 80TH LN	GRIMES, IA, 50111
DEBRA WENNERHOLT	10189 NW 80TH LN	GRIMES, IA, 50111
BRAIN HUTCHINS	10200 NW 80TH LN	GRIMES, IA, 50111
GERARDUS VAN DER HEIJDEN	10113 NW 80TH LN	GRIMES, IA, 50111
GEORGE HOFMANN	10207 NW 80TH LN	GRIMES, IA, 50111
CROSSHAVEN I LLC	6900 WESTOWN PKWY	WEST DES MOINES, IA, 50266
OMEGA SOLUTIONS LLC	6565 WISTFUL VISTA DR STE 3111	WEST DES MOINES, IA, 50266
HUBBELL REALTY COMPANY	6900 WESTOWN PKWY	WEST DES MOINES, IA, 50266
CROSSHAVEN OWNERS ASSOCIATION	6900 WESTOWN PKWY	WEST DES MOINES, IA, 50266

PZ CASE 16-13 HIDDEN VALLEY ESTATES ZONING MAP AMENDMENT

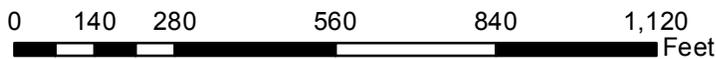
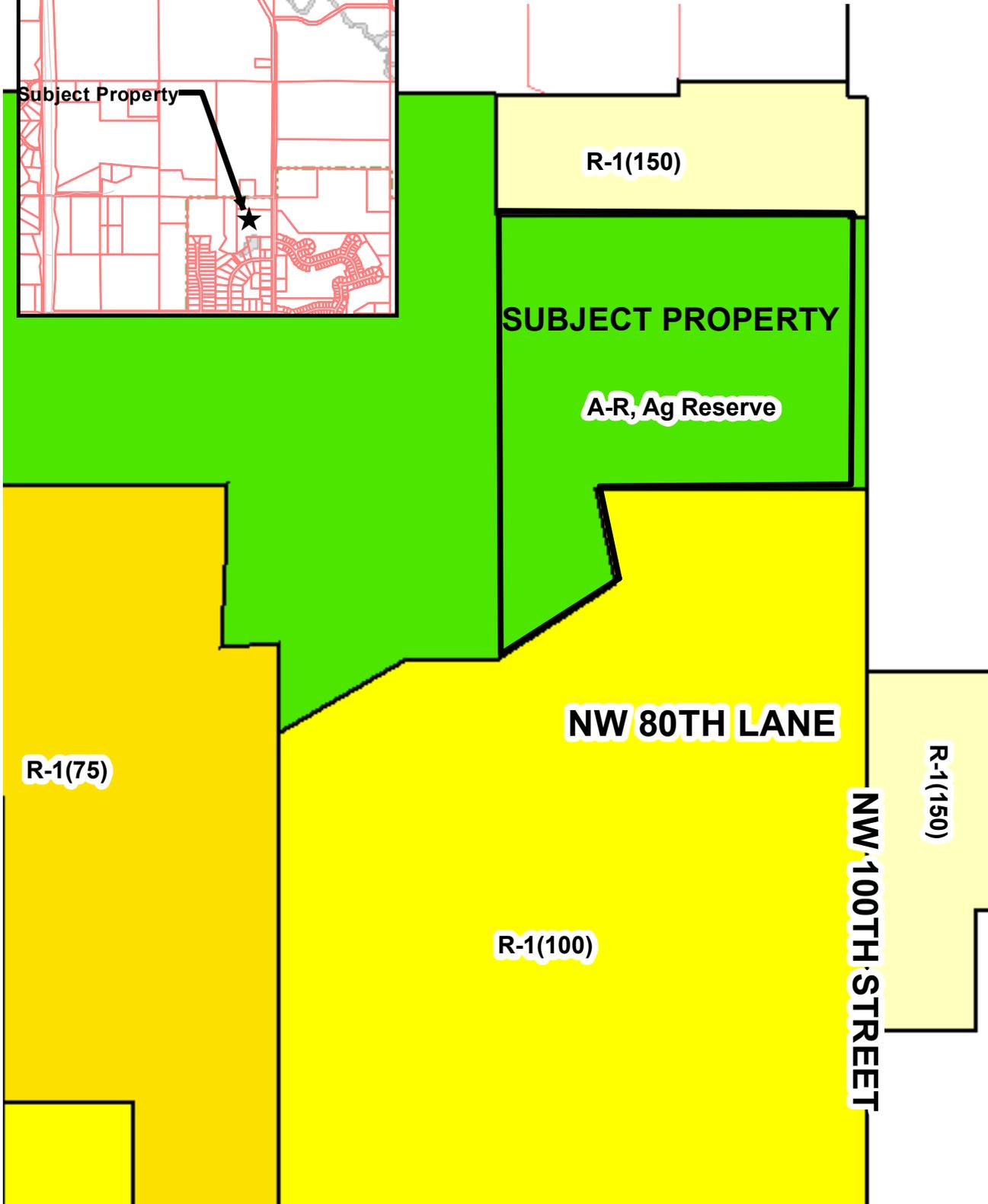
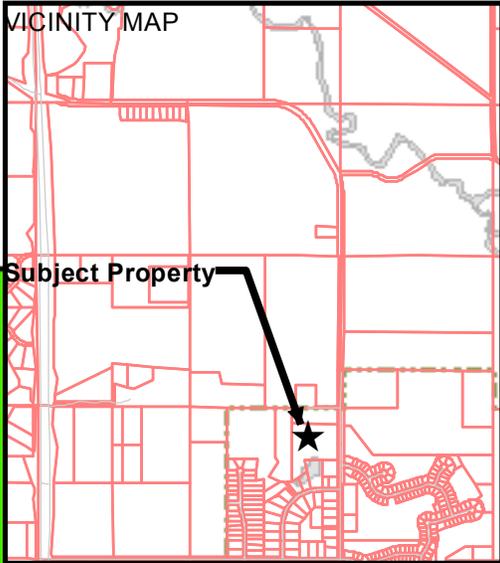


Created by City of Johnston Department of Community Development
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033

Hidden Valley Estates Comp Plan Exhibit

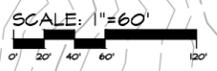
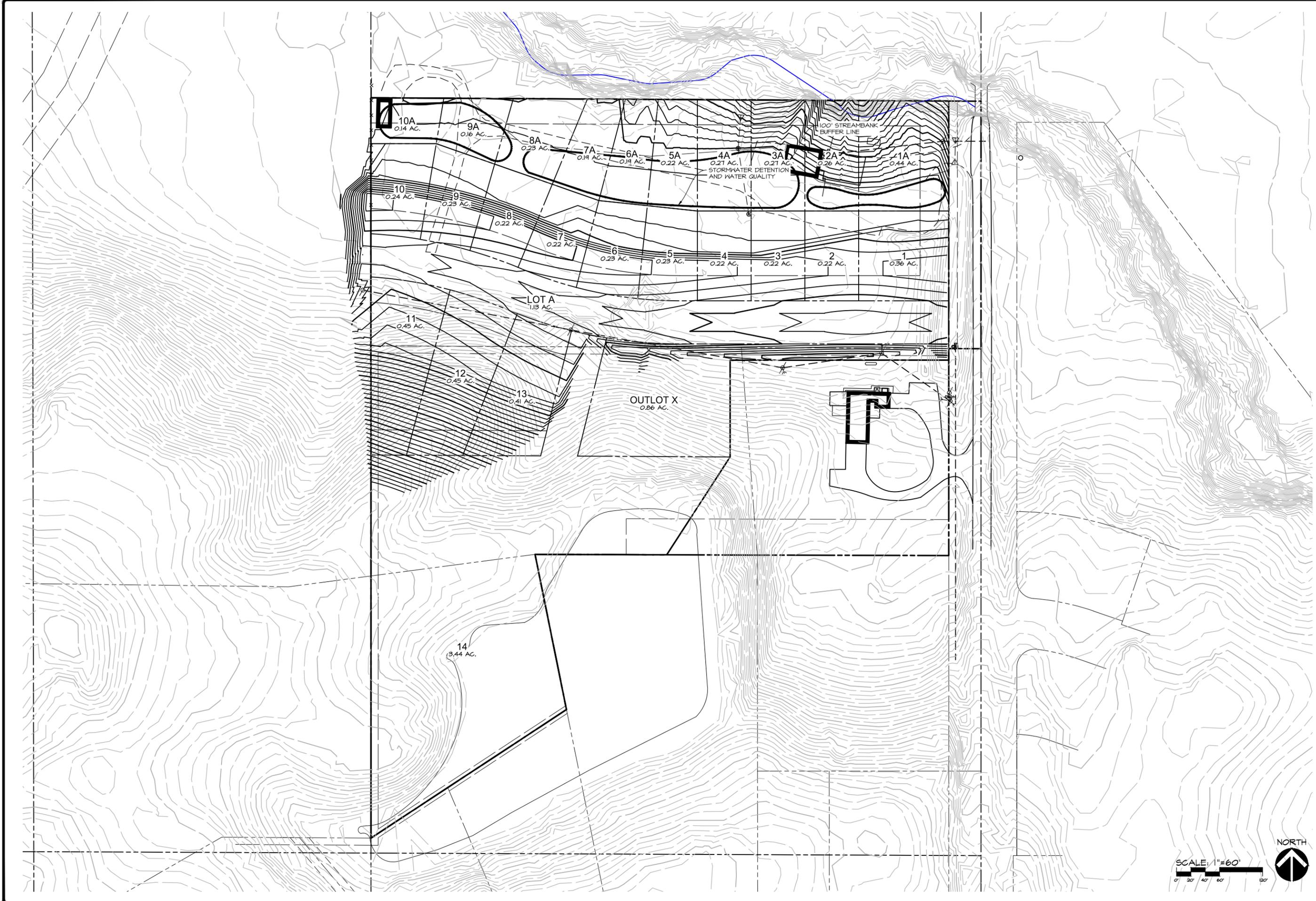


PZ CASE 16-13 HIDDEN VALLEY ESTATES CURRENT ZONING



1 inch = 3,333 feet

Created by City of Johnston Department of Community Development
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033



DATE:	REVISIONS	COMMENTS
05-12-16	1	
	2	
	3	
	4	
	5	MH
	6	PD

SHRYOCK PROPERTY
 JOHNSTON, IA
CONCEPT PLAN

in the 2030 Land Use Plan. Due to the likely phased redevelopment of the Roughwood areas, such rezonings should be sufficiently sized so as to provide sufficient developable area to meet all zoning ordinance bulk requirements, including adequate buffering, traffic access and open space.

