



PLANNING AND ZONING COMMISSION
Regular Meeting
Monday, February 29, 2016

Notice is hereby given that the **Planning and Zoning Commission** will hold a **Regular Meeting at 7:00 p.m. on Monday, February 29th, 2016**, in the Council Chambers of Johnston City Hall, 6221 Merle Hay Road, Johnston, Iowa, to discuss the following business:

AGENDA:

1. **Call to Order**
2. **Roll Call**
3. **Approval of Agenda**
4. **Approval of Meeting Minutes:** Regular Meeting of January 11, 2016
5. **PZ Case No. 16-02; Crosshaven Plat 7 Preliminary Plat;** The applicant, Hubbell Properties I, L.C., has submitted an amended preliminary plat for Crosshaven Plat 7 subdividing 57.62 acres into 71 lots and two outlots. The subject property is located east of NW 100th Street and south of Little Beaver Creek.
6. **Other Business:**
 - **Update on FEMA FIRM mapping update**
 - **Update on the Special Census**
7. **Adjournment**

Next Scheduled Regular Meeting: Monday, March 14, 2016.

Posted on or before February 28, 2015 at: Johnston City Hall, Johnston Public Library, Johnston Post Office, Johnston Public Works, Crown Point Community Center, and Johnston Website (<http://www.cityofjohnston.com/agendacenter>)



PLANNING & ZONING COMMISSION

City of Johnston
 6221 Merle Hay Road, Johnston, IA 50131

Minutes
 Regular Meeting: Monday, January 11, 2016

AGENDA

1. Call to Order

Chairman Petersma called the meeting to order at 7:00 p.m.

2. Roll Call

| | Spencer | Severino | Johnson | Smith | Whitaker | Petersma | Anderson |
|----------------|---------|----------|---------|-------|----------|----------|----------|
| Present | X | X | X | X | X | X | X |
| Absent | | | | | | | |

City Staff Present: David Wilwerding, Aaron Wolfe, Clayton Ender

3. Approval of Agenda

Petersma called for a vote to approve the agenda.

| | Spencer | Severino | Johnson | Smith | Whitaker | Petersma | Anderson |
|----------------|---------|----------|---------|-------|----------|----------|----------|
| Aye | X | X | X | X | X | X | X |
| Nay | | | | | | | |
| Abstain | | | | | | | |

4. Approval of Meeting Minutes: Regular Meeting of November 30, 2015

Petersma called for a vote to approve the minutes of November 30, 2015.

Roll Call Vote:

| | Spencer | Severino | Johnson | Smith | Whitaker | Petersma | Anderson |
|----------------|---------|----------|---------|-------|----------|----------|----------|
| Aye | X | X | X | X | X | X | X |
| Nay | | | | | | | |
| Abstain | | | | | | | |

5. PZ Case No. 15-41; Crosshaven Outlots Plat 2; The applicant, Hubbell Properties I, L.C. proposes to subdivide a 58.36 acre parcel into 3 unbuildable outlots to facilitate a 1031

property exchange. The subject property is located east of NW 100th Street and north of Little Beaver Creek.

Wilwerding presented the staff report.

Motion by Anderson, second by Spencer to approve PZ Case No. 15-41, the Final Plat for Crosshaven Outlots Plat 2, subject to the following conditions:

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.
2. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.

Roll Call Vote:

| | Spencer | Severino | Johnson | Smith | Whitaker | Petersma | Anderson |
|----------------|----------------|-----------------|----------------|--------------|-----------------|-----------------|-----------------|
| Aye | X | X | X | X | X | X | X |
| Nay | | | | | | | |
| Abstain | | | | | | | |

6. PZ Case No. 15-40; Coons Heights Plat 2, Preliminary and Final Plats; The applicant, Art Coons, has submitted a Preliminary and Final Plat to subdivide 1.49 acres at the NE corner of NW Beaver Drive and Forest Drive.

Wolfe presented the staff report. Wolfe noted public correspondence was received which is included in the meeting packet, and further noted additional correspondence between staff and neighboring properties and from Mr. Coons attorney, Ben Bruner, were provided on the dais prior to the meeting.

Art Coons, 6921 NW Beaver Drive, the applicant, indicated he did not wish to make any comments.

Larry Gulleen, 7050 Forest Drive, believes there are positives to having a lot subdivided here, but noted concerns after the process of the last year and a half. Specifically, Mr. Coons has noted previously that if he couldn't build an accessory building he would build a large garage with a small rental unit, which causes concerns. Mr. Gulleen noted several provisions outlined in the January 8, 2016 letter from Michele Brott. Mr. Gulleen provided a copy of the 1988 Board of Adjustment application in which Mr. Coons was granted a variance for a garage in the side yard. Mr. Gulleen stated that the existing accessory building is a trespass because the eave overhangs the neighbor's property that needs to be resolved prior to a subdivision action.

Petersma inquired how a non-conforming structure could impact a subdivision action. Gulleen responded that it is there attorney's opinion it has to be addressed prior to a subdivision.

Jack Davis, 6917 NW Beaver Drive, stated they are the adjoining owner affected by the non-conforming structure and they would like it addressed, but have never proceeding with legal proceedings to address it.

Art Coons stated that he previously owned the property where the Davis's now live, and they have never addressed him wanting to remedy the situation, which is approximately an 8 inch eave overhang on one corner of the garage. He is willing to remedy the situation; however, their driveway also encroaches on his property, which he would expect to also be addressed.

Mr. Gulleen stated their desire for a minimum square footage requirement for a single family home on Lot 2, at a minimum, but the preference would be to incorporate this lot into the existing Forest Drive covenants so those property owners could enforce them. Mr. Gulleen noted that the original Board of Adjustment information showed the septic leach field in an area which is very different than what is shown on the preliminary plat and he believes it is actually outside of the easement area. Mr. Gulleen requested the Commission delay action on the plat until the eave issue is resolved, include a recommendation on the minimum house size on Lot 2 and make sure the septic tank leach field location is addressed.

Wolfe stated that proposed condition # 4 references the notes on the plat which would require both lots to connect to the sanitary sewer system when the new structure connects on Lot 2.

Matt Bednar, 7011 Forest Drive, noted that the Board of Adjustment action affirmed the 35 foot setback along the north property line of the Coons property that action could have been challenged by Mr. Coons but was not so is now final.

Mr. Coons noted that the 35 foot setback line doesn't pertain to this plat, noting it was required at the time because a road was originally envisioned along the north side of his property and the City required a 35 foot setback.

Wolfe clarified that setbacks can change when properties are replated and the case law cited in the Brott letter were reviewed by the City's Attorney's and they did not find them to be applicable. Wolfe clarified the 1988 Board of Adjustment action was to allow an accessory building in the side yard, but did not specify a specific distance the structure had to be from the property line. A two foot side yard setback was permitted at that time.

Anderson inquired about the covenants issue. Wolfe clarified that the City has never required covenants to be put into place requiring a minimum house size, but the subdivision regulations do permit covenants to be required.

Mr. Gulleen noted that when the variance was granted the site plan showed a 5 foot setback, and now this is an issue of trespass laws, that needs to be addressed and further covenants are needed to prevent against Mr. Coons threat to build a large garage with an apartment.

Mary Davis, 6917 NW Beaver Drive, indicated she's the lot owner to the east where the existing garage overhangs their property line. The garage was there when they built their house, but they weren't aware of the issue.

Petersma closed the public comment period at 7:53 p.m.

Severino noted that much of the information was received late, so case law couldn't be reviewed, so he is relying on the advice of the City Attorney. Severino stated that is a sad situation where people are trying to get one up on one another, but he doesn't believe the Commission has the authority to stop a plat that meets all of the City's requirements.

Smith noted her agreement with Severino's statement. Smith doesn't believe the trespass issue is something that is within the authority of the Commission. Whitaker concurred with Severino and Smith's statements.

Motion by Smith, second by Whitaker to approve PZ Case 15-40, the Preliminary and Final Plats for Coons Heights Plat 2 subject to the following conditions:

1. The project shall be in conformance and in accordance with the requirements, standards and regulations of the City of Johnston, and any other requirement of state or federal law or administrative rule.
2. Submission of all Final Plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.
3. Prior to Council approval of the Final Plat the applicant shall submit a petition and waiver for future NW Beaver Drive improvements.
4. Lots 1 and 2 are required to connect to sanitary sewer, the timing and installation of which is detailed on the plat.
5. The Preliminary Plat shall be amended to address the following items:
 - a. Indicate the location and size of existing sanitary sewer on NW Beaver Drive and means/method of connecting to such.
 - b. Address all outstanding comments provided by Foth Infrastructure & Engineering, LLC. in their letter dated January 8, 2016.

Petersma moved to amend the motion to add condition # 6, requesting the City Council strongly consider establishing a minimum square footage requirement and other aesthetic characteristics deemed appropriate to ensure the single family home on the proposed Lot 2 matches the character of the neighborhood. Seconded by Smith.

Johnson noted concern that such a requirement could be considered spot zoning and that would be a concern.

Roll Call Vote on the Motion to Amend:

| | Spencer | Severino | Johnson | Smith | Whitaker | Petersma | Anderson |
|----------------|---------|----------|---------|-------|----------|----------|----------|
| Aye | | | | X | | X | X |
| Nay | X | X | X | | X | | |
| Abstain | | | | | | | |

Petersma noted the motion to amend failed.

Roll Call Vote on the Original Motion:

| | Spencer | Severino | Johnson | Smith | Whitaker | Petersma | Anderson |
|----------------|---------|----------|---------|-------|----------|----------|----------|
| Aye | X | X | X | X | X | X | X |
| Nay | | | | | | | |
| Abstain | | | | | | | |

7. Other Business.

Johnson requested that the staff allow time at a future Commission meeting to discuss minimum building requirements, house sizes, architectural requirements, etc. to determine if these are items that should be considered to be added to the Zoning Ordinance.

8. Adjournment.

Meeting adjourned at 8:13 PM.

Chair

Secretary



Planning & Zoning Commission

COMMUNITY DEVELOPMENT DEPARTMENT

February 29th, 2016 Meeting

SUBJECT: Consider recommending approval of PZ Case 16-02 an amended preliminary plat for Crosshaven Plat 7 subdividing 57.62 acres into 71 lots and two outlots. The subject property is located east of NW 100th Street and south of Little Beaver Creek.

SYNOPSIS:

The applicant, Hubbell Properties I, L.C. (Series D and Hubbell Realty Company) is proposing to subdivide a 57.62 acre parcel into 71 lots and 2 outlots. The property is zoned PUD via ordinance 782. The original Preliminary Plat was approved December 1st, 2008. This amendment is proposed to reconfigure lots and streets proposed in this area of the plat. This plat will complete the development of portion of the Crosshaven development lying south of Little beaver Creek.

RECOMMENDATION:

Staff recommends approval and provides the following motion for the commission’s consideration:

The Planning & Zoning Commission recommends approval of PZ Case No. 16-02, the Preliminary Plat for Crosshaven Plat 7, subject to the following conditions:

1. The project shall conform to the requirements, standards and regulations of the City of Johnston.
2. **The Preliminary Plat shall be amended to address the following items:**
 - a. The road north of Valley Parkway (NW 95th Court) shall be reconfigured and constructed as a loop road similar to the Preliminary Plat approved on May 5, 2014, rather than the cul-de-sac shown on the proposed preliminary plat.
 - b. Areas of stream bank erosion for the unnamed channel located along the western side of this plat are identified as needing to be resurveyed and repaired as necessary, with necessary repairs to be identified on the Construction Plan. These areas were identified on the previously approved Preliminary Plat.
 - c. The Floodway Fringe Overlay District shall be is listed within

zoning.

- d. All trees that are to be removed as part of this plat be identified.
 - e. The PUD Requirement Summary be amended to properly reflect the 5.34 acre park site.
 - f. Address all comments from Foth's comment memo dated February 24th, 2016.
 - g. Address all comments from Johnston Public Work's comment memo dated February 24th, 2016.
3. Pursuant to Chapter 180.42 of the Subdivision Regulations and Resolution 08-53, the applicant shall be responsible for their share of improvements to NW 100th Street to improve the roadway to a collector standard. Prior to the City Council approval of a final plat for the subject property (or any portion thereof) the applicants shall select and provide one of the allowed options outlined in Resolution 08-53 (bond, payment or petition and waiver), based upon the 2,861 lineal feet of frontage on NW 100th Street, the 2008 value of this requirement is \$376,421.77.
 4. All landscape buffers required within the proposed residential lots shall be installed or bonded for prior to the City's acceptance of the public improvements for the plat.
 5. The applicants shall be responsible for payment of the applicable Little Beaver Creek Sewer connection fee at the time of final platting.
 6. Any development/grading activity within the 100 or 500 year flood plain will require a floodplain development permit and a FEMA approved Flood Insurance Rate Map amendment.
 7. Approval of Preliminary Plat including lots currently impacted by the FEMA 100 and 500 year flood elevations is contingent upon the applicants seeking and receiving approval of a Flood Insurance Rate Map amendment or revision, such approval must occur prior to Construction Plan approval of any phase of the project affected by the flood elevations.
 8. Approval of the Preliminary Plat without traditional storm sewer sump drains is contingent upon further geotechnical exploration as recommended in the January 25, 2016, Thiele GeoTech Inc. report. Such geotechnical exploration shall occur prior to approval of construction plans for the plat.
 9. Pursuant to the PUD, a detailed management plan shall be provided with each plat for the outlot areas of the plat that are to be owned by a homeowners association, in addition, prior to approval of any final plat(s) applicants shall provide a performance bond and maintenance bond to cover the cost of initial installation and maintenance to establish said areas as prairie.

10. The decorative stone, proposed on the wing walls of the stream channel crossing of Valley Parkway shall only be permitted upon receipt of a maintenance agreement that would place the full responsibility of maintenance, repair and replacement upon the Homeowners Association to avoid unnecessary expenses to the City.

Prior to City Council approval of the Construction Plans for any phase of the development, the following items shall be included on the Construction Plans:

11. With construction of each phase of the plat, the existing drainage ways and creeks need to be resurveyed and necessary channel improvements shall be made to prevent future erosion and bank stabilization problems.
12. Final review of the location and construction methods of the water, sanitary sewer and storm sewer mains and the spacing of the fire hydrants will be completed with the review of the Construction Plans.
13. Minimum opening elevations shall be provided for all lots, adjacent to drainage ways, detention/retention ponds or other areas where inundation is possible, such elevations shall be identified on the final plat(s).
14. The Construction Plans and subsequent Final Plat(s) shall include critical spot elevations for all roadside ditches and drainage ways constructed throughout the site. As built elevations shall be provided for these areas prior to the City's acceptance of public improvements to verify construction at the appropriate elevations.
15. Revised pipe sizing calculations shall be provided to verify the size of all storm sewer structures.
16. The final location of all Post Office Cluster Box Units shall be identified and the necessary concrete pads and sidewalk connections shall be installed with the public improvements.
17. The applicants shall provide all necessary information to all for the City to review to proposed steel elliptical structure under Valley Parkway. Approval of the preliminary plat shall not constitute the City's acceptance of the steel elliptical structure; the final determination of the structure type shall be made as part of the approval of the construction plans.

Prior to the issuance of a certificate of occupancy for any structure

within the plat, the following items shall be completed:

18. Pursuant to Chapter 145.05(4) the Erosion and Sediment Control Ordinance, an engineer's certification shall be provided certifying the elevation of the all designated ditch and drainage way elevations that are on or immediately adjacent to the lot under construction.
19. All structures located on lots that have a minimum protection elevations identified on the plat shall certify that the structure meets that elevation.

Attachments:

Proposed Preliminary Plat prepared by McClure Engineering, dated February 17, 2016;
Page 1 of Current Approved Preliminary Plat, PZ Case 14-08, prepared by McClure Engineering, dated July 22, 2014;
Page 1 of Original Approved Preliminary Plat, PZ Case 08-36, prepared by McClure Engineering, dated November 7, 2008;
PUD Master Plan prepared by McClure Engineering, dated July 23, 2007;
Ordinance 782 – Crosshaven PUD;
Vicinity Map;
Notice of Public Meeting;
Comment Memo from Johnston Community Development Staff dated, December 18, 2015;
Comment Memo from Johnston Public Works, dated February 24, 2016;
Comment Memo from Foth Engineering, dated February 24 2016;

APPLICANT:

Joe Pietruszynski
Hubbell Properties I, L.C.
and Hubbell Realty Company
6600 Westown Parkway
West Des Moines, IA 50266

REPRESENTATIVE:

Brad Brockman
McClure Engineering Company
1360 NW 121st Street
Clive, IA 50325

**BACKGROUND &
PRIOR APPROVALS:**

This property was part of the Northwest/Elmerodo Estates annexation which was approved by the City Council on February 19, 2008, and approved by the City Development Board in June 9, 2008. The annexation was finalized in September 2008 when it was recorded with the Secretary of State and Polk County Recorder.

The property was rezoned from A-R the automatic designation for annexed property to PUD via Ordinance 782 which was adopted by the Council on October 6, 2008.

In addition, portions of the property are within the Floodway and Floodway Fringe Overlay Zoning Districts and will be required to meet the requirements of those districts in addition to the PUD requirements.

The original preliminary plat for the site was approved December 1, 2008. An amended preliminary plat for the site was approved May 5, 2014. The preliminary plat was amended to accommodate for a large tract of land that was purchased by Johnston School District. Page one of each of these plats is attached to this report for reference to earlier designs.

**COMPREHENSIVE
PLAN:**

The Comprehensive Plan for this area was amended in 2006. The Plan calls for this area to be developed at an overall average density of 2.0 units per acre. Pursuant to the Comprehensive Plan the PUD allows for a density not to exceed 2.06 units per acre, with the area south of Little Beaver Creek (the portion proposed with this plat) to have a density not to exceed 1.66 units per acre. In addition, a buffer is required along the south boundary of the site. As proposed the total development has a gross density of 1.655 DU/AC.

**ZONING DISTRICT &
BULK
REGULATIONS:**

The proposed PUD is divided into thirteen tracts. This plat encompasses area within Tracts 1-8 which consists of single family residential homes and utilize the bulk regulations applicable to the R-1(60) zoning district as amended:

Lot Area: 6,000 sq. ft.

Lot Width: 60 ft. at the building setback
Front Setback: 25 ft. for any garage; 15 feet for any porch.
Side Yard: 5 ft.
Rear Yard: 10 ft.

In addition, at least 50% or more of the lots within tracts 1 - 8 are required to be a minimum of 65 feet in width or wider. As proposed 50.3% open space is provided and 61% of the lots are 65 feet wide or wider, throughout the entire subdivision.

Lots adjacent to the 120 foot setback along the southern property border adjacent to Pinecrest Estates or 80 foot setback along the western border adjacent to NW 100th Street are also required to be a minimum of 85 feet in width (at the building setback) and 8,500 square feet. All of the lots meet this requirement.

The northeastern section of this plat is also within the floodway fringe overlay district, but this has not been listed on this plat. Staff recommends as a condition of approval that the Preliminary Plat be amended so that the floodway fringe overlay district is listed in the zoning for the site.

**CLUSTER MAIL
BOXES:**

The Preliminary Plat identifies the location of three cluster mail boxes to serve this plat. City staff is in discussion with the post office regarding the location of these cluster boxes. The distance between the boxes and individual lots is greater than what the city desires. Also, a cluster box unit is shown on Valley parkway. Since Valley Parkway is envisioned to be a collector street that eventually connects south easterly to NW 86th Street traffic levels create safety concerns for the location.

STREAM BUFFER:

City ordinance and the PUD for the subdivision requires a stream buffer along an unnamed channel that dissects Outlot Y. This stream buffer is shown on the Preliminary Plat. A stream buffer easement must be provided for approval of a final plat. Dominant vegetation within this buffer must consist of existing, naturally regenerated, or seeded/planted native trees, shrubs, perennial grasses and forbs suited to the soil and hydrology of the site and the intended purpose. No single species shall make up more than 50% of the total number of species planted. Turfgrass (lawn) is not permitted. The PUD requires a detailed management plan for each outlot. This management plan would need to include the maintenance of this stream buffer. Staff recommends as a condition of approval of the Preliminary Plat that a detailed Management Plan for the outlots be provided.

The current approved preliminary plat for this site indicates 2 areas of bank stabilization concern. Staff recommends as a condition of approval that the Preliminary Plat be amended to identify areas of stream bank erosion

(Condition #2b). Staff also recommends the following condition, that prior to City Council approval of any construction plans for this site the existing drainage ways and creeks need to be resurveyed and necessary channel improvements shall be made to prevent future erosion and bank stabilization problems.

BUFFERS:

Pursuant to the PUD, a 120 foot setback buffer is required along the south boundary of the subject property adjacent to the Pine Crest Estates subdivision. No structures are permitted within this open space buffer area. This area has been included in an outlot that will be owned by the Homeowners Association and planted in prairie grasses. The preliminary plat identifies additional trees that would be planted in this area.

**CONSERVATION
SUBDIVISION
TECHNIQUES:**

The intent of the conservation subdivision design is to preserve open space and improve water quality. As such, much of the open space areas will be planted in native prairie plantings and designed to address storm water management techniques.

The PUD requires that the developers treat the Water Quality Volume on site. This is an engineering standard that will ensure 90% of all rainfall events, which in Iowa are generally rainfalls of 1.25" or less, are treated on site.

In order to accomplish this requirement:

- All streets will have traditional 6" curb and gutter sections, however, driveway cuts will be designed to allow water to drain into open ditches located behind the curb.
- Most drainage ways through the site will be open channels designed to encourage infiltration.
- Each lot will have a French drain, in lieu of a traditional sump sewer connection.
- The design of each has been tweaked with each plat to address issues that have arisen.

The open space areas will all be located in outlots which are owned and maintained by a homeowners association. The PUD requires a maintenance plan be developed for these areas and proof of financial stability be provided to ensure the associations are adequately funded to support the ongoing care of the open space areas. This plan will be required with the final plat. In addition, staff has suggested that performance and maintenance bonds be provided to ensure the areas are sufficiently established.

**PARKLAND
DEDICATION:**

As required by the PUD, the applicants are required to dedicate a minimum of a 3 acre park site within the development to allow for the development of a neighborhood park. The applicants have dedicated a 5.34 acre park site located in the northeastern corner of the site adjacent to Little Beaver Creek

with access to NW 95th Street. The city has taken ownership of this site. Staff recommends a condition of approval that the Preliminary Plat be amended so that the total development summary properly reflects the 5.34 acre park site.

In addition, and pursuant to the PUD Master Plan, the applicants have identified a significant trail system throughout the development with connections at NW 100th Street/Valley Parkway on the west and Valley Parkway and the east plat boundary on the east to allow for future extensions of this trail system. The trails will be primarily on property owned by a homeowners association, but be located within easements and owned/maintained by the City. This plat includes a loop trail system adjacent to the pond with a connection to future development to the east.

**STORMWATER
MANAGEMENT:**

This site generally flows northerly towards Little Beaver Creek, located on the north east side of this site. There is another drainage way that dissects this site and ultimately drains into the detention pond which outlets into Little Beaver Creek.

The street storm water will be collected in roadside ditches, in lieu of storm sewer pipe through the driveway curb cuts. Select storm sewer is proposed to convey this storm water under streets, driveways, sidewalks and trails to other drainage ways or the pond. Due to the flat nature of some of these ditches, staff has suggested that dry swales or bioswales be utilized, which consist of constructing a sub drain below the surface of the ditch to assist with infiltration of water. The applicants have identified the areas where these may be necessary on the plan, and the necessity of these features will be reviewed with the construction plans.

The pond is generally designed, pursuant to the Iowa Stormwater Management principals to include a forebay, to collect sediment where the water flows into the pond and with a staged outlet to allow a varied amount of water to be released depending upon the depth of the pond. This is necessary to meet the water quality volume. The pond will have an emergency spillway for flood events and also a drain valve to allow the pond to be drained if necessary. The pond outlets to a tributary just upstream of Little Beaver Creek.

The PUD allowed the use of individual French drains in lieu of storm sewer sump lines being constructed. However, as noted in the next section of the staff report, the use of these features is contingent upon further exploration.

**GEOTECHNICAL
REPORT:**

The applicants have provided a geotechnical report dated January 25, 2016 from Thiele GeoTech Inc that was prepared for Crosshaven 6. The report included borings from this plat site. The geotechnical report lists a number of items that need to be addressed during the construction of a residential subdivision. However, the report does not specifically address the

practicality of the infiltration practices that are proposed on this site, such as dry swales and French drain systems. As such, staff has recommended a condition that further geotechnical exploration occur with each set of construction plans to ensure these features will function as designed. If they will not function, other methods will be required. To date, the French drain systems have been approved and proven functional in plats 1-3.

SIDEWALKS:

Sidewalks are required throughout the site. Due to the proposed roadside ditches, these sidewalks are proposed to be located on an easement just inside of each lot.