RWA.2. As part of the rezoning of any parcels, the following items should be addressed:

- a. Specific buffer and screening standards shall be required between commercial and existing residential uses, even if such residential units are identified as commercial or office uses in the future.
- b. Commercial uses that are less compatible with residential neighbors, such as convenience stores, car washes and fast food restaurants with drive through windows shall not be permitted.
- c. Sites shall be designed in a manner which orients the active portions of the site away from the adjacent single family residential uses. As such traffic movements, parking lots, lighting and other active uses should be oriented to NW 86th Street or NW 54th Avenue while open spaces and landscaping are oriented to the boundary with existing residential uses. This type of site design may require flexibility in setbacks and other bulk requirements.
- d. A traffic study shall be conducted that analyzes the development impact on NW 54th Avenue/NW 86th Street and the overall transportation system in the area. This study should also address the appropriate locations and restrictions on any proposed driveways or street connections.
- e. The city will continue to monitor the Roughwood area in the future to determine if the impacts of traffic and other factors make it appropriate to expand the boundaries of the portion of the neighborhood currently designated as Mixed Use.

RWA.3. Any development or redevelopment within the Roughwood area shall extend and connect to the city's sanitary sewer and water systems, including fire protection.

RWA.4. Upon majority request of the property owners or other regulatory mandate, city sanitary sewer and water service, including fire protection, shall be extended into the single family residential areas. These services would be funded through traditional funding methods including property assessments or connection fees.

Northwest Area

The Northwest Area lies southwest of Camp Dodge, west of NW 86th Street and north of NW 70th Avenue. A comprehensive plan amendment in 2006 addressed the area as follows:

Background

In 1990, Polk County initiated efforts to apply new zoning within the Northwest Area. At the time, 1-acre parcels were being created which complied with the zoning then in place. The zoning was subsequently amended to a minimum of 3-acre lot size to slow growth. The result was the establishment of numerous 3-acre lots in the area. In the mid 1990s, the physical boundaries of Camp Dodge were expanded.

In 1995, Johnston and Grimes reached agreement on an annexation moratorium agreement that established NW 107th Street as the future boundary between the communities south of NW 78th Avenue and Highway 141 as the boundary north of NW 78th Avenue. The agreement specified that neither city would voluntarily or involuntarily annex on the opposite side of the dividing line.

In 1997, the city established the NW Expansion Area Water District. Establishment of the

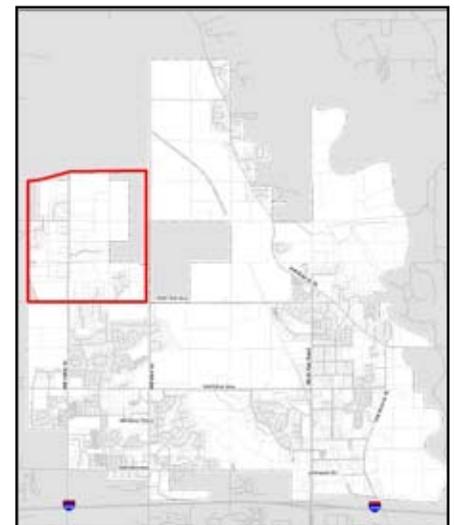


Figure 5.12 Northwest Planning Area

district was precipitated by several proposed subdivisions desiring to develop on private wells. In lieu of wells, the city created a plan to extend a water mains into the area with developers agreeing to finance the early indebtedness of the project. The subdivisions included Candleridge Estates in Johnston, and Pinecrest Estates and Myra Lynn Estates in Polk County.

Irrevocable Petitions for Annexation were put in place in as part of the agreement to provide municipal water service. The properties would have been annexed except that they were not contiguous to the city at the time. The petitions constituted an agreement that initiated annexation when the properties became contiguous. A water connection district was created to provide collections for retiring the remainder of the debt for the installed water main. A per-acre fee was established based on the minimum parcel size allowed by the zoning. This was done to permit larger acreages to pay a minimum fee based upon the usage, and not the total parcel area. However, the agreement stipulated that if a property subdivided into additional parcels, the payment of the connection fee would also be due. The water service was subsequently extended to NW 78th Avenue, and west along NW 78th Avenue. A large portion of the Northwest Area was annexed, including the existing residential areas, in 2008.

During the update of the Johnston Comprehensive Plan in 1996 - 1998, the Northwest Area was the subject of a special meeting to address the particular needs of the area. The 1998 Plan took the position that rural lots may be the future direction of the area. This conclusion was influenced by the desire by residents to maintain that minimum lot size, and what appeared to be a high cost of extending sanitary sewer to the area.

In 2004, the City Council authorized completion of the Northwest Area Utility Service Master Plan. The master plan addressed water supply, sanitary sewer service, and storm drainage. However, the primary focus was on sanitary sewer. The City Council also adopted the Northwest Sanitary Sewer District.

Factors Influencing Future Development Patterns

The predominant land use in the Northwest Area has historically been agriculture with increasing amounts of large-lot residential. Development in the northwest area has focused along NW 100th Street which bisects the area. Camp Dodge lies immediately north and east of the Northwest Area. Abutting Camp Dodge on the east is the Beaver Creek Golf Course. The other business area is the commercial development in the southwest quadrant of NW 70th Avenue and Highway 141 in Grimes. Much of the existing residential development flanking NW 100th Street is low intensity development and the area has a rural character.

Natural features can also influence the extent and character of development. They can represent constraints to development or opportunities for future development. Both exist within the northwest area. The existing 1998 Johnston Comprehensive Plan included an examination of natural features for the entire city and its environs. A more site-specific look at natural resources occurred as part of the Northwest Area study.

Land Use Plan (2006) and 2030 Land Use Plan

In 2006, Johnston amended its comprehensive plan by incorporating the 2006 Land Use Plan shown as Figure 5.13. That plan included the following land use categories:

LDR2 – The Low Density Residential 2 category included single-family detached homes at a density of .34 du/ac (3-acre lots). LDR2 areas were to be assigned the Estates District classification when incorporated into the city.

LDR – The Low Density Residential category included housing with a lot size of one acre or larger.

MDR – The Medium Density Residential category accommodated residential uses at a density ranging from one to six units per acre.

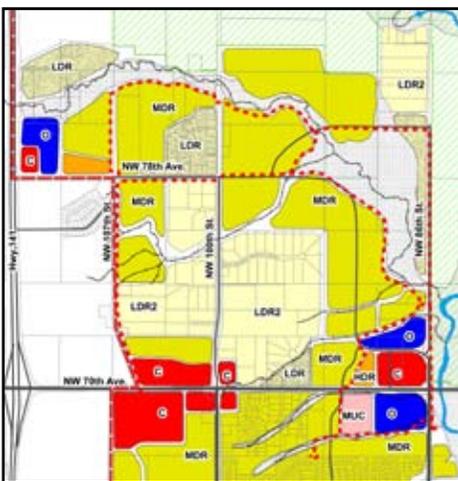


Figure 5.13 - 2006 Johnston Land Use Plan

HDR – The High Density Residential category accommodated multi-family housing at densities exceeding six units per acre. High density uses were further limited to eight units per acre per the plan amendment that was put into place in 2006.

Commercial – This category included retail and service commercial uses that serve neighborhood, community and regional markets.

Office – This category includes professional offices and services such as medical, law, real estate and financial businesses.

The 2030 Land Use Plan which is shown in Figure 5.14 retains the general land use directions adopted by the city in 2006 with some minor changes. One of those changes is the land use categories. A detailed breakdown of the land use categories associated with the 2030 Land Use Plan can be found in Table 5.2. The following is a brief summary of those categories applicable to the Northwest Area.

RDR - Rural Density Residential includes single-family detached housing at a density not to exceed two units per acre. The previous LDR2 category used in the 2006 plan is consistent with the new RDR category.

LDR - Low Density Residential includes housing with densities that generally range from two to five units per acre. The MDR category used in the 2006 plan is largely consistent with the new LDR category (1 to 6 units per acre compared to 2 to 5 units per acre).

MDR - Medium Density Residential includes residential uses at densities that range from five to eight units per acre. The new MDR category largely incorporates the previous MDR category (5 to 8 units per acre compared to 1 to 6 units per acre). The new MDR category was refined to better define densities for attached housing products.

HDR - High Density Residential includes multi-family housing at densities exceeding eight units per acre. The 2006 HDR category limited development at 8 units per acre.

Commercial - The commercial land use category includes retail and service commercial land uses that serve neighborhood, community and regional markets. This category remains unchanged from the 2006 amendment.

Office - The office land use category includes lots or parcels that contain professional offices and services such as medical, law, real estate and financial businesses. This category remains unchanged from the 2006 amendment.

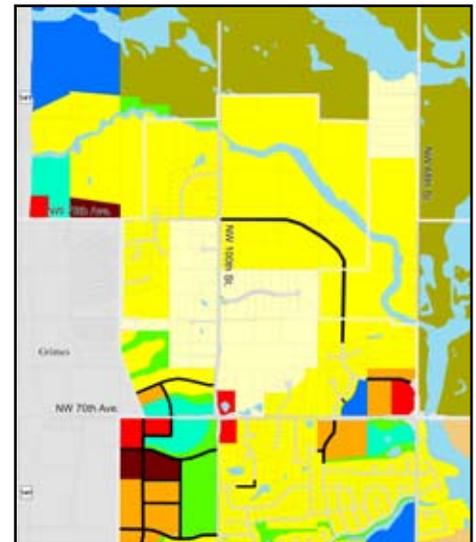
Public and Quasi-Public (P/QP)- Public and quasi-public uses include churches, schools, cemeteries, golf courses, local government facilities and other parcels that are owned by a public or quasi-public entity.

Park/Open Space (P/OS) - The park and open space category includes land owned by the City of Johnston. Parks and open space are discussed in detail in the Parks and Recreation chapter of this plan.

The primary changes included in the 2030 Land Use Plan as compared to the Land Use Plan prepared in 2006 involve the areas immediately north of NW 70th Avenue at NW 100th Street and immediately northwest of the intersection of NW 70th Avenue and NW 86th Street. The 2030 Land Use Plan retains the direction established in 2006 for residential properties.