FLOODPLAIN:

Portions of this site are located within the 100 year floodplain and 500 year floodway fringe and as such the Floodplain and Floodway Fringe Overlay Districts were applied to those portions of the property. The applicants are proposing modifications within some of these areas which would modify the location of the floodplain. These modifications are permitted under the federal flood insurance program and City ordinances provided they complete the appropriate documentation to amend or revise the flood maps. The applicants have indicated these modifications are in process. Staff has suggested a condition of approval subject to the applicants completing this process and seeking the necessary approvals prior to any construction activities in those areas of the property.

TREE REMOVAL:

The current Preliminary Plat, PZ Case 14-08, identifies trees to be removed, but this proposed preliminary plat does not. Staff recommends a condition of approval that the Preliminary Plat be amended to identify all trees to be removed as part of this plat.

STREAM CROSSING:

Valley Parkway will cross over a stream that dissects this plat just east of the current terminus for the roadway. The applicant has proposed a steel ellipse culvert to carry the stream flow under the roadway. These crossings are typically constructed with a box culvert. With the information presented to the City and reviewed by Foth a determination cannot be made if the culvert is sized properly or if it will have a comparable design life to a concrete box structure. Foth has provided a comment memo, dated February 24th, 2016, which addresses concerns regarding this stream crossing. Staff recommends as a condition of approval that the Preliminary Plat be amended to address all of Foth's comments from this memo. To that end, a condition of approval is suggested that would defer final approval of the proposed structure design until the approval of the

Johnston Public Work has also reviewed this stream crossing. A primary concern of the department is maintenance of the decorative stone to be used on the wing walls of this stream crossing. Staff recommends as a condition of approval that decorative stone may only be used on the stream channel crossing if a maintenance agreement is provided by the applicant.

TRAFFIC
CIRCULATION:

Valley Parkway will be extended to the east with this plat. This will include a crossing over the stream that flows into the stormwater wet pond detention basin. The cul-de-sacs south of Valley Parkway are sufficiently designed to handle the anticipated traffic volume. As envisioned in the Johnston 2030 Comp Plan, Valley Parkway is intended to be a collector street which will ultimately extend from the terminus in this plat south easterly to NW 86th Street. Construction of the remaining portions of Valley Parkway will be contingent upon annexation and development of adjacent parcels.

The cul-de-sac north of Valley Parkway is not supported by city staff. The original approved Preliminary Plat, PZ Case 08-36, and the amended Preliminary Plat, PZ Case 14-08, which is currently approved indicates that north of Valley Parkway, at this site, a loop road would be constructed. This street configuration, which is different than the PUD Master Plan, was approved to allow for a single wet pond detention basin rather than two which were originally envisioned, by the PUD Master Plan which contained a through street to connect with the road network to the north. This alignment was a compromise between staff and the applicant at the time to improve traffic access and reduce the overall number of cul-de-sacs in the subdivision.

The applicant states this cul-de-sac is proposed because it improves connectivity of the trail system, is more cost effective, and provides better stormwater conditions.

Additionally, as currently proposed the design does not meet city standards for a cul-de-sac. As proposed the length of this cul-de-sac at the center line is approximately 760 feet which exceeds the desired maximum length of 600 feet. Per chapter 180.27 of Johnston Code of Ordinances the City Council may permit a cul-de-sac greater in length than 600 feet if one or more of the following conditions have been met to their satisfaction.

1. The terminated roadway cannot be extended further due to the presence of (but not limited to) unique or excessive slopes or drainage ways which would require substantial cuts and fills, the extension of which may cause adverse visual and environmental effects, blockage of natural drainage ways, disturbance of natural areas, or other adverse environmental impacts.
2. The terminated roadway cannot be extended further due to unique configurations of land ownership or existence of public land ownership where the extension of the roadway is not consistent with the purpose of the open space.
3. There is an incorporation of innovative design measures (such as boulevards, additional roadway width, additional turning radius and alternate vehicular access) that suitably mitigate the intent to maintain fire protection and emergency vehicle ingress/egress and

satisfy all other City standards and specifications.

Staff has made the following findings that the above conditions have not been adequately met to support permitting a cul-de-sac greater than 600 feet in length at this location.

1. The land to the east of the proposed cul-de-sac is similar in grade this area which could allow for easy extension of the roadway without excessive cuts or fills. The land is within the floodplain, but an extended roadway would not restrict water flow during a flood event. Development within this area may be limited by the floodplain, but is a possibility with approval from FEMA as is the development within the floodplain proposed with this preliminary plat.
2. Land ownership to the east of the proposed cul-de-sac is not unique. The adjacent un-subdivided property is used as a sod farm and owned by a single party.
3. Proposed on this preliminary plat is a standard 26 foot roadway with a 90 foot paved cul-de-sac bulb. The paved roadway width is the minimum allowed for the street. The cul-de-sac bulb does provide an additional 10 feet of paved roadway, but this additional radius does not allow for more effective ingress/egress for emergency vehicles, establishment of a looped water main, more efficient snow removal, or more efficient traffic movement patterns.

Staff recommends as a condition of approval for this preliminary plat that the road north of Valley Parkway be designed and constructed as a loop road similar to the preliminary plat approved on May 5, 2014. This street configuration would be more in line with the intent of the subdivision regulations than a cul-de-sac.

PUBLIC UTILITIES:

City water is available to the site along Valley Parkway, a new trunk main is proposed, consistent with the City's utility master plan, along the extension of Valley Parkway extending east through the site, this will be a twelve inch main. The remainder of the site will be served by eight inch mains. Fire hydrants and valves are shown throughout the plat; however, final review of their locations will be completed with the construction plans.

The sanitary sewer system through the subdivision consists of eight and ten inch mains with their locations generally acceptable. Final review of locations and elevations will be completed with the review of the construction plans for the development.

LITTLE BEAVER CREEK TRUNK

This property is within the Little Beaver Creek Trunk Sanitary Sewer Connection District, payment of the per acre fee is deferred until the

SANITARY SEWER
CONNECTION
DISTRICT

property is subdivided into developable lots.

NEIGHBOR NOTICE:

Notice was mailed to all adjacent property owners and those listed on the preliminary plat. A copy of this notice is attached. As of publication of this report no comments have been received regarding this preliminary plat.

PLAT SUMMARY:

| | |
|-----------------------|-----------------------|
| Lots: | 71 lots and 2 outlots |
| Area: | 57.62 Acres |
| Area of Streets: | 5.8 Acres |
| Other Area Dedicated: | N/A |
| Outlot Area: | 34.53 Acres |
| Net Area in Lots | 17.29 |
| Net Average Lot Area: | 10,607 SF |

OWNER

HUBBELL PROPERTIES II, L.L.C.
6900 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
515-243-3228

ENGINEER/SURVEYOR

McCLURE ENGINEERING
1360 NW 121ST ST
CLIVE, IOWA 50325
515-964-1229

UTILITIES

WATER - JOHNSTON WATER SYSTEM
SANITARY SEWER - JOHNSTON SANITARY SEWER DISTRICT

ZONING

ZONING: THE CROSSHAVEN P.U.D. PARCELS 1 THRU 8

SETBACKS (SINGLE FAMILY LOTS)

FRONT: 15 FT (FOR USABLE PORCH AREA)
25 FEET GARAGE
5 FEET
SIDE: 5 FEET
REAR: 10 FEET
MIN LOT WIDTH: 60 FEET (ONLY 50% OF LOTS MAY BE THIS SIZE)
MIN LOT AREA: 6,000 SF
MIN OPEN SPACE: 50%
GROSS DENSITY: 1.66 UNITS PER ACRE

LEGAL DESCRIPTION

LEGAL DESCRIPTION:

BEING ALL OF OUTLOT Z OF CROSSHAVEN PLAT 4, AS RECORDED IN POLK COUNTY RECORDS AT BOOK 15622, PAGES 796-811 AND THAT PART OF OUTLOT X OF CROSSHAVEN PLAT 3, AS RECORDED IN BOOK 14644, PAGES 908-919, LYING SOUTH OF OUTLOT Z OF CROSSHAVEN PLAT 4, AND ALL OF PARCEL K, AS RECORDED IN POLK COUNTY RECORDS AT BOOK 12648, PAGE 649, BEING LOCATED IN THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M. AND THAT PART OF PARCEL D IN OUTLOT X OF SMITH ESTATES, AS RECORDED IN POLK COUNTY RECORDS AT BOOK 12653, PAGE 281, LYING SOUTH OF OUTLOT Z OF CROSSHAVEN PLAT 4, ALL TOGETHER BEING LOCATED IN THE CITY OF JOHNSTON, POLK COUNTY, IOWA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTH QUARTER CORNER OF SAID SECTION 34; THENCE ALONG THE EAST LINE OF SAID PARCEL D AND SAID OUTLOT Z N00°02'13"W, 849.84 FEET TO THE NORTHEAST CORNER OF SAID OUTLOT Z; THENCE ALONG THE NORTH LINE OF SAID OUTLOT Z S89°57'47"W, 183.65 FEET; THENCE ALONG SAID NORTH LINE 196.64 FEET ALONG A 182.00 FOOT RADIUS CURVE, CONCAVE NORTHWEST, CHORD BEARING S40°17'42"W, 187.22 FEET; THENCE ALONG SAID NORTH LINE S71°39'29"W, 75.72 FEET; THENCE ALONG SAID NORTH LINE N88°32'46"W, 79.71 FEET; THENCE ALONG SAID NORTH LINE S71°39'29"W, 543.57 FEET TO THE NORTHWEST CORNER OF SAID OUTLOT Z; THENCE ALONG THE WEST LINE OF SAID OUTLOT Z S05°09'03"E, 97.06 FEET; THENCE ALONG SAID WEST LINE 335.65 FEET ALONG A 450.00 FOOT RADIUS CURVE, CONCAVE WEST, CHORD BEARING S16°13'03"W, 327.93 FEET; THENCE ALONG SAID WEST LINE 122.69 FEET ALONG A 250.00 FOOT RADIUS CURVE, CONCAVE EAST, CHORD BEARING S23°31'35"W, 121.46 FEET; THENCE ALONG THE WEST LINE OF SAID OUTLOT X AND SAID OUTLOT Z S09°28'02"W, 286.09 FEET; THENCE ALONG THE WEST LINE OF SAID OUTLOT X S80°31'58"E, 7.05 FEET; THENCE ALONG SAID WEST LINE S09°28'02"W, 304.64 FEET TO THE WEST LINE OF SAID PARCEL K; THENCE ALONG SAID WEST LINE N89°38'54"W, 286.75 FEET; THENCE ALONG SAID WEST LINE S00°21'19"W, 449.48 FEET; THENCE ALONG SAID WEST LINE N89°38'41"W, 285.00 FEET; THENCE ALONG SAID WEST LINE S00°21'19"W, 278.20 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL K; THENCE ALONG THE SOUTH LINE OF SAID PARCEL K S89°47'06"E, 1761.13 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL K; THENCE ALONG THE EAST LINE OF SAID PARCEL K N00°24'38"E, 1323.46 FEET TO THE POINT OF BEGINNING. DESCRIBED EASEMENTS CONTAINS 57.64 ACRES AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

FLOOD ZONE INFORMATION:

MAP PANEL ID#1909010085D
EFFECTIVE DATE: JULY 19, 2000
ZONE: AE & X

DEVELOPMENT SUMMARY:

GROSS LAND AREA: = 57.62 AC
OPEN SPACE: = 34.53 AC (59.9%)
DENSITY: = 1.23 UNITS/AC

P.U.D REQUIREMENT SUMMARY

TOTAL PLATTED AREA: 193.79 ACRES
PLATTED AREA MINUS SCHOOL 167.40 ACRES
OPEN SPACE OUTLOT AREA: 81.19 ACRES (48.5%)
PARK LOT AREA: 3.00 ACRES (1.8%)

TOTAL OPEN SPACE: 84.19 ACRES (50.3%)

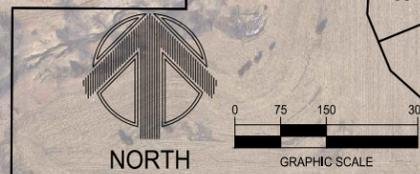
LOT SIZES (50% LARGER THAN 65' WIDE)

60'-65' : 108 (39.0%)
> 65' : 169 (61.0%)
TOTAL: 277 LOTS

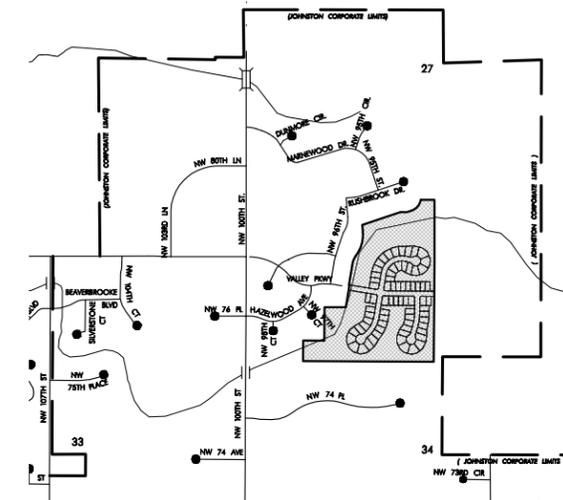
GROSS DENSITY: 277/167.40 = 1.655 DU/ACRES

CROSSHAVEN PLAT 7 PRELIMINARY PLAT

JOHNSTON, IOWA



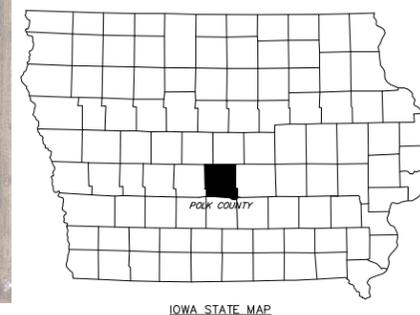
| INDEX OF PLAN SHEETS | | |
|----------------------|-------------|------------------------------------|
| Sheet No. | Drawing No. | Sheet Title |
| 01 | GN-01 | COVER SHEET |
| 02 | GN-02 | OVERALL GENERAL LAYOUT |
| 03 | GN-03 | DIMENSION, PAVING AND UTILITY PLAN |
| 04 | GN-04 | DIMENSION, PAVING AND UTILITY PLAN |
| 05 | GR-01 | OVERALL GRADING PLAN |
| 06 | GR-02 | GRADING PLAN |
| 07 | GR-03 | GRADING PLAN |
| 08 | LA-01 | OPEN SPACE PLAN |
| 09 | DT-01 | TYPICAL PAVING SECTION |



**VICINITY MAP
CITY OF JOHNSTON
NTS**

GENERAL NOTES

1. TYPICAL SANITARY SEWER EASEMENTS WILL BE 30' WIDE CENTERED ON THE PIPE OR TWO TIMES THE DEPTH OF THE SEWER, WHICHEVER IS GREATER.
2. TYPICAL STORM SEWER EASEMENTS WILL BE 20' WIDE CENTERED ON THE PIPE OR TWO TIMES THE DEPTH OF THE SEWER, WHICHEVER IS GREATER.
3. A 10' P.U.E WILL BE LOCATED ON EACH SIDE OF THE STREET AND A 10' P.U.E WILL BE LOCATED TO THE REAR OF EACH LOT WHERE POSSIBLE.
4. ALL CONSTRUCTION SHALL BE COMPLETED PER THE 2015 IOWA STATEWIDE URBAN DESIGN AND 5. SPECIFICATIONS AND THE MOST RECENT EDITION OF THE JOHNSTON SUPPLEMENTAL SPECIFICATIONS.
5. ALL DRIVEWAY CULVERTS SHALL BE 12" HDPE PIPE WITH FLARED END SECTIONS.
6. 5' SIDEWALK AND/OR TRAIL EASEMENT WILL BE REQUIRED ON THE FRONTS OF APPROPRIATE LOTS.
7. DRIVEWAYS WILL NOT BE ALLOWED AT MANHOLES, INTAKES OR OTHER UTILITY APPURTENANCES.
8. OUTLOTS WILL BE MAINTAINED BY HOME OWNERS ASSOCIATION.



IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com

ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH 2014 IOWA STATEWIDE URBAN DESIGN STANDARDS AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AS ACCEPTED BY THE CITY OF JOHNSTON AND THE JOHNSTON SUPPLEMENTAL SPECIFICATIONS EXCEPT WHERE ALTERED OR AMENDED BY THE CITY OF JOHNSTON.



building strong communities.

1360 NW 121ST. Street
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

NOTICE:
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DATE: **BRADLEY R. BROCKMAN, PE NO. 22851**

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016

PAGES OR SHEETS COVERED BY THIS SEAL:

**CROSSHAVEN PLAT 7
PRELIMINARY PLAT**

JOHNSTON, IOWA
226053
January 8, 2016

REVISIONS
February 17, 2016

ENGINEER: BRB DRAWN BY: BRB

CHECKED BY: CAS FIELD BOOK NO.:

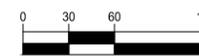
DRAWING NO. SHEET NO.

GN-01 01 / 09

**DIMENSION, PAVING
AND UTILITY PLAN**



NORTH



GRAPHIC SCALE

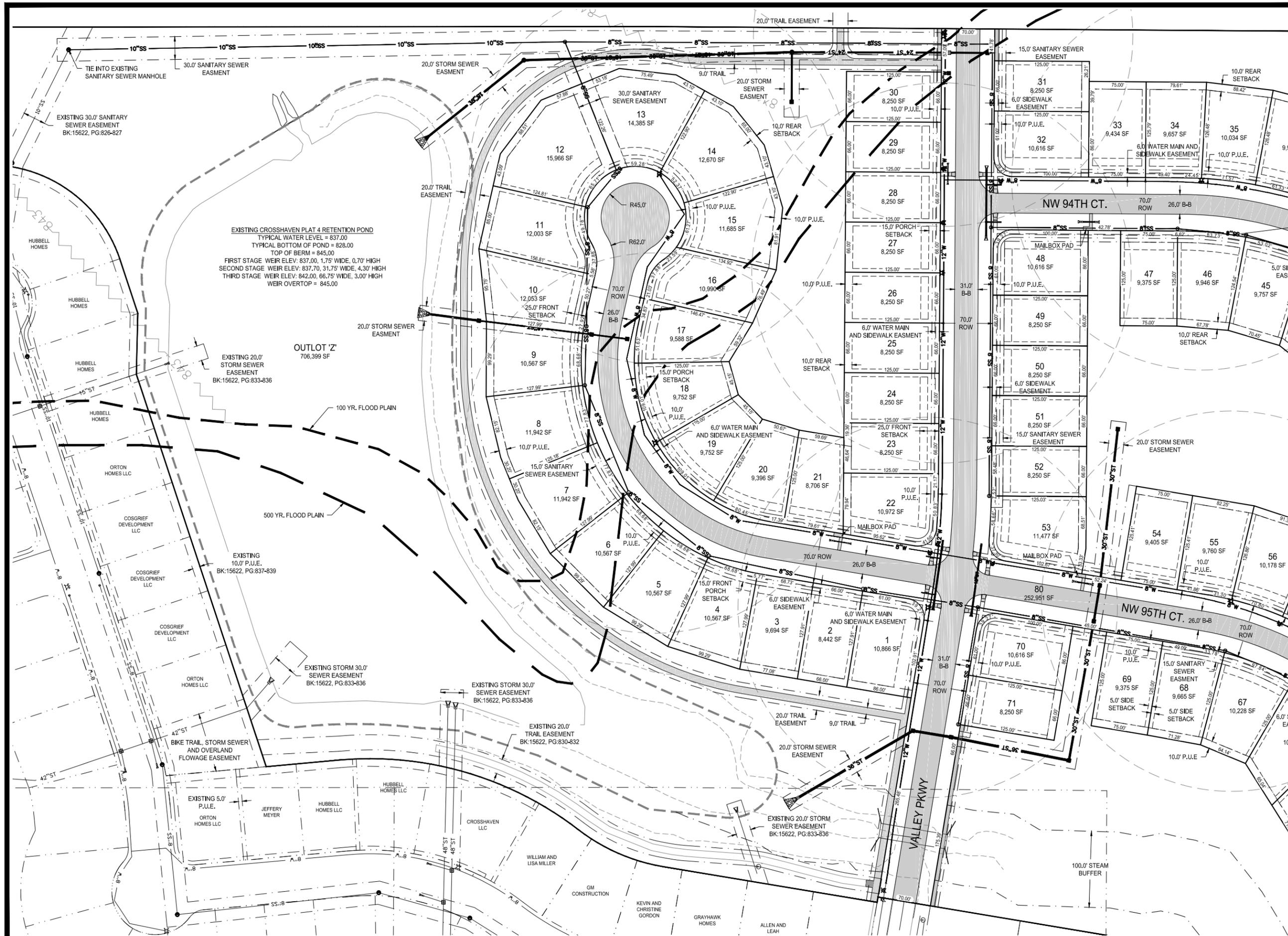
**CROSSHAVEN PLAT 7
PRELIMINARY PLAT**

JOHNSTON, IOWA
226053
January 8, 2016

REVISIONS
February 17, 2016

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| ENGINEER BRB | DRAWN BY BRB |
| CHECKED BY CAS | FIELD BOOK NO. |

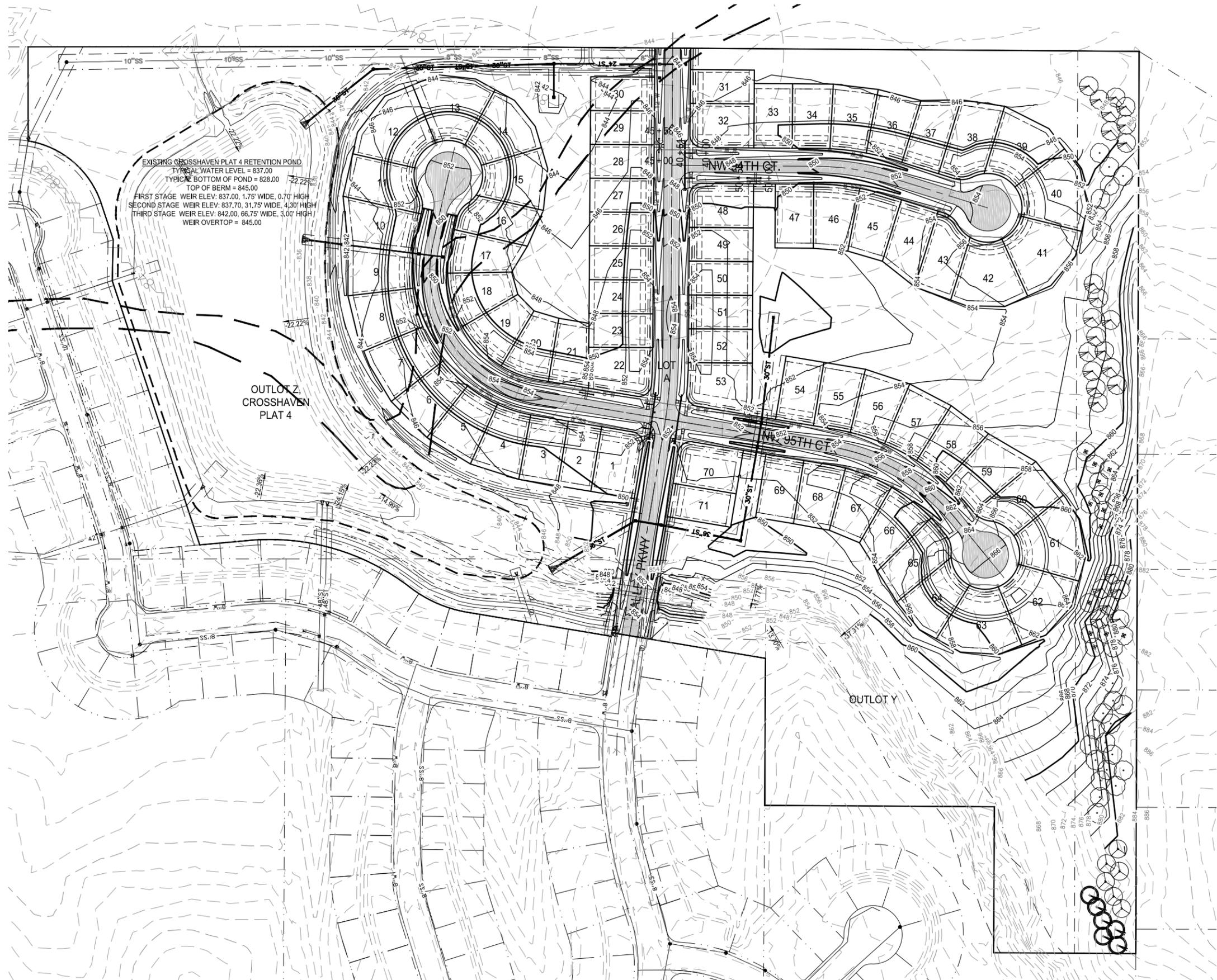
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| DRAWING NO. GN-03 | SHEET NO. 03 / 09 |
|-----------------------------|-----------------------------|