North of NW 70th Avenue at NW 100th Street, the new plan refines the former commercial area by breaking it down into a tier of office use abutting NW 70th and a small area of medium density housing and park/open space to the north. Further east along NW 70th Avenue at NW 86th Street, the plan refines the area in the northwest and southwest quadrants of the intersection as shown.

The policies and action steps below are in addition to or to supplement those contained in



- Rural Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial
- Office
- Parks & Open Space
- Public & Quasi-Public
- Camp Dodge

Figure 5.14 - 2030 Johnston Land Use Plan



this Plan. They are unique to the Northwest Area.

Northwest Policies

NWAP.1. Maintain rural neighborhoods and anticipate intensified development in agricultural areas.

NWAP.2. Accommodate infill development that is consistent with existing development patterns and density where existing topography and soils are appropriate.

NWAP.3. Continue to design and fund sanitary sewer service and other capital improvements to the area. New development shall be served by sanitary sewer service.

NWAP.4. Create a quality living environment that is adapted to the natural environment.



Northwest Action Steps

NWA.1. The 2030 Land Use Plan shall direct the future development of the area. LDR generally follows the sanitary sewer corridor. The density in LDR is variable (2 to 5 du/ac) and affected by the proximity of existing rural development that requires feathering of lot sizes (see transitions below-item e.), and the Little Beaver Creek floodplain that is the dominant feature in the area. It is therefore impractical to assign a maximum density to these areas.

The 2030 Land Use Plan is further refined to direct future growth in the Northwest Area, including the LDR designation as follows:

a. Along Little Beaver Creek a buffer of 100 feet on either side of the streambed of plant material specifically designed to remove stormwater pollutants before the surface water flow enters the creek. Along lesser tributaries to Little Beaver Creek and Beaver Creek, a buffer of 50 feet should be provided.

b. RDR in the Northwest area shall have a density of 0.34 du/acre (equivalent to a 3-acre lot).

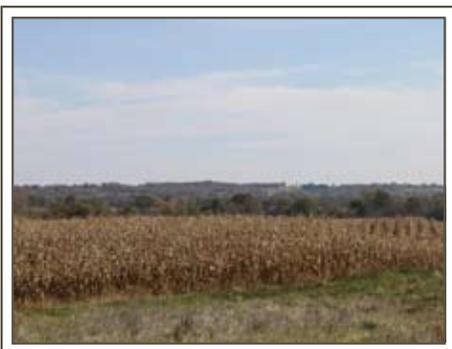
c. HDR shall be limited to a density of 8 du/acre.

d. The LDR designation in the Northwest Area is unique due to the many design influences that exist. The overall average density is envisioned to be approximately 2.0 DU/AC. Exceptions may be made provided that the transitions noted in paragraph e. are met. The exceptions may be made based on exemplary efforts to incorporate the following:

- » *The addition of neighborhood focal point central to the Little Beaver Creek valley, such as a lake or park land provided.*
- » *The preservation of natural features and conservation design techniques, or*
- » *The incorporation of high quality design through amenities provided or alternative lifestyle opportunities.*

e. Transitions shall be provided when development is proposed adjacent to the two LDR areas that were formerly classified as LDR (Figure 5.13 compared to Figure 5.14). The transitions shall be implemented as part of annexation agreements, development agreements, planned unit development ordinances, or any subdivision plat contiguous to an area designated LDR in the 2006 Land Use Plan. The transition would be accomplished either through the use of natural buffers such as changes in topography or natural vegetation or the following performance measures to cause lot sizes to change gradually:

- » *New lots created contiguous to an existing area within a 3-acre lot designation (RDR) shall be no less than 1.5-acres in size. The minimum setback adjacent to an RDR designated area shall be 120 feet.*
- » *New lots created contiguous to an existing 1-acre lot designation (LDR in the 2006 Land Use Plan – Figure 5.13) shall be no less than 20,000 sq. ft. in size.*



- » *New lots created opposite a public street from existing 3-acre lots designated RRD shall be no less than 1.5 acres in size and shall provide the same front yard setback as the opposing district requires.*

NWA.2. Future development shall reflect the policies and recommendations found in the Watershed Assessment and Stormwater Management Plan, December 2009.

NWA.3. Consider amending the zoning ordinance to provide a clustering provision in Districts in addition to District RE (3-acre minimum) to allow flexibility in lot design.

NWA.4. Natural resources in the Northwest Area shall be preserved. The wooded areas and steep slopes on the west should be retained. New development shall preserve significant natural resources through the use of cluster and other mechanisms. The city shall obtain conservation easements or accept dedication of environmentally sensitive areas where its disturbance may adversely affect water quality or the scenic quality of the area.

Merle Hay Road Redevelopment Area

The Merle Hay Road Redevelopment Study was completed by RDG Planning and Design in 2007. Text in this section of the comprehensive plan is largely taken directly from the study and is intended to endorse the study's recommendations as part of this comprehensive plan.

The redevelopment study contained an analysis of existing conditions and specifically, existing land uses along Merle Hay Road. Figure 5.16 depicts the current usage in the corridor. Many of the Merle Hay Road frontage parcels north of 62nd Avenue remain in

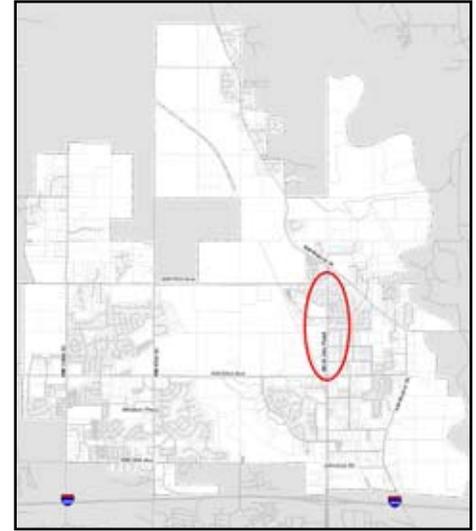


Figure 5.15 Merle Hay Road Redevelopment Area

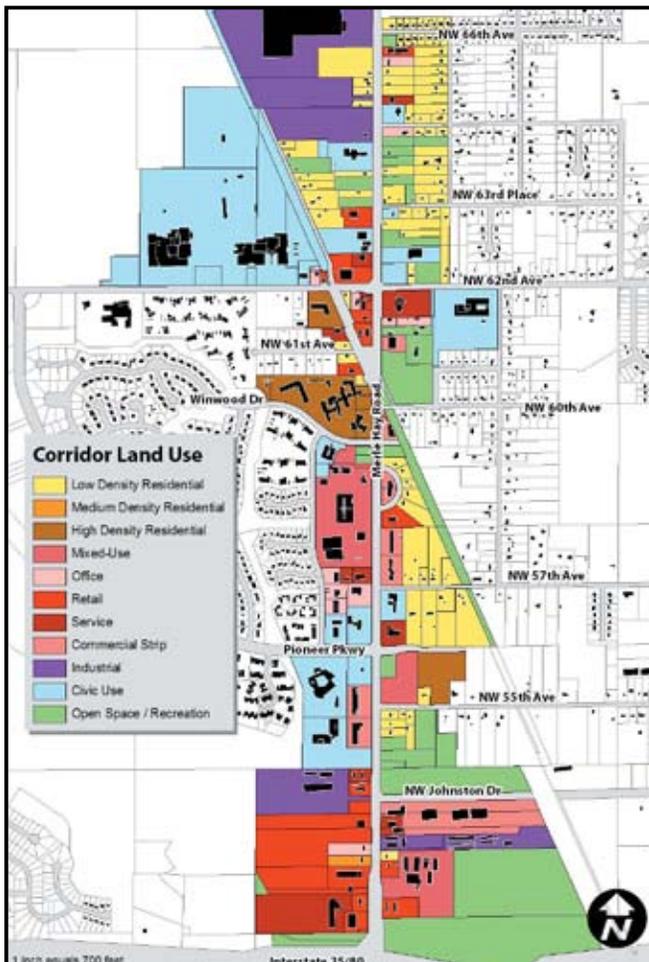


Figure 5.16 Merle Hay Road Existing Land Use 2007

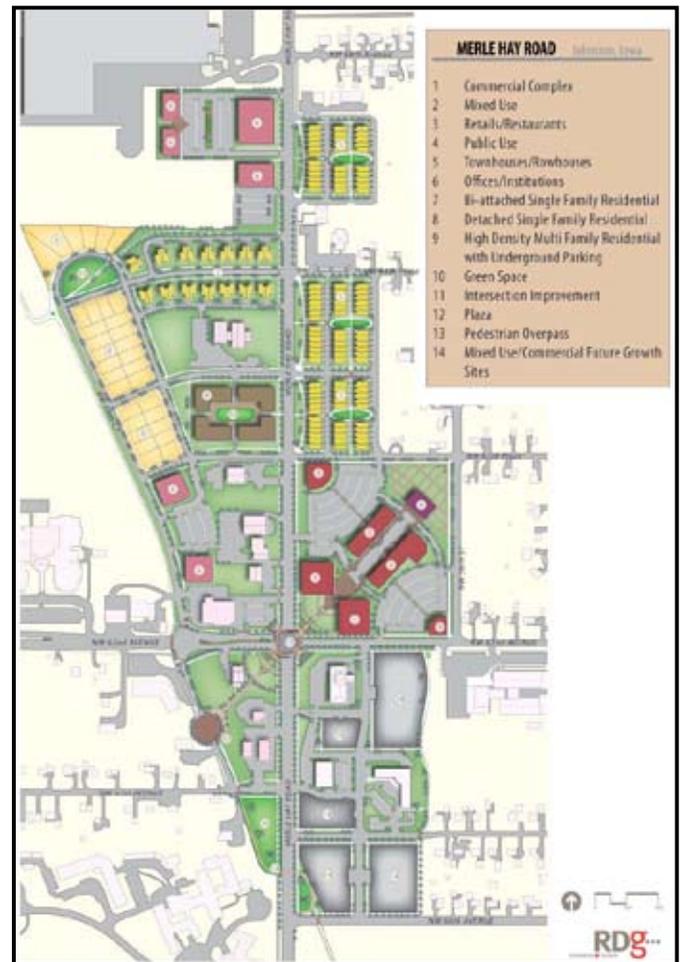


Figure 5.17 - Merle Hay Road Mixed Use Center Plan Components

DEVELOPMENT AGREEMENT

This Development Agreement made this 1st day of August, 2016, by and between Mark Shryock (hereinafter collectively referred to as "OWNER"), and the City of Johnston, an Iowa municipality with city offices at P.O. Box 410, Johnston, Iowa, 50131-0410 (hereinafter referred to as "City").