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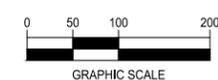
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**OVERALL
GRADING PLAN**



NORTH



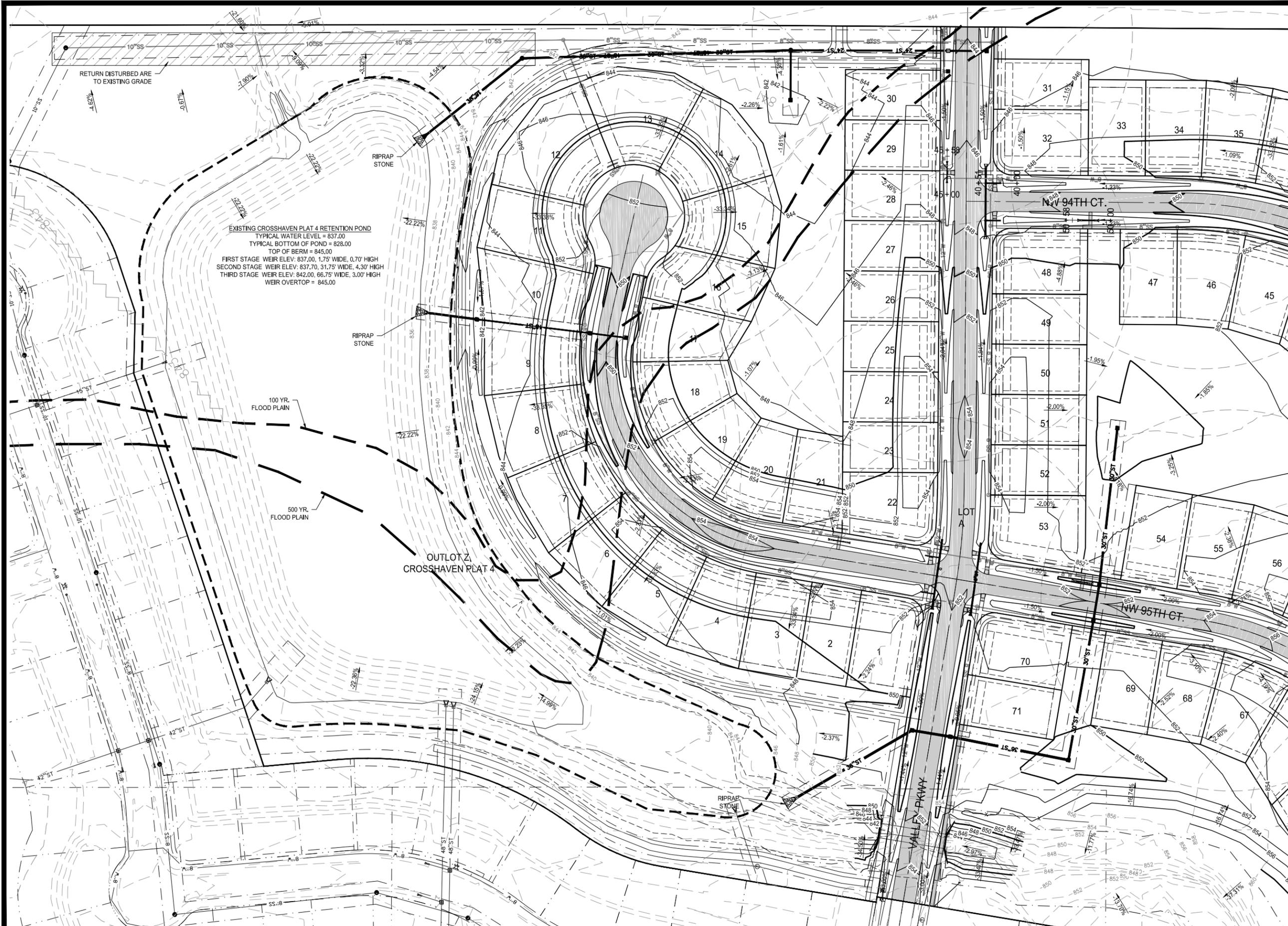
**CROSSHAVEN PLAT 7
PRELIMINARY PLAT**

JOHNSTON, IOWA
226053
January 8, 2016

REVISIONS
February 17, 2016

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| ENGINEER BRB | DRAWN BY BRB |
| CHECKED BY CAS | FIELD BOOK NO. - |

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| DRAWING NO. GR-01 | SHEET NO. 05 / 09 |
|-----------------------------|-----------------------------|



GRADING PLAN



CROSSHAVEN PLAT 7
PRELIMINARY PLAT

JOHNSTON, IOWA
226053
January 8, 2016

REVISIONS
February 17, 2016

ENGINEER: BRB
DRAWN BY: BRB

CHECKED BY: CAS
FIELD BOOK NO.:

DRAWING NO.: GR-02
SHEET NO.: 06 / 09

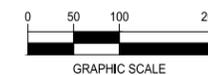
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OPEN SPACE PLAN



NORTH



**CROSSHAVEN PLAT 7
PRELIMINARY PLAT**

JOHNSTON, IOWA
226053
January 8, 2016

REVISIONS
February 17, 2016

ROBERT AND LOR
CRAMER

ENGINEER
BRB

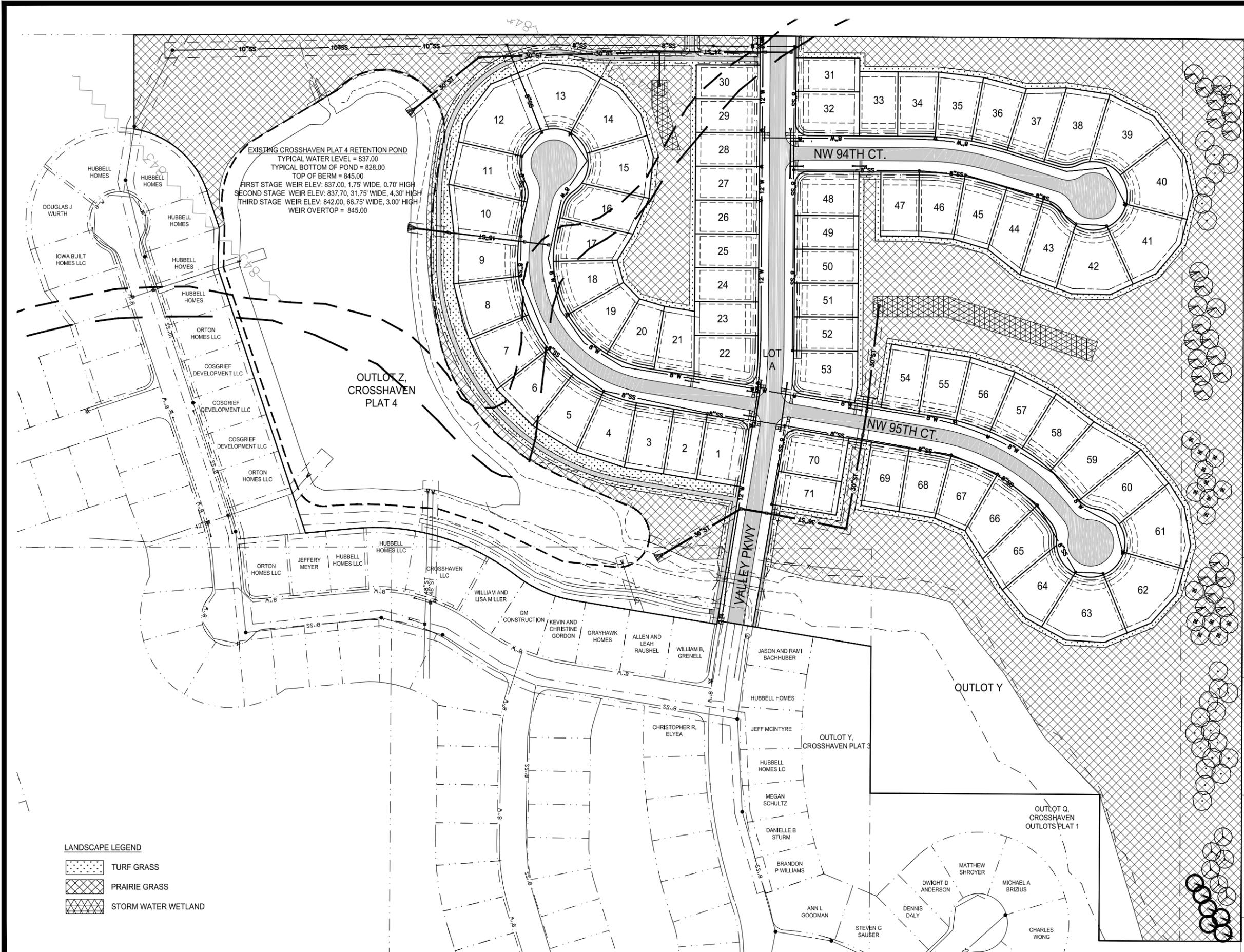
CHECKED BY
CAS

DRAWN BY
BRB

FIELD BOOK NO.

DRAWING NO.
LA-01

SHEET NO.
08 / 09



LANDSCAPE LEGEND

| | |
|--|---------------------|
| | TURF GRASS |
| | PRAIRIE GRASS |
| | STORM WATER WETLAND |

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① BIKE TRAIL / SIDEWALK CONSTRUCTION BY OTHERS.

② EXCAVATE AND BACKFILL 1.5'.

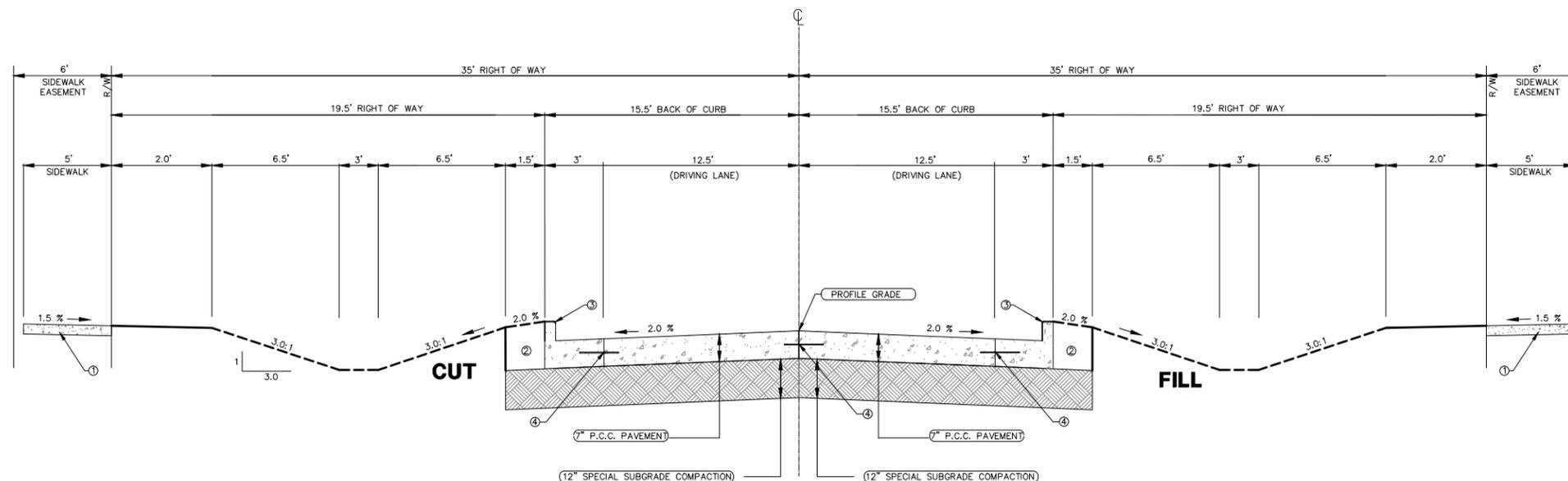
③ 6" STANDARD CURB (SEE SHEET DT-01)

④ L-1 JOINT

NOTE:

1. NORMAL SECTIONS SHOWN MAY BE APPROPRIATELY MODIFIED FOR AREAS SPECIFICALLY DESIGNATED BY THE ENGINEER SUCH AS INTERSECTIONS. REFER TO OTHER DRAWINGS FOR DETAILS.

| LOCATION | | |
|---------------------|--------------------|----------|
| ROAD IDENTIFICATION | STATION TO STATION | |
| VALLEY PARKWAY | 00+91.50 | 12+44.86 |



TYPICAL SECTION
31' BACK TO BACK PORTLAND CEMENT CONCRETE PAVEMENT

NO SCALE

TYPICAL
PAVING SECTION

① BIKE TRAIL / SIDEWALK CONSTRUCTION BY OTHERS.

② EXCAVATE AND BACKFILL 1.5'.

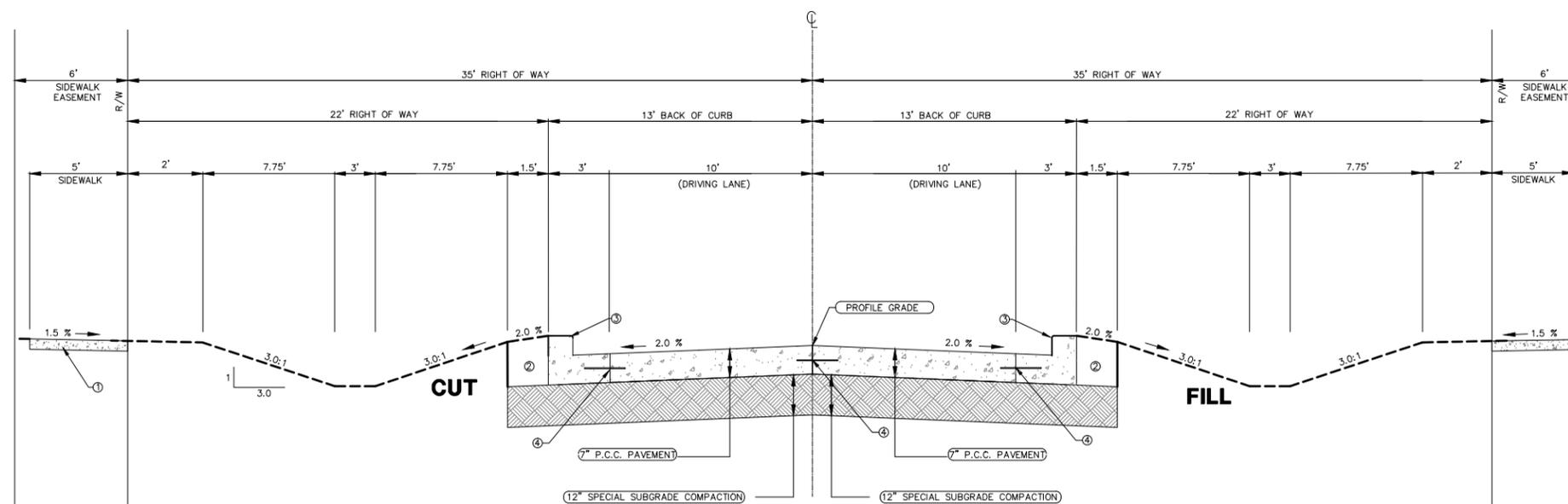
③ 6" STANDARD CURB (SEE SHEET DT-01)

④ L-1 JOINT

NOTE:

1. NORMAL SECTIONS SHOWN MAY BE APPROPRIATELY MODIFIED FOR AREAS SPECIFICALLY DESIGNATED BY THE ENGINEER SUCH AS INTERSECTIONS. REFER TO OTHER DRAWINGS FOR DETAILS.

| LOCATION | | |
|---------------------|--------------------|----------|
| ROAD IDENTIFICATION | STATION TO STATION | |
| NW 95TH COURT | XX+XX.XX | XX+XX.XX |
| NW 94TH COURT | XX+XX.XX | XX+XX.XX |



TYPICAL SECTION
26' BACK TO BACK PORTLAND CEMENT CONCRETE PAVEMENT

NO SCALE

CROSSHAVEN PLAT 7
PRELIMINARY PLAT

JOHNSTON, IOWA
226053
January 8, 2016

REVISIONS
February 17, 2016

ENGINEER: BRB
DRAWN BY: BRB

CHECKED BY: CAS
FIELD BOOK NO.:

DRAWING NO. SHEET NO.

DT-01 09 / 09

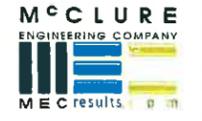
CITY OF JOHNSTON
 COMMUNITY DEV. DEPT.
 DATE REC'D: 4-11-08
 CASE NO. PZ 07-52

JOHNSTON CITY COUNCIL
 APPROVED WITH CONDITIONS
 DISAPPROVED
 MEETING DATE 10-6-08
 RESOLUTION NO. _____
 ORDINANCE NO. 782



Crosshaven PUD Layout

- Association Home Living
- Open Space
- Comprehensive Plan Building Setback
- PUD 80-Foot Building Setback
- Single Family - 60-Foot Wide Lot Minimum
- Single Family - 65-Foot Wide Lot Minimum
- Single Family - 75-Foot Wide Lot Minimum
- Single Family - 85-Foot Wide Lot Minimum



ORDINANCE NO. 782

AN ORDINANCE AMENDING THE JOHNSTON REVISED ORDINANCES OF 2007 BY AMENDING THE OFFICIAL ZONING MAP TO REZONE APPROXIMATELY 276.88 ACRES LOCATED EAST OF NW 100TH STREET AND NORTH OF THE PINE CREST ESTATES SUBDIVISION TO BE KNOWN AS CROSSHAVEN FROM AR TO PUD.

WHEREAS, the Planning and Zoning Commission reviewed this item at their regular meeting on February 11, 2008 and recommends approval of PZ Case No. 07-52.

NOW THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF JOHNSTON, IOWA THAT:

SECTION 1. PURPOSE. The purpose of this ordinance is to change the Official Zoning Map of the City of Johnston, Iowa, under the provisions of Chapters 165 to 172 (Zoning Ordinance), and Section 166.02 (Zoning District Boundaries and Official Zoning Map) of the Johnston Municipal Code.

SECTION 2. OFFICIAL ZONING MAP AMENDED FROM A-R AGRICULTURAL RESERVE TO PUD. The following legally defined property is hereby rezoned from A-R to PUD.

See attached Exhibit "A"

SECTION 3. MASTER PLAN PROVISIONS. In accordance with Section 168.11(3) adopted herewith is the PUD Master Plan for the above-described area being rezoned to Planned Unit Development consisting of the following development policies:

1) General Provisions:

- a) PUD Master Plan: The plan for Crosshaven as prepared by McClure Engineering and dated April 11, 2008 is hereby adopted as the PUD Master Plan. The master plan and those additional guidelines as identified herein shall constitute the zoning requirements of the property.
- b) In the administration of these guidelines, any item not addressed specifically will be governed by the Johnston Municipal Code, including Chapters 165-172, Zoning Ordinance.
- c) The overall density of the entire subject property shall not exceed two point zero six (2.06) gross dwelling units per acre. Density of individual areas of the subject property may be higher or lower than this restriction provided the overall density does not exceed two point zero six (2.06) and the bulk requirements detailed in Section 3, Paragraph 5 of this agreement are met.

2) Traffic Provisions:

- a) Improvement to Adjacent Roadways: Pursuant to Chapter 180.42 of the Subdivision Regulations, the developer shall be responsible for their share of improvements to NW 100th Street to improve the roadway to a collector standard. Some or all of this

requirement may be met by the developers reconstruction of the NW 100th Street Bridge over Little Beaver Creek and reconstruction of NW 100th Street north of the bridge.

- b) Little Beaver Creek Bridge: Due to the condition and width of the NW 100th Street Bridge over Little Beaver Creek, no development shall be allowed on Tracts 9 to 12 until said bridge is reconstructed to current standards and NW 100th Street north of the bridge is reconstructed. As the City has no plans or need to reconstruct this bridge or replace the existing gravel roadway north of the bridge, due to the termination of NW 100th Street, said reconstruction shall be completed at the full expense of the developer. The City may assist with the acquisition of right of way, if necessary.
 - c) Intersection Improvements: The developer shall widen to a pavement width of thirty-seven (37) feet and a minimum right-of-way width of seventy (70) feet for turning lanes on Valley Parkway, NW 82nd Avenue and Camden Street as identified on the PUD Master Plan and other collector streets that intersect with NW 100th Street, as determined necessary during the platting process.
 - d) Access to NW 100th Street: No lots with frontage along NW 100th Street shall have vehicular access to NW 100th Street; all access shall be provided through the internal street system of the subdivision.
 - e) Street Right of Way and Widths: All streets shall be located within a minimum of sixty (60) feet of right of way, and be a minimum width of twenty-six (26) feet in width. Valley Parkway as defined on the PUD Master Plan shall be a minimum of thirty-one (31) feet in width and NW 82nd Avenue as defined on the PUD Master Plan and any other collector streets, as defined during the platting process, shall be a minimum of twenty-nine (29) feet in width. All streets shall have sidewalks on both sides of the street.
- 3) Utility Provisions:
- a) Water: The Developer shall construct the necessary water mains as required by the City's Subdivision Regulations. The Developers shall be responsible for the full cost of all eight (8) and twelve (12) inch diameter water mains, and shall install twelve (12) inch water mains where determined necessary by the City. Should a main larger than twelve (12) inches be required, the developer shall be eligible for reimbursement for a portion of the cost pursuant to the City's Oversized Water Main Reimbursement Policy.
 - b) Sanitary Sewer: The Developer shall construct the necessary sewer mains as required by the City's Subdivision Regulations, in the size and locations determined by the City, and connect all lots to the future public sanitary sewer system.
 - c) Little Beaver Creek Trunk Sewer: The City's utility master plan for this area identifies the need for a sanitary sewer trunk main running through the subject property adjacent to Little Beaver Creek. During the platting process, it shall be determined whether or not this trunk sewer can be incorporated into the subdivisions sanitary sewer system (i.e. installed to follow the street system). If the trunk sewer can be incorporated into the subdivision's sanitary sewer system, the developer shall install said trunk sewer with the development of the subject property. If it is determined the trunk sewer must be located immediately adjacent to Little Beaver Creek or if the trunk sewer needs to be significantly oversized to accommodate future extensions, the City shall construct the

trunk sewer and the developer shall provide any and all easements necessary for the construction and operation of said trunk sewer.

- d) Improvement Districts: At the time of the Final Plat, the Developer shall be responsible for payment of any assessments or connection fee districts, including but not limited to, water main and sanitary sewer connection fee districts.

4) Parks & Recreation Provisions:

1. The Developer shall dedicate at no cost to the City a minimum of three (3) acres of land for a park located in the general vicinity as shown on the PUD Master Plan. Said acreage shall be developable parkland, excluding drainage ways, streams, areas with extreme topography and wetlands. The intent of this park site is to provide neighborhood park facilities to the residents of this area of the City. This park site shall extend easterly to the eastern plat boundary, across Little Beaver Creek, to potentially allow for the expansion of this park.
2. The Developer shall construct and dedicate necessary easements/right of way for the pedestrian trail system as identified on the PUD Master Plan. This includes a 9' ACC or 8' PCC trail connecting from NW 100th Street/NW 78th Avenue easterly to the east boundary of the subject property in the vicinity of Valley Parkway as identified on the City's Comprehensive Plan. Upon installation, said trails shall be owned and maintained by the City.
3. Completion of the improvements required by Paragraphs 1 and 2 above shall satisfy the City's Parkland Dedication Requirements of Chapter 180.43 of the Subdivision Regulations.

5) Land Use Provisions: The property shall be developed utilizing the following bulk regulations:

- a) Tracts 1 through 11 shall be single family detached residential uses only and shall utilize the bulk requirements of the R-1(60) zoning district, except the following provisions shall apply:
 - i) The minimum lot area shall be 6,000 square feet.
 - ii) The minimum setbacks shall be as follows:
 - (a) Front Yard – 25 feet for the primary structure and garages; 15 feet for usable front porches. For the purposes of this PUD Master Plan, "usable front porches" shall be defined as follows:

A covered or uncovered floor, deck or platform, attached to the house and no more than one side of the porch shall be enclosed by a vertical wall, window or screened surface. The porch shall be large enough to accommodate traditional chairs and/or seating and shall not be heated or air-conditioned.
 - (b) Side Yard Setback – 5 feet
 - (c) Rear Yard Setback – 10 feet
 - iii) Covenants shall be established at the time of final platting which establish a minimum square footage requirement for any single family residential dwelling of 1,500 finished square feet.