WHEREAS, OWNER wishes to develop certain property lying within the City of Johnston, Iowa described as follows:

PARCELS 'A', 'B', & 'M' OF LOT 11, ELMERODO ESTATES PLAT 2 AND THE SE1/4 OF SECTION 28, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M., ALL BEING OFFICIAL PARCELS RECORDED IN BOOK 12070, PAGE 121 AT THE POLK COUNTY RECORDER'S OFFICE, NOW WITHIN THE CITY OF JOHNSTON, POLK COUNTY, IOWA.

(hereinafter referred to as the "OWNER'S PROPERTY").

WHEREAS, it is OWNER'S intent to construct a residential community, and

WHEREAS, the City is willing to rezone the OWNER'S property in an effort to facilitate the construction of the residential community as long as OWNER agrees to certain conditions; and

WHEREAS, the parties agree that the City has a right to require this Development Agreement under the provisions of Iowa Code Section 414.5 and that all requirements of said Section 414.5 have been met and complied with; and

NOW THEREFORE, pursuant to the authority granted to the City of Johnston by Iowa Code Section 414.5 and in consideration of the proposed development and increased tax base to the City and other good and valuable consideration, receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

1. **RESTRICTIONS.** OWNER agrees to the following:

Any new single family residential lots created on the OWNER'S PROPERTY shall be a minimum of 75 feet in width with a density not to exceed 2.0 units per acre. Said lot width and density shall be reviewed with any and all preliminary and final plats on the OWNER'S PROPERTY.

2. **AUTOMATIC REVERSION OF ZONING.** The parties further agree that if the OWNER'S property ceases to be used in conformance with the above

conditions, the property's zoning shall automatically revert to that of THE A-R, Agricultural Reserve District without further action of the Johnston City Council.

3. **AMENDMENTS.** No amendments or variations of the terms of this Agreement shall be valid or binding unless made in writing and executed by a duly authorized representative of each party to be bound thereto.

4. **BINDING EFFECT.** This Agreement is binding upon the parties hereto and their respective successors and assigns. The parties further agree that this Agreement may be filed with the Polk County Recorder so as to be part of a public record and notify third parties of the terms contained herein.

5. **VALIDITY OF AGREEMENT.** If any term of this Agreement is deemed or ruled invalid by a court of law for any reason, the parties agree that there would be a failure of consideration and that this Agreement would be null and void.

WHEREFORE, the parties have executed this Agreement on the date and year written above.

CITY OF JOHNSTON

ATTEST:

By: _____

By: _____

Paula S. Dierenfeld, Mayor

Cyndee Rhames, City Clerk

STATE OF IOWA, POLK COUNTY, ss:

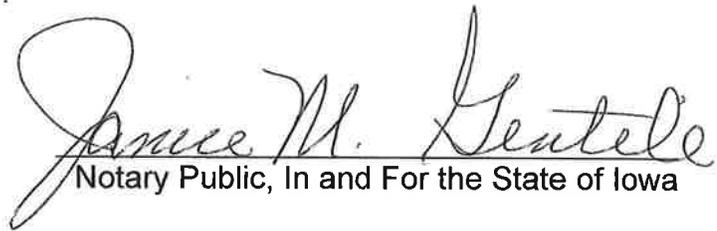
On this ____ day of _____, 2016, before me the undersigned, a Notary Public in and for the State of Iowa, personally appeared Paula S. Dierenfeld and Cyndee Rhames, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the **City of Johnston, Iowa**; that the seal affixed to the foregoing instrument to which this is attached is the corporate seal of the City; that the instrument was signed and sealed on behalf of the City by authority of its City Council, as contained in Resolution No. _____ passed the City Council on the ____ day of _____, 2016, and that Paula S. Dierenfeld and Cyndee Rhames, as such officers, acknowledged the execution of the instrument to be the voluntary act and deed of the City, by it and by them voluntarily executed.

Notary Public in and for the State of Iowa

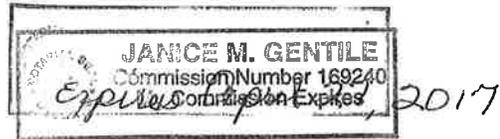


BY: Mark Shryock

On this 12th day of May, 2016, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Mark Shryock to me personally known, who, being by me duly sworn, did say that he is the individual executing the within and foregoing instrument; and that he acknowledged the execution of said instrument to be his voluntary act and deed of the members and managers of said corporation.



Notary Public, In and For the State of Iowa





Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT

June 13, 2016 Meeting

SUBJECT: Consider recommending approval of the Preliminary Plat for Canterbury Woods Plat 2 subdividing 7.644 acres into 3 single-family lots. The property is located east of NW 107th Street and south of NW 74th Place.

SYNOPSIS:

The applicant, Canterbury Woods, L.L.C., is proposing to subdivide a 7.664-acre Outlot ZZ of Canterbury Woods Plat 1 into 3 single-family residential lots. The property is zoned R-1(75) with restrictions based upon a Development Agreement entered into as part of the rezoning of the property.

RECOMMENDATION:

Staff recommends approval of PZ Case No. 16-15, the Preliminary Plat for Canterbury Woods, with the following conditions:

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.
2. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.
3. A Storm Water Pollution Prevention Plan and Evidence of a NPDES Permit from the Iowa DNR shall be provided prior to any ground disturbing activity on the site.
4. The Preliminary Plat shall be amended to include a note stipulating purpose/ownership of outlots.
5. The Preliminary Plat shall be amended to address items 1-9 of Foth's review letter dated 6/10/2016.
6. Prior to the issuance of a building permit for any structure within the plat, the applicant shall visibly and permanently mark the locations of the conservation easement on each lot.
7. Prior to Council approval of the Final Plat, the following items shall be completed:
 - a. Payment of the Northwest Water Connection District fees.
 - b. Payment of the Northwest Area Sanitary Sewer Connection District fee.

c. Execution of a development agreement regarding parkland dedication.

Motion by _____, seconded by _____ to recommend approval of PZ Case No. 16-15, the Preliminary Plat for Canterbury Woods Plat 2, with the noted Conditions.

Attachments:

Preliminary Plat prepared by ABACI Consulting;
Development Review Memo from staff dated May 24, 2016;
Development Review Letters from Foth Infrastructure and Environment dated May 24, 2016;
Vicinity Map

APPLICANT:

Canterbury Woods LLC
John Larson
PO Box 267
Johnston, IA 50131

REPRESENTATIVE:

ABACI Consulting, Inc.
101 NE Circle Drive
Grimes, IA 50111

**BACKGROUND &
PRIOR APPROVALS:**

The subject property was annexed to the City of Johnston as part of the Northwest Annexation which was approved by the City Development Board on May 10, 2006.

The R-1(75) zoning district was established for this site, subject to the regulations contained in a Development Agreement dated March 3, 2006 and amended on May 21, 2007. A copy of these agreements is attached. The agreement places greater side yard setbacks on this portion of the site and also required the transition buffers as required by the Comprehensive Plan along the western and southern boundaries of the entire property.

PZ Case 06-30, a Preliminary Plat for Silverstone Plat 1 subdividing 74.048 acres into 18 single-family lots and two outlots for future development was approved on August 7, 2006 via resolution 06-176 (Canterbury Woods is Outlot 'Z' of Silverstone Plat 1).

PZ Case 06-33, a Final Plat for Silverstone Plat 1 was approved on October 2, 2006 via resolution 06-220

PZ Case 06-43, a Preliminary Plat for Silverstone Plat 2 subdividing 33.909 acres into 35 single-family lots was approved on November 6, 2006 via resolution 06-245.

PZ Case 07-17, a Final Plat for Silverstone Plat 2 was approved on May 21, 2007 via resolution 07-105.

PZ Case 13-01, a Preliminary Plat for Canterbury Woods subdividing 20.26 acres into 16 single-family lots and one outlot was approved on February 19, 2013 via resolution 13-32. Construction plans were approved May 20, 2013 via resolution 13-83.

PZ Case 13-34, a Final Plat for Canterbury Woods Plat 1 was approved on November 4, 2013 via Resolution 13-223.

**COMPREHENSIVE
PLAN:**

The subject property is depicted on the Johnston 2030 Land Use Plan as Low Density Residential. Low Density Residential includes housing with densities that generally range from two to five units per acre.

The Northwest Area is included as a focus area of the Land Use chapter in the 2030 Comprehensive Plan (a copy of the focus area is attached). The subject platting action supports the following action steps outlined therein for the Northwest Area focus area:

- NWA.1.e. Transitions shall be provided when development is proposed adjacent to the two RDR areas that were formerly classified as LDR (Figure 5.13 compared to Figure 5.14). The transitions shall be implemented as part of annexation agreements, development agreements, planned unit development ordinances, or any subdivision plat contiguous to an area designated LDR in the 2006 Land Use Plan. **The transition would be accomplished either through the use of natural buffers such as changes in topography or natural vegetation** or the following performance measures to cause lot sizes to change gradually:
 - *New lots created contiguous to an existing area within a 3-acre lot designation(RDR) shall be no less than 1.5-acres in size. The minimum setback adjacent to an RDR designated area shall be 120 feet.*
- NWA.4. Natural resources in the Northwest Area shall be preserved. The wooded areas and steep slopes on the west should be retained. New development shall preserve significant natural resources through the use of cluster and other mechanisms. The city shall obtain conservation easements or accept dedication of environmentally sensitive areas where its disturbance may adversely affect water quality or the scenic quality of the area.

As outline in the Johnston 2030 Comprehensive Plan, lots adjacent to areas designated RDR (Rural Density Residential) are required to be 1.5 acres in size with a 120 foot rear yard setback or have a 60 foot rear yard setback if an adequate natural buffer exists. Lots 1 and 2 are adjacent to areas designated as RDR. Both lots meet the above listed requirements. Lot 3 is not adjacent to areas designated RDR. Outlots 16A, 15A and 1A are not buildable and are exempt from the requirement. Furthermore, a 60' conservation easement and a natural buffer consisting of densely planted conifers insures the intent of the above-listed requirements.

ZONING DISTRICT &
BULK
REGULATIONS:

The R-1(75) Bulk Requirements are as follows:

Lot Area: 12,500 sq. ft.*
Lot Width: 87 ft.*
Front Setback: 35 ft.
Side Yard: 9 ft. one side – 19 ft. total*
Rear Yard: 35 ft.