- b) The gross density of Tracts 1 through 11 shall not exceed 1.77 dwelling units per acre.
 - c) Development within Tracts 1 through 8, the area south of Little Beaver Creek, shall be further regulated as follows:
 - iii) A minimum of fifty (50) percent of the area within Tracts 1 through 8 shall be maintained as open space, as defined in Section 3, Paragraph 7(a) of this Ordinance.
 - iv) No more than fifty (50) percent of all lots within Tracts 1 through 8 shall be less than sixty-five (65) feet in width.
 - v) Any lot which falls adjacent to the one hundred twenty (120) feet southern buffer or the eighty (80) feet western buffer shall be a minimum of 85 feet in width and 8500 square feet. All structures on said lots shall meet the required setbacks of Section 3, Paragraph 6(b) of this Ordinance.
 - vi) The gross density of Tracts 1 through 8 shall not exceed 1.66 dwelling units per acre.
 - d) Tract 12 may be used for single family detached residential uses (association homes) or single family attached residential uses (townhomes/bi-attached), provided the overall density of this tract shall not exceed six (6.0) units per acre. As identified on the PUD Master Plan, Tract 12 shall be located north of NW 82nd Avenue, as extended through the site. If this tract is developed as single family attached residential uses the bulk requirements of the R-3 zoning district. If Tract 12 is developed as single family detached association homes (detached townhomes), as shown on the PUD Master Plan, the following bulk requirements shall apply:
 - iii) The minimum lot width shall be forty-seven (47) feet and the minimum lot area shall be 5,200 square feet.
 - iv) Front Yard – 25 feet for the primary structure and garages; 15 feet for usable front porches.
 - v) Side Yard Setback – 5 feet
 - vi) Rear Yard Setback – 25 feet
 - e) Pursuant to Chapter 167.03 a clubhouse is an allowed accessory use within the subdivision subject to Site Plan review and approval. Should a clubhouse be proposed along NW 100th Street within Tract 6, as identified on the PUD Master Plan, said clubhouse shall meet all required setbacks and buffers, as described in Section 3, Paragraph 6(b)(ii) of this Ordinance. In addition, said clubhouse shall be oriented so that no parking lot shall be located between the clubhouse and NW 100th Street. If possible and practical, the primary means of vehicular traffic shall be from the internal streets within the subdivision and not NW 100th Street.
- 6) Buffers:
- a) Pursuant to Chapter 145.19 buffers shall be required along Little Beaver Creek and other streams/channels on the subject property.
 - b) Pursuant to the Northwest Area Sub Area Plan within the Comprehensive Plan, a buffer is required along the south boundary of the subject property and along the western boundary south of Valley Parkway adjacent to NW 100th Street, as follows:
 - i) South Property Boundary: Adjacent to the Pine Crest Estates subdivision, a continuous open space area shall be provided as shown on the PUD Master Plan. No structures shall be permitted within this open space area and no primary structure shall be located within one hundred twenty (120) feet of the south property line.

- ii) Western Property Boundary: Adjacent to the western property boundary a continuous open space shall be provided as shown on the PUD Master Plan. No structures shall be permitted within this open space area and no primary structures shall be located within eighty (80) feet of the NW 100th Street right of way. Said open space shall include a berm and the minimum landscaping required by Chapter 166.34 within a fifty foot landscape buffer. The height of this berm shall be maximized to ensure adequate screening exists between NW 100th Street and the buildable lots within the subdivision. The size and landscaping planting within the open space area shall be reviewed and approved with the Preliminary Plat(s) for the subject property, to ensure this requirement is met.
 - c) Pursuant to Chapter 166.34 a landscape buffer shall be provided between Tract 12 and all other adjacent tracts if this tract is developed as single family attached dwellings.
- 7) Conservation Subdivision Practices:
- a) The subject property shall be developed consistent with the principals of a “conservation subdivision” and shall incorporate innovative storm water management techniques. In exchange for the reduction in bulk requirements and lot sizes as outlined within this PUD, a minimum of forty (40) percent of the subject property must be maintained as open space. Such open space shall be established within outlots which shall be owned and maintained by a private homeowners association and have a permanent restriction prohibiting any development of the outlot areas, except for the development of trails and other park purposes. With the platting of each of these outlots, a detailed management plan shall be submitted to the City for review and approval. Such management plan shall detail the necessary ongoing short and long term maintenance needs for the areas and include evidence that the homeowner association is adequately funded to carry out the management plan.
 - b) Innovative Storm Water Management Techniques and Best Management Practices (BMP) shall be implemented within the PUD. All BMP’s shall be sized pursuant to the Water Quality Volume and designed pursuant to the Iowa Storm Water Management Manual as published by the Iowa Department of Natural Resources and the Center for Transportation Research and Education and subject to the review and approval of the City at the time of platting.
 - c) Public Improvements within the subject property shall be constructed in accordance with the Iowa Statewide Urban Design Standards and Specifications including the Johnston Supplemental Specifications, except as follows:
 - i) Ditches, bioswales, and open channel drainage ways will be allowed adjacent to public streets within the right of way in lieu of installation of storm sewer mains.
 - ii) Standard six (6) inch high curbs shall be provided on all public streets, in lieu of storm sewer intakes, driveways shall be designed to allow storm water drainage into open channels/ditches, where necessary and where driveways cannot accommodate the drainage additional curb cuts will be accepted.
 - iii) A storm sewer sump main does not need to be provided to each lot, provided an engineered onsite infiltration practice (French drain) is constructed on each lot.
 - iv) Storm water throughout the subject property shall be conveyed to the greatest extent possible through open channels and swales. Such areas shall be within the necessary easements to ensure the long term functionality of the drainage system.

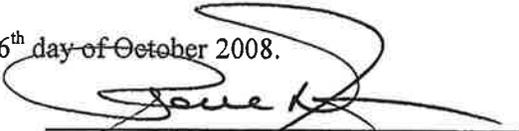
- v) All storm sewer culverts and pipe smaller than twelve (12) inches in diameter may HPDE pipe, all other culverts and pipe shall be RCP.
- vi) Water mains shall be located on the north and east sides of all streets and located in the back slope of the ditch/swale with shut offs extended to the center of the sidewalk.
- vii) Other exceptions not specifically listed may be allowed without amendment to this ordinance, if such exceptions are approved as part a Preliminary Plat or Construction Plans.

SECTION 4. REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. SEVERABILITY CLAUSE. If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

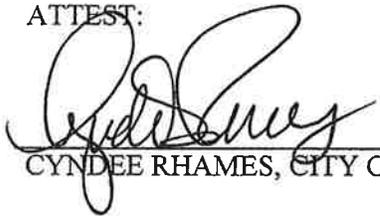
SECTION 6. WHEN EFFECTIVE. This ordinance shall be in full effect from and after its final passage, approval, and publication as provided by law, and upon the filing of the annexation of this property with the Secretary of State.

Passed and approved by the Council the 6th day of October 2008.



 PAULA S. DIERENFELD, MAYOR

ATTEST:

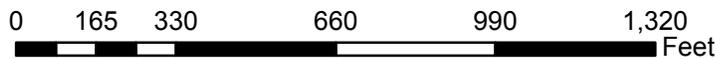
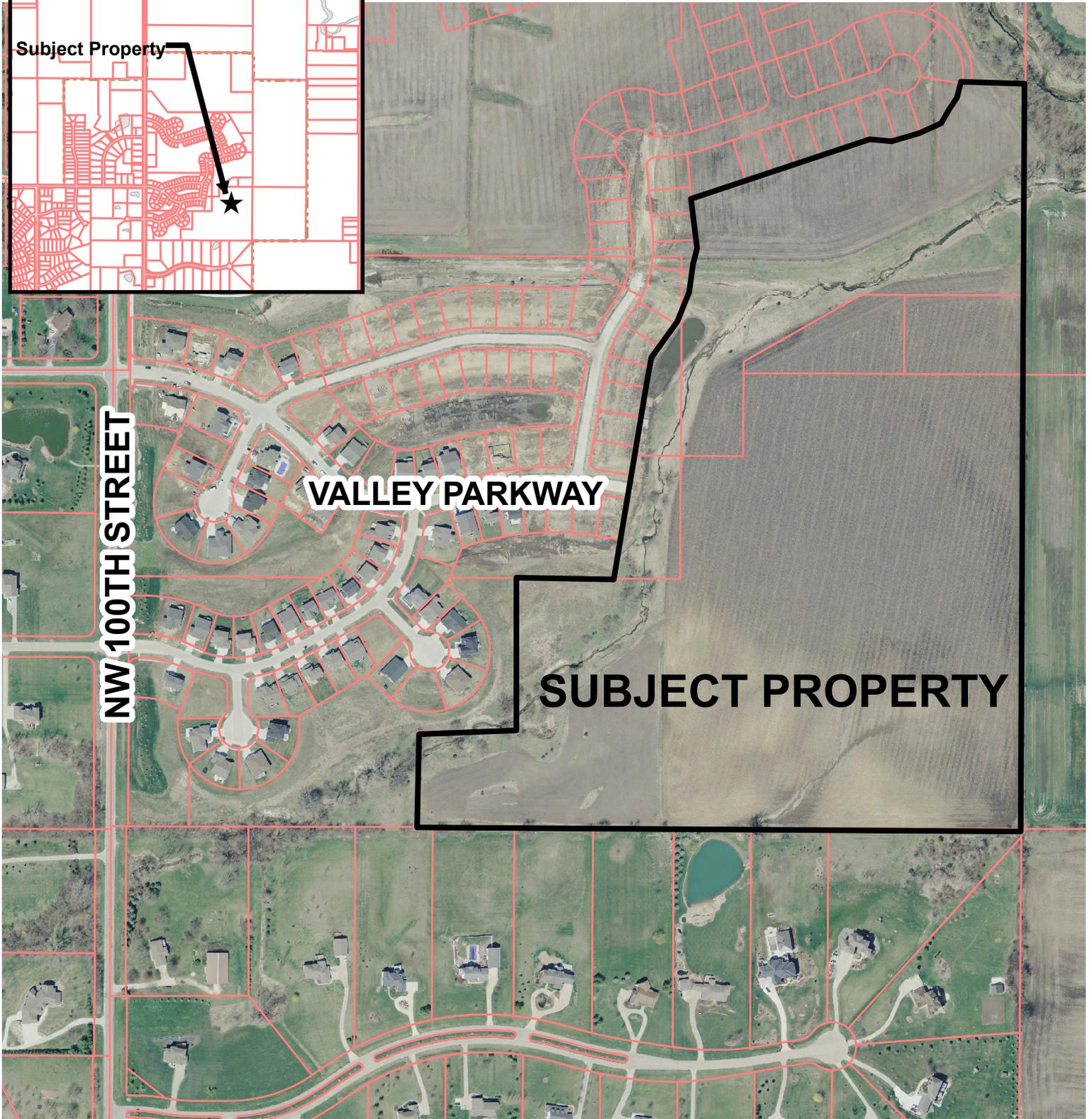
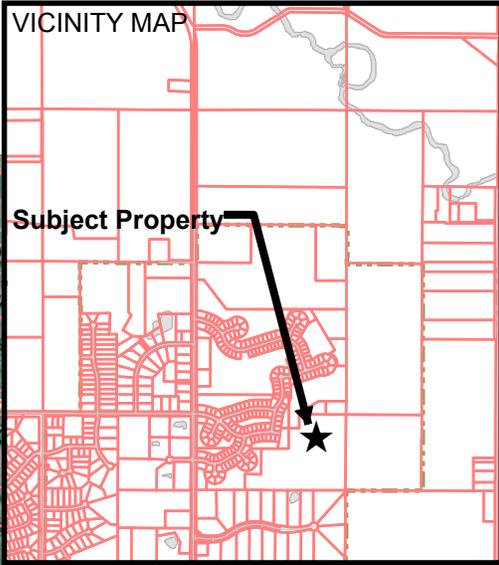


 CYNDEE RHAMES, CITY CLERK

1st Reading: April 21, 2008
 2nd Reading: May 5, 2008
 3rd Reading: *Oct. 6, 2008*
 Passed: *October 6, 2008*
 Signed: *October 6, 2008*
 Published: *October 10, 2008*

| ROLL CALL VOTE: | 1st Reading | | 2nd Reading | | 3rd Reading | |
|-----------------|-------------|-------|-------------|-------|-------------|-------|
| | Aye | Nay | Aye | Nay | Aye | Nay |
| Clabaugh | X | _____ | X | _____ | ✓ | _____ |
| Culbert | X | _____ | X | _____ | ✓ | _____ |
| Hibbs | _____ | X | _____ | X | _____ | ✓ |
| Kallen | X | _____ | X | _____ | ✓ | _____ |
| Tingley | _____ | X | _____ | X | _____ | ✓ |

**PZ CASE 16-02
CROSSHAVEN PLAT 7 PRELIMINARY PLAT**



1 inch = 3,333 feet

Created by City of Johnston Department of Community Development
6221 Merle Hay Road, P.O. Box 410, Johnston, IA, 50131-0410 (515)278-2344 Fax:(515)278-2033



MEMORANDUM

City of Johnston, Iowa

DATE: January 19, 2016

TO: Joe Pietrudzynski, Hubbell Realty Company
Bradley Brockman, McClure Engineering Company

FROM: David Wilwerding, Community Development Director

RE: **Crosshaven Plat 7 Preliminary Plat**

We have reviewed the preliminary plat for Crosshaven Plat 7 and note the following:

Preliminary Plat Comments:

1. A total development summary for all of Crosshaven is necessary which documents the plats conformance with the PUD requirements regarding open space, lot sizes and density.
2. The pedestrian trail needs to connect from the existing trail along the north side of Valley Parkway to the trail just west of Lot 1.
3. City Staff has and will continue to recommend that the cul-de-sac north of Valley Parkway be maintained as a loop street as originally negotiated as part of the preliminary plat approval.
4. The original preliminary plat notes several areas adjacent to this plat with existing erosion those areas need to be addressed with this plat.
5. A landscape plan needs to be provided for the 120 foot required buffer along the south property line.
6. Provide a legal description that includes the project acreage.
7. Indicate all adjacent property owners.
8. Please contact Jolene Bolger, Johnston Post Master to review CBU locations and show locations on the Preliminary Plat.
9. The 15' front porch setback is labeled as an easement on Lots 27 and 59.
10. Indicate the diameter of the cul-de-sac bulbs right-of-way and the cul-de-sacs bulbs paved sections.
11. The street naming conventions of the city dictate that north-south roads shall end in either street or court. Currently the two north-south roads follow the naming convention for east-west roads. Also the road numbers are out of sequence with city streets.
12. Indicate the grade of the land along the 10" Sanitary Sewer line on the north east property line.
13. In regards to stormwater control;
 - a. The storm sewer that empties into the drainage pond just north of Valley Parkway transitions from 24" to 15" storm sewer. Is this intentional?

- b. The storm sewer on the west property line has intakes at elevations below the weir overtop elevation. What is being done to prevent backflow and pooling of water at the intakes?
 - c. Erosion control methods must be shown for the outlets of all the storm sewers.
 - d. Provide stormwater calculations.
14. The stream that enters into the drainage pond is classified as a type II stream by the City of Johnston and as such requires a 50' buffer on each side of the stream as measured from the centerline of the channel. This will require a stream buffer easement to be provided and shown on the preliminary plat. The easement would terminate when the stream joins with the pond where the weir overtops at 845'. The composition of the required buffer is defined in City of Johnston code of ordinances chapter 145.19.4.
15. Indicate the 100-year flood elevation for the stream that crosses through Outlot 'Y'.
16. In regards to the 10' Public Utility Easement;
- a. Indicate the PUE on each side of the street as note 3 on sheet one states will be provided.
 - b. No PUE provides access to the PUE in the rear yard of Lots 54 through 69.
 - c. Is there a 10 foot rear yard PUE on Lot 22?
17. Pedestrian or trail easements shall be provided for all sidewalks and trails.
18. Show all existing easements with their book and page number. The following stand out as missing from the preliminary plat, but may not be all that need included;
- a. The sanitary sewer at the northeast corner of the project area is connecting with an existing sanitary sewer line.
 - b. Plat 4 indicates four storm sewers that outlet into the drainage pond. Show easements and storm sewer sizes.
 - c. The trail that runs along the western edge of the pond.

The following are conditions of approval for the Amended Preliminary Plat Approval, unless otherwise noted, all conditions would still be applicable to the approval of an amended Preliminary Plat:

- 19. The project shall conform to the requirements, standards and regulations of the City of Johnston.
- 20. Submission of all final plat documentation to City's Staff and Attorney, for review and approval, must occur six (6) working days prior to the City Council's regular meeting.
- 21. Pursuant to Chapter 180.42 of the Subdivision Regulations and Resolution 08-53, the applicant shall be responsible for their share of improvements to NW 100th Street to improve the roadway to a collector standard. Prior to the City Council approval of a final plat for the subject property (or any portion thereof) the applicants shall select and provide one of the allowed options outlined in Resolution 08-53 (bond, payment or petition and waiver), based upon the 2,861 lineal feet of frontage on NW 100th Street, the 2008 value of this requirement is \$376,421.77.
- 22. All landscape buffers required within the proposed residential lots shall be installed or bonded for prior to the City's acceptance of the public improvements for each phase of the plat.
- 23. The applicants shall be responsible for payment of the applicable Little Beaver Creek Sewer connection fee at the time of final platting.

24. Any development/grading activity within the 100 or 500 year flood plain will require a floodplain development permit and a FEMA approved Flood Insurance Rate Map amendment.
25. Approval of Preliminary Plat including lots currently impacted by the FEMA 100 and 500 year flood elevations is contingent upon the applicants seeking and receiving approval of a Flood Insurance Rate Map amendment or revision, such approval must occur prior to Construction Plan approval of any phase of the project affected by the flood elevations.
26. Approval of the Preliminary Plat without traditional storm sewer sump drains is contingent upon further geotechnical exploration as recommended in the March 21, 2006, GeoTech Engineering and Observation report. Such geotechnical exploration shall occur prior to approval of construction plans for each phase of the plat.
27. Pursuant to the PUD, a detailed management plan shall be provided with each plat for the outlot areas of the plat that are to be owned by a homeowners association, in addition, prior to approval of any final plat(s) applicants shall provided a performance bond and maintenance bond to cover the cost of initial installation and maintenance to establish said areas as prairie.
- ~~28. Defer sidewalk adjacent to NW 100th Street until otherwise directed by the City Council at its sole discretion. Once the Council directs installation of the sidewalk, it shall be constructed immediately at the applicant's sole cost.~~

Prior to City Council approval of the Construction Plans for any phase of the development, the following items shall be included on the Construction Plans:

29. With construction of each phase of the plat, the existing drainage ways and creeks need to be resurveyed and necessary channel improvements shall be made to prevent future erosion and bank stabilization problems.
30. Final review of the location and construction methods of the water, sanitary sewer and storm sewer mains and the spacing of the fire hydrants will be competed with the review of the Construction Plans.
31. Minimum opening elevations shall be provided for all lots, adjacent to drainage ways, detention/retention ponds or other areas where inundation is possible, such elevations shall be identified on the final plat(s).
32. The Construction Plans and subsequent Final Plat(s) shall include critical spot elevations for all roadside ditches and drainage ways constructed throughout the site. As built elevations shall be provided for these areas prior to the City's acceptance of public improvements to verify construction at the appropriate elevations.
33. Revised pipe sizing calculations shall be provided to verify the size of all storm sewer structures.
34. The location of all Post Office Cluster Box Units shall be identified and the necessary concrete pads and sidewalk connections shall be installed with the public improvements.

Prior to the issuance of a certificate of occupancy for any structure within the plat, the following items shall be completed:

35. Pursuant to Chapter 145.05(4) the Erosion and Sediment Control Ordinance, an engineer's certification shall be provided certifying the elevation of the all designated ditch and drainage way elevations that are on or immediately adjacent to the lot under construction.

36. All structures located on lots that have a minimum protection elevations identified on the plat shall certify that the structure meets that elevation.

This project is scheduled for a development review meeting on Wednesday, January, 20, 2016 at 2:30 P.M. The meeting will be held at Johnston City Hall Community Development Department. Four full size copies of revised site plans, four 11 x 17 inch reductions and a PDF version of the preliminary plat must be submitted by Wednesday, January 27, 2016 in order to proceed to the Planning and Zoning Commission on Monday, February 8, 2016. Prior to the above noted meetings, a notice will be sent to adjacent properties regarding the proposed development.

If you have any questions, please contact me at 727-7775 or by email at dwilwerding@cityofjohnston.com.

cc: Patrick Kueter, Foth
Josh DeBower, Foth
Dave Cubit, Public Works Director
Matt Greiner, Construction Inspector
Jim Krohse, Fire Chief
Aaron Wolfe, Senior Planner
David Wilwerding, Community Development Director



Memorandum

To: David Wilwerding
From: Matt Greiner
Date: 2/24/2016
Re: CROSSHAVEN PLAT 7

City of Johnston Public Works has reviewed the construction plans for the above referenced project. Comments are as follows:

Crosshaven Townhomes Public Improvements

- 1) Sheet 1 – General Note 1 easements should not be generalized provide the appropriate easement widths on the plans.
- 2) Sheet 1 – General Note 2 easements should not be generalized, provide the appropriate easement widths on the plans.
- 3) Sheet 1 – General Note 4 Insert 2014 for the date on SUDAS and the Supplemental Specifications used by the City.
- 4) Sheet 3 – Add a water valve in the mid-point of the street near lots #18 &19.
- 5) Sheet 3 – F.E.S. missing on storm sewer pipe in the R.O.W at the intersection of NW 95th Court and Valley Parkway.
- 6) Sheet 3 – Storm sewer crossing at the intersection of NW 95th Ct. and Valley Parkway and at Valley Parkway and NW 94th Ct. are missing pipe sizes.
- 7) Sheet 3 & 4 – Connect pipe culvert under mailbox pad on NW 95th Ct. to intake structure.

February 24, 2016

- 8) Sheet 3 & 4 – Re-align 36” storm sewer to outlet in the pond rather than the stream channel.
- 9) Sheet 3 & 4 – Please provide services for individual lots.
- 10) Sheet 3 & 4 – Specify pipe size for storm culvert under mailbox pad.
- 11) Sheet 3 & 4 – Remove pedestrian crossing to the north at the intersection of Valley Parkway and NW 94th Ct.
- 12) Sheet 4 – Add a water valve at shared lot line #36 &37.

If you have any questions or comments please feel free to contact me by phone at 515-278-0822 or by e-mail at mgreiner@cityofjohnston.com

Sincerely,

Matt Greiner
Construction Inspector
Public Works Department



February 24, 2016

David Wilwerding, AICP, Community Development Director
City of Johnston, P.O. Box 410
6221 Merle Hay Road
Johnston, IA 50131

RE: Crosshaven Plat 7 Preliminary Plat
Development Review 2
Case No. PZ 16-2

Foth Infrastructure and Environment, LLC has completed a review of the Preliminary Plat, Geotechnical Report and Storm Water Management Plan received February 18, 2016 for the above referenced project. Based on our review, the following comments are offered:

Storm Water Management Plan

1. Revise soil map to include only plat 7 to verify class of soil on site
2. Provide Johnston Storm Water Summary Data Sheet for just Plat 7 off site and site development area.
3. Display discharge for STRC-500 revetment calculations. Also, lines to determine D50 on graph illustrate a higher number than what is displayed in revetment calculations.
4. Storm water discharge used in revetment calculations shall be for the 100 year flows, also include 100 year drainage tabulation sheet.
5. Include drainage area map and design calculations for culvert crossing of Valley Parkway.

GN-01

6. Reference 2014 version of SUDAS

Horizontal Ellipse Culvert Crossing Response Letter

7. The details show a wall section from a building and are not specific to the culvert headwall; will any water sealant be used on the headwalls to prevent water from penetrating the grout? Recommend using an anti-graffiti coating on the headwalls.
8. There has mentioned the importance of proper drainage several times but details showing any information for the drainage systems have yet to be provided.
9. Applicant shall provide a detail at the top of the headwall to show how the brick facing will be capped to prevent surface water from getting behind the brick.
10. Proposed horizontal Ellipse is not a storm sewer as its sole purpose is to convey drainage from an open channel underneath Valley Parkway; applicant shall provide velocity calculations to verify the statement that low velocities are expected.
11. Additional details on how the culvert will be sunken will need to be provided; while the bottom would be protected, the sides will be susceptible to corrosion and abrasion.

Please contact me at 515.251.2564 if you have questions or comments.

Sincerely,

Foth Infrastructure & Environment, LLC

A handwritten signature in blue ink, appearing to read "Joshua C. DeBower".

Joshua C. DeBower, P.E.

Lead Civil Engineer

JCD: mms3

8191 Birchwood Court, Suite L Johnston, IA 50131 (515) 254-1393 Fax: (515) 254-1642