*Pursuant to Development Agreement dated March 3, 2006 and recorded in the Polk County Recorders Office in Book 11568 Pages 133-137 with an

amendment approved May 21, 2007 recorded in Book 12215 Pages 459-462.

TRAFFIC ACCESS & CIRCULATION:

Canterbury Place is accessed from NW 74th Place. Both roadways are 26 foot wide street within a 50 foot right of way. These dimensions are sufficient for a cul-de-sac serving up to 24 lots. Plats 1 and 2 combined total 19 lots.

As depicted, the cul-de-sac bulb of Canterbury Place transgresses an existing conservation easement. The affected area does not exhibit sensitive topography, but was included as an extension of the conservation easements around the perimeter of Plat 1. Upon completion and acceptance of public improvements, Canterbury Place will become city right-of-way and, as such, supersedes the terms of the easement. The Preliminary Plat depicts removal and replacement of 16 evergreen trees within the easement area. These trees were initially planted by the developers of the Silverstone Subdivision so that future development of the subject property would benefit from an establish buffer. The replacement of removed trees maintains the integrity and purpose of the original buffer plantings.

PUBLIC UTILITIES:

Water: An 8-inch main was installed to the current termination of Canterbury Place with Plat 1 on the East side of the roadway. With the proposed development, this main will be extended to serve lots 1-3. Two new hydrants will be constructed on Canterbury Place to provide fire protection for the new lots.

Sanitary Sewer: In 2005, the City extended sanitary sewer to the intersection of NW 70th Avenue and NW 100th Street. The Silverstone development (directly north of the subject property) pumps sanitary waste to a six-inch force main down NW 107th Street to the intersection with NW 70th Avenue and then east along NW 70th where the force main connects to gravity sanitary sewer service at NW 100th Street.

A lift station was constructed to serve Canterbury Woods Plat 1 near the NE corner of proposed Outlot 15A, discharging to the force main on NW 107th Street. Said lift station was designed to handle capacity from both Plats 1 and 2.

DRAINAGE:

A stormwater basin was designed and constructed with Plat 1 located near the NE corner of proposed Lot 2. The basin discharges to an existing drainage channel which eventually merges with Beaver Creek and was sized appropriately to handle stormwater from Plat 1 and proposed Plat 2. Stormwater from Plat 2 travels through existing overland flowage easement to said basin.

CONSERVATION EASEMENTS:

Northwest Area Action Step number 4 of the Johnston 2030 Land Use Plan states the following:

“NWA.4. Natural resources in the Northwest Area shall be preserved. The wooded areas and steep slopes on the west should be retained. New development shall preserve significant natural resources through the use of cluster and other mechanisms. The city shall obtain conservation easements or accept dedication of environmentally sensitive areas where its disturbance may adversely affect water quality or the scenic quality of the area.”

As evidenced by the attached aerial exhibit, there are large areas of this site that are heavily wooded and contain large drainage ways that clearly represent the natural resources described in the Comprehensive Plan as needing to be preserved. To address this issue, conservation easements were platted with Plat 1 to protect the natural resources present in the area.

Staff recommends a condition for approval requiring the applicant to visibly and permanently mark the locations of each the conservation easement on each lot prior to issuance of a building permit.

FUTURE
IMPROVEMENTS TO
ADJACENT
ROADWAYS:

The city’s subdivision regulations require the property owner to improve adjacent streets to the standards of a collector street, or submit a petition and waiver for such future improvements. NW 107th Street does not meet the City’s requirements for a collector street. A petition and waiver was submitted with Plat 1 that included the subject property. The document is binding on successive subdivisions and successive owners of the property; therefore, no new petition is needed at this time.

PARKLAND
DEDICATION:

The provisions of the Parkland Dedication Ordinance are applicable to this site, as such the applicants are responsible for the dedication of a minimum of 0.0447 acres of parkland, which is calculated as follows:

- 2.98 people per dwelling X 3 single-family dwellings X 0.005 acres of parkland per person = 0.0447 acres.

The ordinance allows the developer to request an alternative to the dedication provided the alternative has a value equal or greater to that of the required parkland. Consistent with past agreements, the amount per acre shall be \$28,000 or \$1,251.60 for the lots proposed within the subject plat. Pursuant to the Parkland Dedication Ordinance, the developer must execute a development agreement prior to the City Council’s approval of the Final Plat and pay the above-listed amount.

FLOODPLAIN:

This property is within Zone X on the Flood Insurance Rate Map and is outside of the 500-year flood plain.

SIDEWALKS:

Sidewalks are required along all public streets and are depicted on both sides of Canterbury Place.

NORTHWEST AREA

This property is within the Northwest Area Sanitary Sewer Connection

SANITARY SEWER
CONNECTION
DISTRICT:

District, payment of the per-acre fee is required prior to City Council approval of the Final Plat. The sanitary sewer district connection fees for the subject plat are calculated as follows: 5.544 acres (total area - outlots) x \$3,200/Acre = **\$17,740.80**

NORTHWEST AREA
WATER
CONNECTION
DISTRICT:

This property is within the Northwest Area Water District, payment of the \$1,750 per acre fee is required prior to City Council approval of the Final Plat. The water district connection fees for the subject plat are calculated as follows: 5.544 acres (total area - outlot) x \$1,750/Acre = **\$9,702**

CONSULTANT
COMMENTS:

Consulting engineer Josh Debower with Foth Infrastructure and Environment has reviewed the plat and offers comments in their review letter dated June 10, 2016. Staff recommends a condition of approval requiring revisions sufficient to address items from Foth's June 10, 2016 letter.

BUILDING PERMIT
ISSUANCE:

Pursuant to standard city practice, the Building Department will not issue building permits until all major construction has been completed, the final plat filed and recorded and a punch list created for all outstanding items. Prior to acceptance of the public improvements, the Building Department will issue no more than two permits for the subdivision.



June 10, 2016

Aaron Wolfe, Senior Planner
City of Johnston, P.O. Box 410
6221 Merle Hay Road
Johnston, IA 50131

RE: Canterbury Woods Plat 2, Preliminary Plat
Development Review 2
Case No. PZ 16-15

Foth Infrastructure and Environment, LLC has completed a review of the site plan and preliminary drainage submittal received June 8th, 2016 for the above referenced project. Based on our review, the following comments are offered:

Preliminary Plat

1. Submit SWMP including storm sewer design.
2. Submit SWPPP and NPDES General Permit for review.
3. Display 100 year flood elevation line around detention areas.
4. Add note at beginning of proposed water main of how to connect to the existing main.
5. Revise proposed "storm sewer easement" callout to "sanitary sewer easement"
6. Specify radius of hydrant coverage.
7. F/G of sanitary MH 2 appears to be referencing existing grade, adjust to proposed grade to provide proper coverage of sanitary main.
8. Intake 10(existing) will need to be a SW-503 to accommodate proposed pipe. Also display any roadway removals needed to make connection.
9. Specify existing pavement removals for sanitary sewer pipe under roadway. Recommend removing all pavement from end of existing pavement to NW removal line for sanitary sewer installation.

Please contact me at 515.251.2552 if you have questions or comments.

Sincerely,

Foth Infrastructure & Environment, LLC

A handwritten signature in blue ink that reads "Tyler Anderson".

Tyler Anderson, P.E.
Civil Engineer

TMA: file



MEMORANDUM

City of Johnston, Iowa

DATE: May 25, 2016

TO: John Larson, Canterbury Woods LLC
Mark McMurphy, PE/PLS., Abaci Consulting, Inc.

FROM: Aaron Wolfe, AICP
Senior Planner

RE: Canterbury Woods Plat 2, Preliminary Plat

The following are comments on the Preliminary Plat for Canterbury Woods Plat 2. These comments are in addition to comments provided by Josh DeBower, P.E., Foth Infrastructure and Environment, LLC and Johnston Public Works:

1. In addition to the R-1(75) district bulk regulations, lots in Canterbury Woods are affected by a development agreement approved with Silverstone Plat 1. Amend note Z2 to reflect the following bulk regulations:
 - Lot Area: 12,500 sq. ft.
 - Lot Width: 87 ft.
 - Front Setback: 35 ft.
 - Side Yard: 9 ft. one side – 19 ft. total*
 - Rear Yard: 35 ft.
2. Label lot width at setback to insure compliance with above-listed lot width requirements.
3. Indicate fire hydrant locations and service coverage area. Fire hydrants must be spaced no greater than 600' in residential areas. Provide fire hydrant coverage sufficient to satisfy this code requirement. Include coverage circle radii.
4. The Preliminary Plat shall include an inventory of existing trees. Chapter 145 of the Code of Ordinances details this code requirement as follows:
145.02.9.J. An inventory of trees and existing vegetation in the disturbed area is required, showing:
 - (1) All existing trees of six-inch caliper (diameter) and larger within the area to be disturbed with species type, condition and location; and
 - (2) Identification and location of staked barrier fence at grading limit line to protect existing trees to remain. Trees outside the area to be disturbed shall be protected as required by this chapter.
5. Adjust line weights to better illustrate existing grade contours.
6. Sanitary sewer cannot be located under street
7. Show water main, storm and sanitary service for each lot (required to be located in the center of the lot, with the storm sewer 18 inches to the left and the sanitary sewer 18 inches to the right).
8. Indicate size of water, sanitary and storm sewer mains.

9. The Canterbury Place R-O-W extends into an existing conservation easement and depicts the removal of existing trees required to meet buffering requirements of the Comprehensive Plan for development of lots adjacent to properties zoned RE, Residential Estate. Conservation easement likely must be vacated appropriately to allow pavement and removal of trees (pending easement language).

Lots adjacent to the east and south boundaries of the property are required to be 1.5 acres in size with a 120 foot rear yard setback or have a **60 foot rear yard setback if an adequate natural buffer exists**. The 60' conservation easement was established toward meeting the aforementioned requirement. As this plan will diminish said buffer, please provide a plan for meeting the intent of this requirement.

10. The provisions of the Parkland Dedication Ordinance are applicable to this site, as such the applicants are responsible for the dedication of a minimum of 0.0447 acres of parkland, which is calculated as follows:
 - o 2.98 people per dwelling X 3 single-family dwellings X 0.005 acres of parkland per person = 0.0447 acres.

In lieu of the dedication of public parkland the applicants are considering a cash payment to be allocated for parkland improvements in the area. The ordinance allows the developer to request an alternative to the dedication provided the alternative has a value equal or greater to that of the required parkland. Consistent with past agreements, the amount per acre shall be \$28,000 or \$1,251.60 for the lots proposed within the subject plat. Pursuant to the Parkland Dedication Ordinance, the approval of the Preliminary Plat is subject to the developer's execution of a development agreement prior to the City Council's approval of the Final Plat.

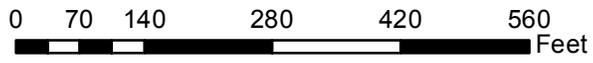
11. This property is within the Northwest Area Water District, payment of the \$1,750 per acre fee is required prior to City Council approval of the Final Plat. The water district connection fees for the subject plat are calculated as follows: 6.614 acres (total area - outlot) x \$1,750/Acre = **\$11,574.50**
12. This property is within the Northwest Area Sanitary Sewer Connection District, payment of the per-acre fee is required prior to City Council approval of the Final Plat. The sanitary sewer district connection fees for the subject plat are calculated as follows: 6.614 acres (total area) x \$3,200/Acre = **\$21,164.80**

Revisions submitted by June 1st are scheduled for review by the Planning and Zoning Commission at their June 13th 2016, meeting and the June 20th, 2016, City Council meeting. In order to proceed on this schedule please submit 4 full size and 4 – 11x17 inch reductions by Wednesday, June 1st, 2016. Please provide a letter detailing changes to the items noted above.

If you have any questions, please contact me at 727-7766 or by email at awolfe@cityofjohnston.com

cc: Josh DeBower, P.E., Foth
Dave Cubit, Public Works Director
Matt Greiner, Construction Inspector

Canterbury Woods Plat 2 Vicinity Map



Notice of Public Meeting

June 9th, 2016

The Johnston **Plan and Zoning Commission** will hold a Public Meeting at **7:00 pm on Monday, June 13th, 2016 (please disregard earlier notice with erroneous date)**. This meeting will be held in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road to consider the following item:

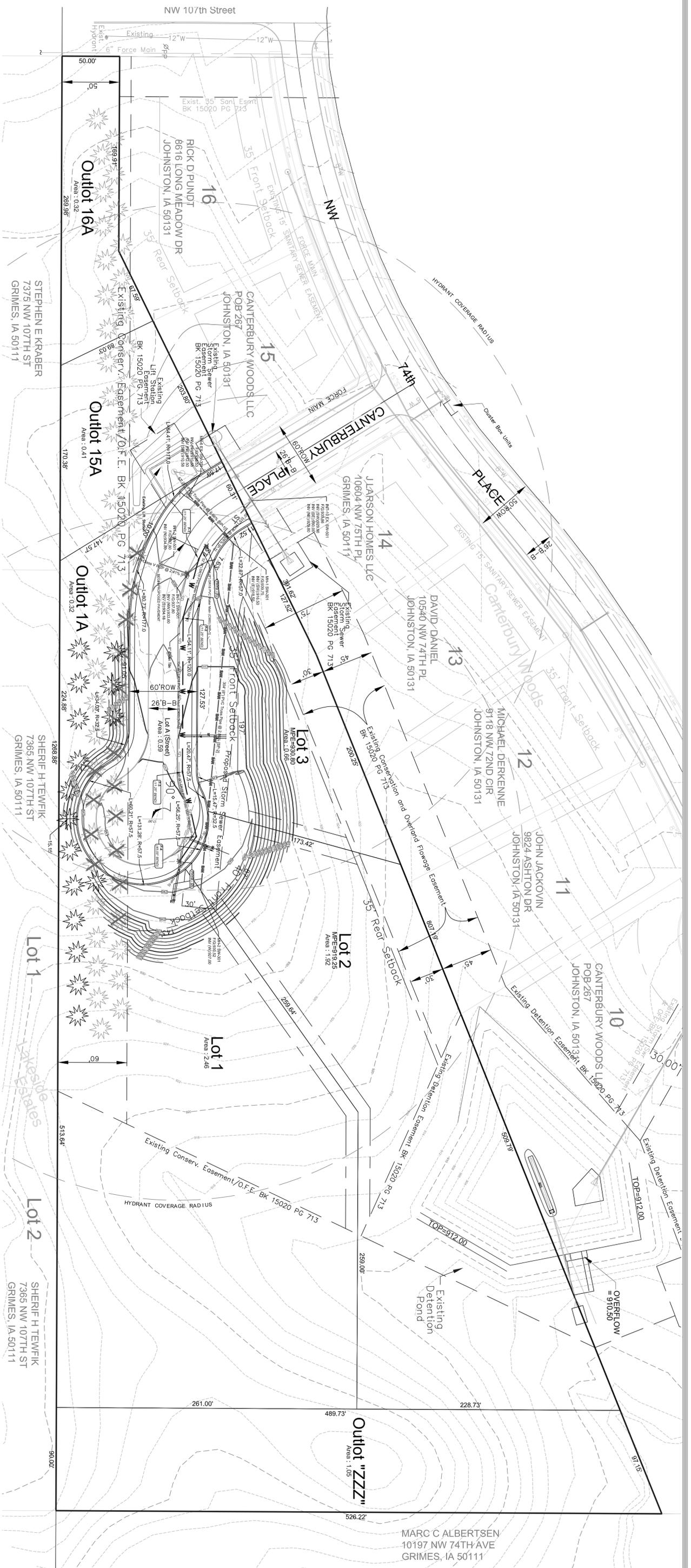
PZ Case No. 16-15; Canterbury Woods Plat 2 Preliminary Plat

The applicant, Canterbury Woods, L.L.C., is proposing to subdivide a 7.664-acre Outlot ZZ of Canterbury Woods Plat 1 into 3 single-family residential lots. The property is zoned R-1(75) with restrictions based upon a Development Agreement entered into as part of the rezoning of the property. The proposed preliminary and final plats are available at the link below.

If you have questions or comments on the above-described action, please contact the city staff person listed at the bottom of this card, or attend the meeting at the above-listed date and time. Additional information, is available under the "proposed development" section of the City's Website: <http://www.cityofjohnston.com/Index.aspx?NID=435>.

Aaron Wolfe, Senior Planner
Johnston City Hall; 6221 Merle Hay Road; Johnston, IA 50131
Phone: 727-7766; Email: awolfe@cityofjohnston.com

NAME	ADDRESS	CITY, STATE, ZIPCODE
MARC ALBERTSEN	10197 NW 74TH	GRIMES, IA 50111-8750
STEPHEN KRABER	7375 NW 107TH	GRIMES, IA 50111-1078
SHERIF TEWFIK	7365 NW 107TH	GRIMES, IA 50111-1078
BROOK RIDGE BUILDERS LLC	7070 FOREST	JOHNSTON, IA 50131
DOUGLAS KUMM	9021 ILTIS	URBANDALE, IA 50322-7411
CANTERBURY WOODS LLC	POB 267	JOHNSTON, IA 50131
RICK PUNDT	8616 LONG MEADOW	JOHNSTON, IA 50131
DAVID DANIEL	10540 NW 74TH	JOHNSTON, IA 50131-2292
JOHN JACKOVIN	9824 ASHTON	JOHNSTON, IA 50131
ALISSA WEBER	10633 NW 74TH	JOHNSTON, IA 50131-2342
OAK CREST HOMES II LLC	7070 FOREST	JOHNSTON, IA 50131
J LARSON HOMES LLC	10604 NW 75TH	GRIMES, IA 50111-1089
KRISTOPHER LAUB	9425 CENTURY WOODS	JOHNSTON, IA 50131-2875
BERTMAN BRAUD	10537 NW 74TH	JOHNSTON, IA 50131-2292
JOHN CORREY	9509 TWIN EAGLES	JOHNSTON, IA 50131
MICHAEL DERKENNE	9118 NW 72ND	JOHNSTON, IA 50131
SHANNON WOODS	10657 NW 74TH	JOHNSTON, IA 50131-2342
MARC ALBERTSEN	10197 NW 74TH	GRIMES, IA 50111-8750



MARC C ALBERTSEN
10197 NW 74TH AVE
GRIMES, IA 50111

LEGAL DESCRIPTION:

Parcel 22, Canterbury Woods, Official Plat, Johnston, Polk County, Iowa.
Containing 7.64 Acres.
Zoned R-1(70), Single Family Residential.
Z1) Existing zoning and proposed zoning is R-1(70), Single Family Residential.
BULK REGULATIONS
REQUIRED 12,500 sq. ft., 12,500 sq. ft. MIN.
LOT AREA 35' 35'
FRONT YRS 91'19" sum
SIDE YRS 35'
REAR YRS 35'
Z2) See the Zoning Ordinance for additional requirements/exceptions.
Z3) No variances are proposed for this development.
Z4) This site is not within any Overlay District.

PROJECT NOTES

- PLANNING/PREPARING NOTES**
P1) This site is not within any Overlay District.
P2) No storm or sanitary manholes, inlets or fire hydrants shall be located to conflict with sidewalk, walk or driveways.
P3) The proposed pavement will be 7.25" thick PCC.
P4) The proposed PCC sidewalk is to have a cross-slope of 2%.
- UTILITY NOTES**
U1) Water supply is provided by the City of Johnston.
U2) The sanitary sewerage treatment is provided by Mid-American Energy, Phone 1-888-427-5632
U3) The proposed electric and gas supply are provided by the City of Johnston.
U4) Maintain 5.0' minimum cover at all water lines. At sewer crossing maintain 10' minimum vertical clearance and 10' minimum horizontal clearance.
U5) The utility shown here are for Preliminary Plan purposes only. In the event of a discrepancy between this and the detailed construction and any City of Johnston Supplemental Specifications except where explicitly indicated otherwise.
U6) In any area where a PUE overlaps a designated City of Johnston utility easement, the use of the PUE by any public utility is subordinate to the designated utility easement. The individual lot developer shall verify the sanitary sewer service lateral elevation prior to construction.
U7) The individual lot developer shall verify the sanitary sewer service lateral elevation prior to construction.
U8) In any area where a PUE overlaps a designated City of Johnston utility easement, the use of the PUE by any public utility is subordinate to the designated utility easement. The individual lot developer shall verify the sanitary sewer service lateral elevation prior to construction.
U9) The individual lot developer shall verify the sanitary sewer service lateral elevation prior to construction.
- JURISDICTIONAL SPECIFIC NOTES**
J1) The 2014 edition Iowa Standard Specifications for Public Improvements (SSDIs) shall apply to all work shown on this plan.
J2) Obtain permit or written approval from the City/County or State prior to commencing work within the right-of-ways. The contractor is responsible for any and all traffic control which shall be in accordance with the Manual of Uniform Traffic Control Devices.

ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
101 NE CIRCLE DR., GRIMES, IOWA 50111, PH. (515)986-5048

LEGEND:

SYMBOL	DESCRIPTION
(R)	EXISTING ROAD
(P)	PROPOSED ROAD
(S)	EXISTING SANITARY SEWER
(E)	EXISTING ELECTRIC
(G)	EXISTING GAS
(W)	EXISTING WATER
(H)	EXISTING HYDRANT
(T)	EXISTING TREE
(C)	EXISTING CURB
(D)	EXISTING DRIVEWAY
(F)	EXISTING FENCE
(L)	EXISTING LOT
(P)	PROPOSED LOT
(S)	PROPOSED SANITARY SEWER
(E)	PROPOSED ELECTRIC
(G)	PROPOSED GAS
(W)	PROPOSED WATER
(H)	PROPOSED HYDRANT
(T)	PROPOSED TREE
(C)	PROPOSED CURB
(D)	PROPOSED DRIVEWAY
(F)	PROPOSED FENCE
(L)	PROPOSED LOT



Vicinity Map
Not To Scale

REVISION	DATE	DESCRIPTION
1	5-15-2016	1st Submittal
2	6-15-2016	2nd Submittal

PROJECT:
CANTERBURY WOODS PLAT 2, PRELIMINARY PLAT
JOHNSTON, POLK COUNTY, IA

DESIGNED BY:
CANTERBURY WOODS, LLC

DRAWN BY:
JRS

CHECKED BY:
MM

DATE OF DRAWING:
6/10/2016

JOB NO.:
15063

DRAWING NO.:
16-00954

SHEET NO.:
1 OF 1



HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED AND THE SIGNATURE AND SEAL ARE MY OWN AND I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

MARK A. MCMURPHY
DATE

ENGINEER/SURVEYOR
attn: Mark A. McMurry, PE/PS
Abaci Consulting, Inc.
101 NE Circle Dr.
Grimes, IA 50111
Ph: (515) 986-5048
Fax: (515) 986-0588
mark@abaciconsulting.com

OWNERS/DEVELOPER
attn: John Larson
Canterbury Woods, LLC
PO Box 267
Johnston, Iowa 50131
Ph: 315-491-4090
Fk: 315-276-1196
email: johnlarson89@gmail.com

in the 2030 Land Use Plan. Due to the likely phased redevelopment of the Roughwood areas, such rezonings should be sufficiently sized so as to provide sufficient developable area to meet all zoning ordinance bulk requirements, including adequate buffering, traffic access and open space.

RWA.2. As part of the rezoning of any parcels, the following items should be addressed:

- a. Specific buffer and screening standards shall be required between commercial and existing residential uses, even if such residential units are identified as commercial or office uses in the future.
- b. Commercial uses that are less compatible with residential neighbors, such as convenience stores, car washes and fast food restaurants with drive through windows shall not be permitted.
- c. Sites shall be designed in a manner which orients the active portions of the site away from the adjacent single family residential uses. As such traffic movements, parking lots, lighting and other active uses should be oriented to NW 86th Street or NW 54th Avenue while open spaces and landscaping are oriented to the boundary with existing residential uses. This type of site design may require flexibility in setbacks and other bulk requirements.
- d. A traffic study shall be conducted that analyzes the development impact on NW 54th Avenue/NW 86th Street and the overall transportation system in the area. This study should also address the appropriate locations and restrictions on any proposed driveways or street connections.
- e. The city will continue to monitor the Roughwood area in the future to determine if the impacts of traffic and other factors make it appropriate to expand the boundaries of the portion of the neighborhood currently designated as Mixed Use.

RWA.3. Any development or redevelopment within the Roughwood area shall extend and connect to the city's sanitary sewer and water systems, including fire protection.

RWA.4. Upon majority request of the property owners or other regulatory mandate, city sanitary sewer and water service, including fire protection, shall be extended into the single family residential areas. These services would be funded through traditional funding methods including property assessments or connection fees.

Northwest Area

The Northwest Area lies southwest of Camp Dodge, west of NW 86th Street and north of NW 70th Avenue. A comprehensive plan amendment in 2006 addressed the area as follows:

Background

In 1990, Polk County initiated efforts to apply new zoning within the Northwest Area. At the time, 1-acre parcels were being created which complied with the zoning then in place. The zoning was subsequently amended to a minimum of 3-acre lot size to slow growth. The result was the establishment of numerous 3-acre lots in the area. In the mid 1990s, the physical boundaries of Camp Dodge were expanded.

In 1995, Johnston and Grimes reached agreement on an annexation moratorium agreement that established NW 107th Street as the future boundary between the communities south of NW 78th Avenue and Highway 141 as the boundary north of NW 78th Avenue. The agreement specified that neither city would voluntarily or involuntarily annex on the opposite side of the dividing line.

In 1997, the city established the NW Expansion Area Water District. Establishment of the

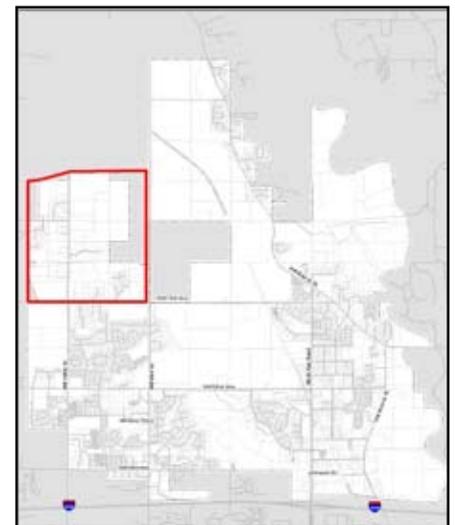


Figure 5.12 Northwest Planning Area

district was precipitated by several proposed subdivisions desiring to develop on private wells. In lieu of wells, the city created a plan to extend a water mains into the area with developers agreeing to finance the early indebtedness of the project. The subdivisions included Candleridge Estates in Johnston, and Pinecrest Estates and Myra Lynn Estates in Polk County.

Irrevocable Petitions for Annexation were put in place in as part of the agreement to provide municipal water service. The properties would have been annexed except that they were not contiguous to the city at the time. The petitions constituted an agreement that initiated annexation when the properties became contiguous. A water connection district was created to provide collections for retiring the remainder of the debt for the installed water main. A per-acre fee was established based on the minimum parcel size allowed by the zoning. This was done to permit larger acreages to pay a minimum fee based upon the usage, and not the total parcel area. However, the agreement stipulated that if a property subdivided into additional parcels, the payment of the connection fee would also be due. The water service was subsequently extended to NW 78th Avenue, and west along NW 78th Avenue. A large portion of the Northwest Area was annexed, including the existing residential areas, in 2008.

During the update of the Johnston Comprehensive Plan in 1996 - 1998, the Northwest Area was the subject of a special meeting to address the particular needs of the area. The 1998 Plan took the position that rural lots may be the future direction of the area. This conclusion was influenced by the desire by residents to maintain that minimum lot size, and what appeared to be a high cost of extending sanitary sewer to the area.

In 2004, the City Council authorized completion of the Northwest Area Utility Service Master Plan. The master plan addressed water supply, sanitary sewer service, and storm drainage. However, the primary focus was on sanitary sewer. The City Council also adopted the Northwest Sanitary Sewer District.

Factors Influencing Future Development Patterns

The predominant land use in the Northwest Area has historically been agriculture with increasing amounts of large-lot residential. Development in the northwest area has focused along NW 100th Street which bisects the area. Camp Dodge lies immediately north and east of the Northwest Area. Abutting Camp Dodge on the east is the Beaver Creek Golf Course. The other business area is the commercial development in the southwest quadrant of NW 70th Avenue and Highway 141 in Grimes. Much of the existing residential development flanking NW 100th Street is low intensity development and the area has a rural character.

Natural features can also influence the extent and character of development. They can represent constraints to development or opportunities for future development. Both exist within the northwest area. The existing 1998 Johnston Comprehensive Plan included an examination of natural features for the entire city and its environs. A more site-specific look at natural resources occurred as part of the Northwest Area study.

Land Use Plan (2006) and 2030 Land Use Plan

In 2006, Johnston amended its comprehensive plan by incorporating the 2006 Land Use Plan shown as Figure 5.13. That plan included the following land use categories:

LDR2 – The Low Density Residential 2 category included single-family detached homes at a density of .34 du/ac (3-acre lots). LDR2 areas were to be assigned the Estates District classification when incorporated into the city.

LDR – The Low Density Residential category included housing with a lot size of one acre or larger.

MDR – The Medium Density Residential category accommodated residential uses at a density ranging from one to six units per acre.

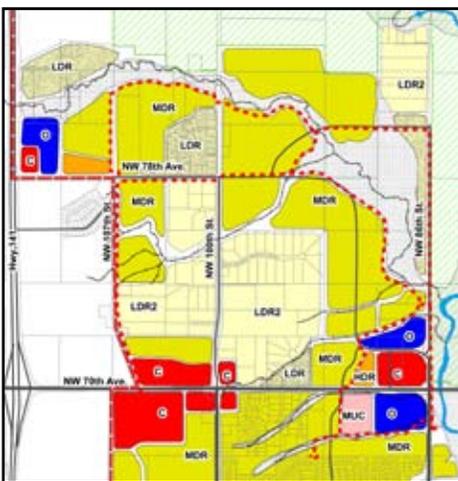


Figure 5.13 - 2006 Johnston Land Use Plan

HDR – The High Density Residential category accommodated multi-family housing at densities exceeding six units per acre. High density uses were further limited to eight units per acre per the plan amendment that was put into place in 2006.

Commercial – This category included retail and service commercial uses that serve neighborhood, community and regional markets.

Office – This category includes professional offices and services such as medical, law, real estate and financial businesses.

The 2030 Land Use Plan which is shown in Figure 5.14 retains the general land use directions adopted by the city in 2006 with some minor changes. One of those changes is the land use categories. A detailed breakdown of the land use categories associated with the 2030 Land Use Plan can be found in Table 5.2. The following is a brief summary of those categories applicable to the Northwest Area.

RDR - Rural Density Residential includes single-family detached housing at a density not to exceed two units per acre. The previous LDR2 category used in the 2006 plan is consistent with the new RDR category.

LDR - Low Density Residential includes housing with densities that generally range from two to five units per acre. The MDR category used in the 2006 plan is largely consistent with the new LDR category (1 to 6 units per acre compared to 2 to 5 units per acre).

MDR - Medium Density Residential includes residential uses at densities that range from five to eight units per acre. The new MDR category largely incorporates the previous MDR category (5 to 8 units per acre compared to 1 to 6 units per acre). The new MDR category was refined to better define densities for attached housing products.

HDR - High Density Residential includes multi-family housing at densities exceeding eight units per acre. The 2006 HDR category limited development at 8 units per acre.

Commercial - The commercial land use category includes retail and service commercial land uses that serve neighborhood, community and regional markets. This category remains unchanged from the 2006 amendment.

Office - The office land use category includes lots or parcels that contain professional offices and services such as medical, law, real estate and financial businesses. This category remains unchanged from the 2006 amendment.

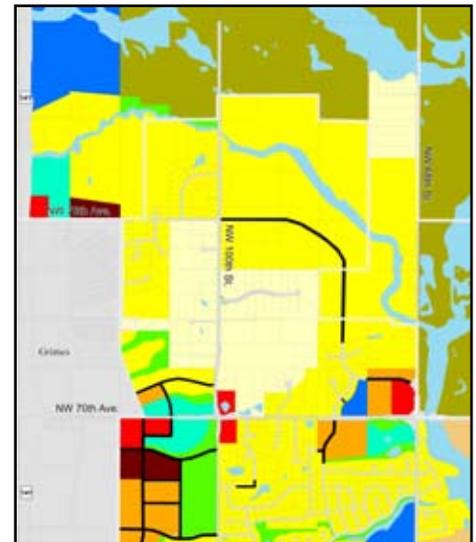
Public and Quasi-Public (P/QP)- Public and quasi-public uses include churches, schools, cemeteries, golf courses, local government facilities and other parcels that are owned by a public or quasi-public entity.

Park/Open Space (P/OS) - The park and open space category includes land owned by the City of Johnston. Parks and open space are discussed in detail in the Parks and Recreation chapter of this plan.

The primary changes included in the 2030 Land Use Plan as compared to the Land Use Plan prepared in 2006 involve the areas immediately north of NW 70th Avenue at NW 100th Street and immediately northwest of the intersection of NW 70th Avenue and NW 86th Street. The 2030 Land Use Plan retains the direction established in 2006 for residential properties.

North of NW 70th Avenue at NW 100th Street, the new plan refines the former commercial area by breaking it down into a tier of office use abutting NW 70th and a small area of medium density housing and park/open space to the north. Further east along NW 70th Avenue at NW 86th Street, the plan refines the area in the northwest and southwest quadrants of the intersection as shown.

The policies and action steps below are in addition to or to supplement those contained in



- Rural Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial
- Office
- Parks & Open Space
- Public & Quasi-Public
- Camp Dodge

Figure 5.14 - 2030 Johnston Land Use Plan



this Plan. They are unique to the Northwest Area.

Northwest Policies

NWAP.1. Maintain rural neighborhoods and anticipate intensified development in agricultural areas.

NWAP.2. Accommodate infill development that is consistent with existing development patterns and density where existing topography and soils are appropriate.

NWAP.3. Continue to design and fund sanitary sewer service and other capital improvements to the area. New development shall be served by sanitary sewer service.

NWAP.4. Create a quality living environment that is adapted to the natural environment.



Northwest Action Steps

NWA.1. The 2030 Land Use Plan shall direct the future development of the area. LDR generally follows the sanitary sewer corridor. The density in LDR is variable (2 to 5 du/ac) and affected by the proximity of existing rural development that requires feathering of lot sizes (see transitions below-item e.), and the Little Beaver Creek floodplain that is the dominant feature in the area. It is therefore impractical to assign a maximum density to these areas.

The 2030 Land Use Plan is further refined to direct future growth in the Northwest Area, including the LDR designation as follows:

a. Along Little Beaver Creek a buffer of 100 feet on either side of the streambed of plant material specifically designed to remove stormwater pollutants before the surface water flow enters the creek. Along lesser tributaries to Little Beaver Creek and Beaver Creek, a buffer of 50 feet should be provided.

b. RDR in the Northwest area shall have a density of 0.34 du/acre (equivalent to a 3-acre lot).

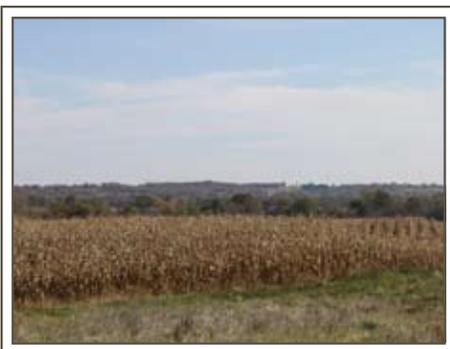
c. HDR shall be limited to a density of 8 du/acre.

d. The LDR designation in the Northwest Area is unique due to the many design influences that exist. The overall average density is envisioned to be approximately 2.0 DU/AC. Exceptions may be made provided that the transitions noted in paragraph e. are met. The exceptions may be made based on exemplary efforts to incorporate the following:

- » *The addition of neighborhood focal point central to the Little Beaver Creek valley, such as a lake or park land provided.*
- » *The preservation of natural features and conservation design techniques, or*
- » *The incorporation of high quality design through amenities provided or alternative lifestyle opportunities.*

e. Transitions shall be provided when development is proposed adjacent to the two LDR areas that were formerly classified as LDR (Figure 5.13 compared to Figure 5.14). The transitions shall be implemented as part of annexation agreements, development agreements, planned unit development ordinances, or any subdivision plat contiguous to an area designated LDR in the 2006 Land Use Plan. The transition would be accomplished either through the use of natural buffers such as changes in topography or natural vegetation or the following performance measures to cause lot sizes to change gradually:

- » *New lots created contiguous to an existing area within a 3-acre lot designation (RDR) shall be no less than 1.5-acres in size. The minimum setback adjacent to an RDR designated area shall be 120 feet.*
- » *New lots created contiguous to an existing 1-acre lot designation (LDR in the 2006 Land Use Plan – Figure 5.13) shall be no less than 20,000 sq. ft. in size.*



- » *New lots created opposite a public street from existing 3-acre lots designated RRD shall be no less than 1.5 acres in size and shall provide the same front yard setback as the opposing district requires.*

NWA.2. Future development shall reflect the policies and recommendations found in the Watershed Assessment and Stormwater Management Plan, December 2009.

NWA.3. Consider amending the zoning ordinance to provide a clustering provision in Districts in addition to District RE (3-acre minimum) to allow flexibility in lot design.

NWA.4. Natural resources in the Northwest Area shall be preserved. The wooded areas and steep slopes on the west should be retained. New development shall preserve significant natural resources through the use of cluster and other mechanisms. The city shall obtain conservation easements or accept dedication of environmentally sensitive areas where its disturbance may adversely affect water quality or the scenic quality of the area.

Merle Hay Road Redevelopment Area

The Merle Hay Road Redevelopment Study was completed by RDG Planning and Design in 2007. Text in this section of the comprehensive plan is largely taken directly from the study and is intended to endorse the study's recommendations as part of this comprehensive plan.

The redevelopment study contained an analysis of existing conditions and specifically, existing land uses along Merle Hay Road. Figure 5.16 depicts the current usage in the corridor. Many of the Merle Hay Road frontage parcels north of 62nd Avenue remain in

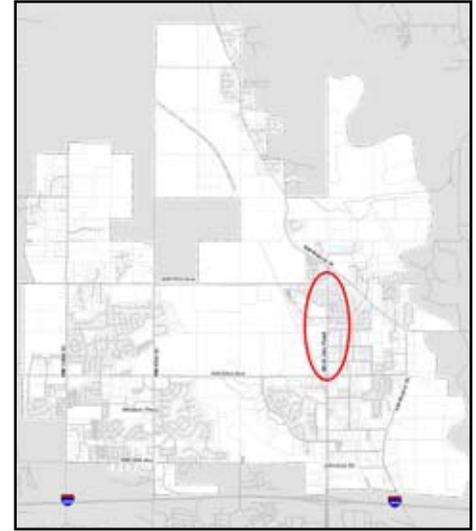


Figure 5.15 Merle Hay Road Redevelopment Area

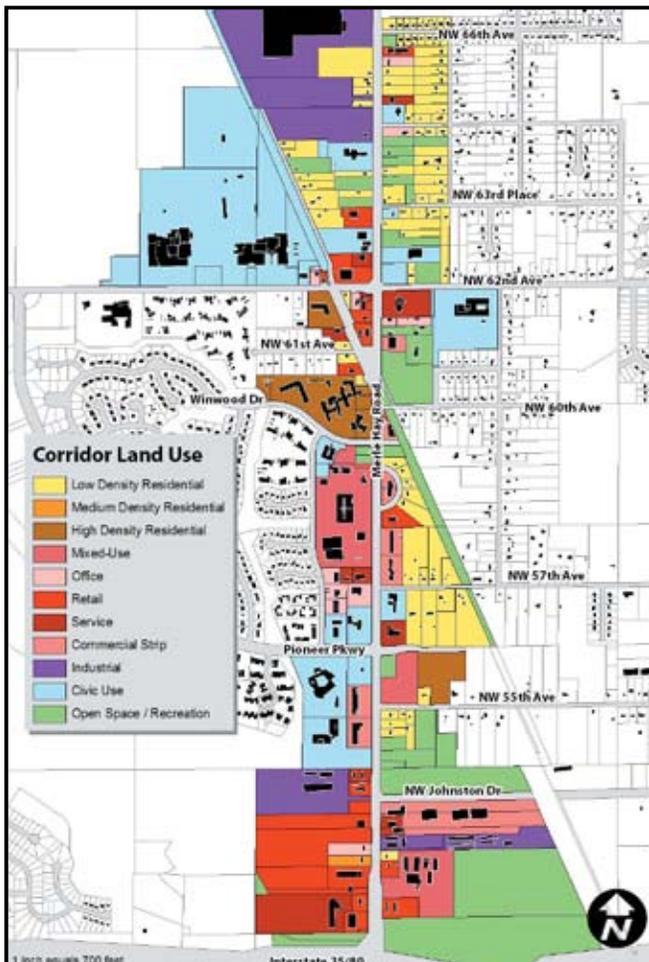


Figure 5.16 Merle Hay Road Existing Land Use 2007



Figure 5.17 - Merle Hay Road Mixed Use Center Plan Components